

**PLANNING AND ZONING COMMISSION ACTION ITEM
STAFF SUMMARY
JUNE 1, 2022 PLANNING AND ZONING COMMISSION MEETING**

DATE: May 27, 2022

AGENDA ITEM NUMBER: 5

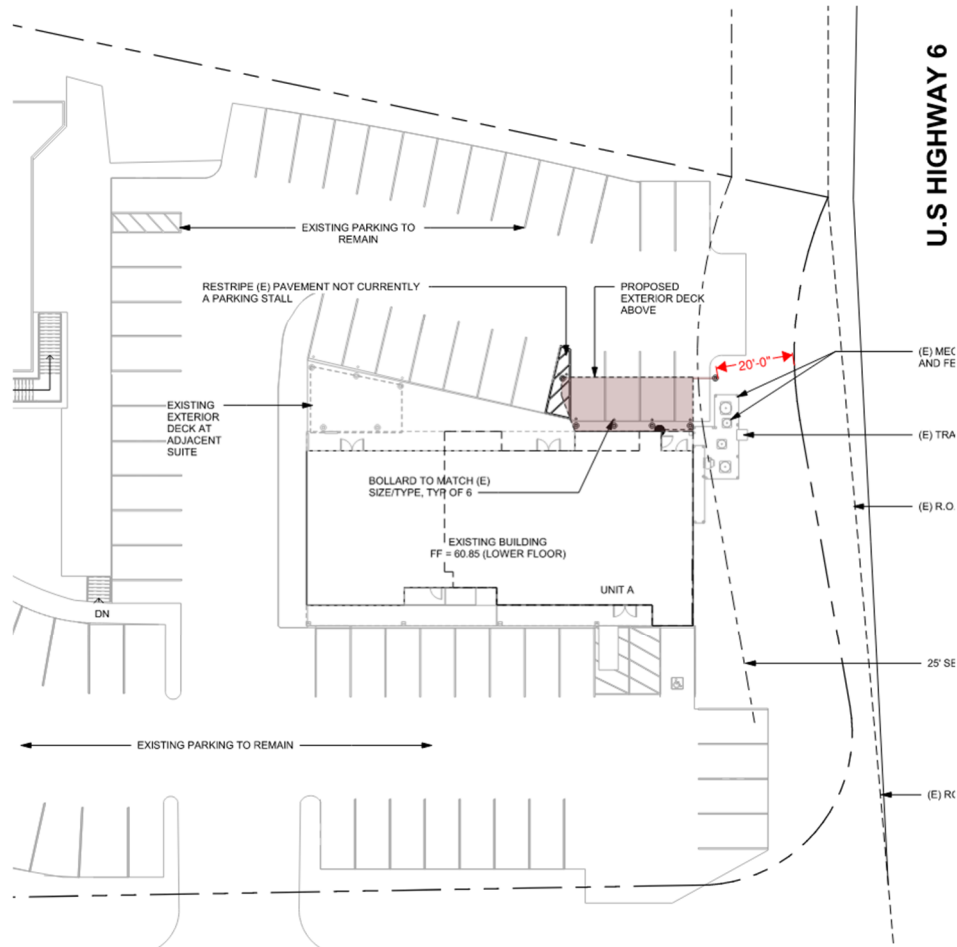
ACTION TO BE CONSIDERED:

Consideration of Resolution No. PZ 02-22, Series of 2022. **(PUBLIC HEARING)**

A RESOLUTION APPROVING A LEVEL III DEVELOPMENT PERMIT FOR A NEW DECK
ON A COMMERCIAL BUILDING LOCATED AT 765 W. ANEMONE TRAIL.

SUMMARY:

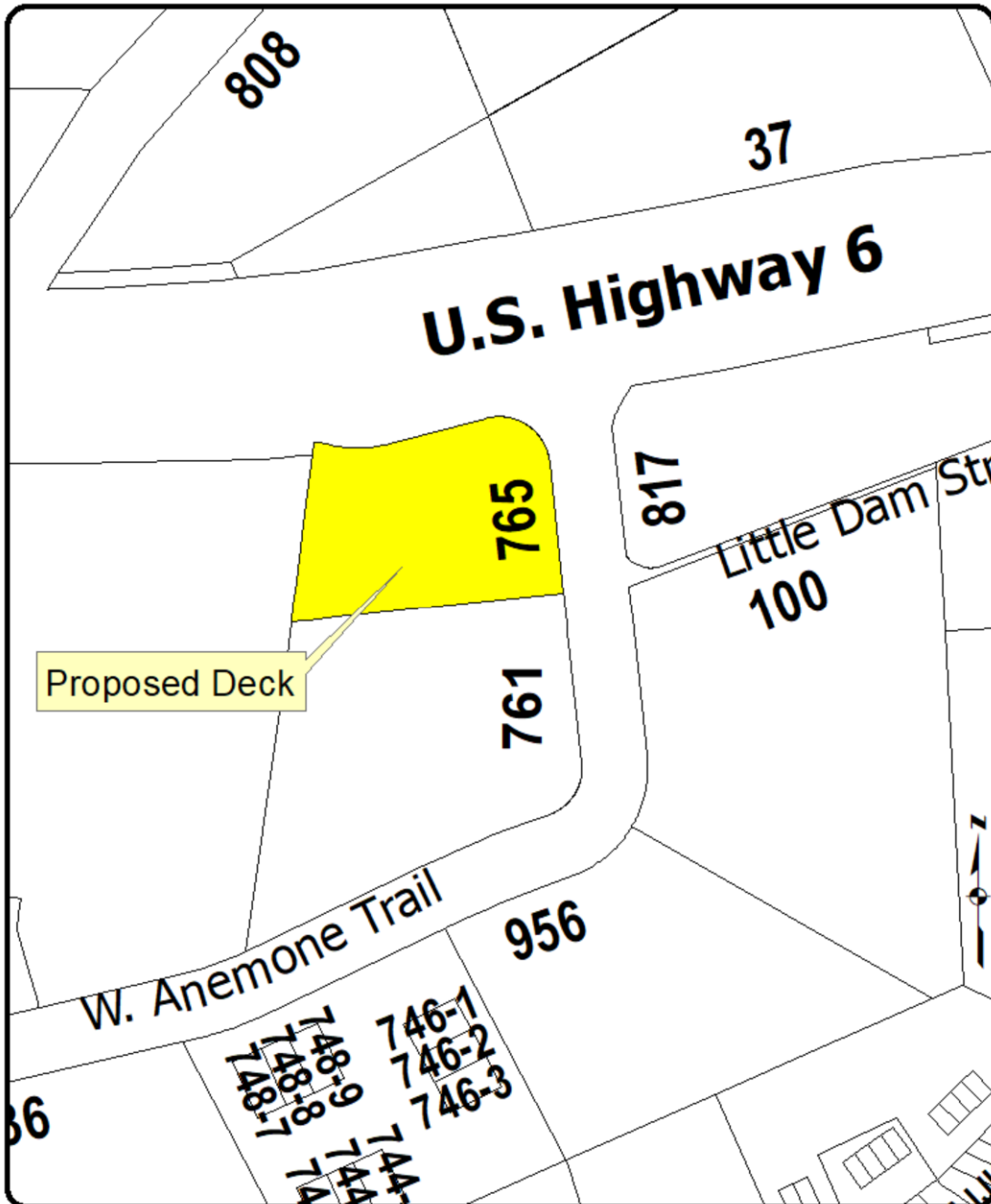
The Town has received a Level III Development Permit Application for a new deck on a commercial building to be located on the rear of the building located at 765 W. Anemone Trail. The new deck will provide the potential for outdoor seating associated with a restaurant use in the tenant space to which it is to be connected – the Snarf’s Sandwiches restaurant. A new deck on a commercial building requires a Public Hearing and approval by the Planning and Zoning Commission.



Proposed New Deck on the Rear of the Building

PUBLIC NOTICE:

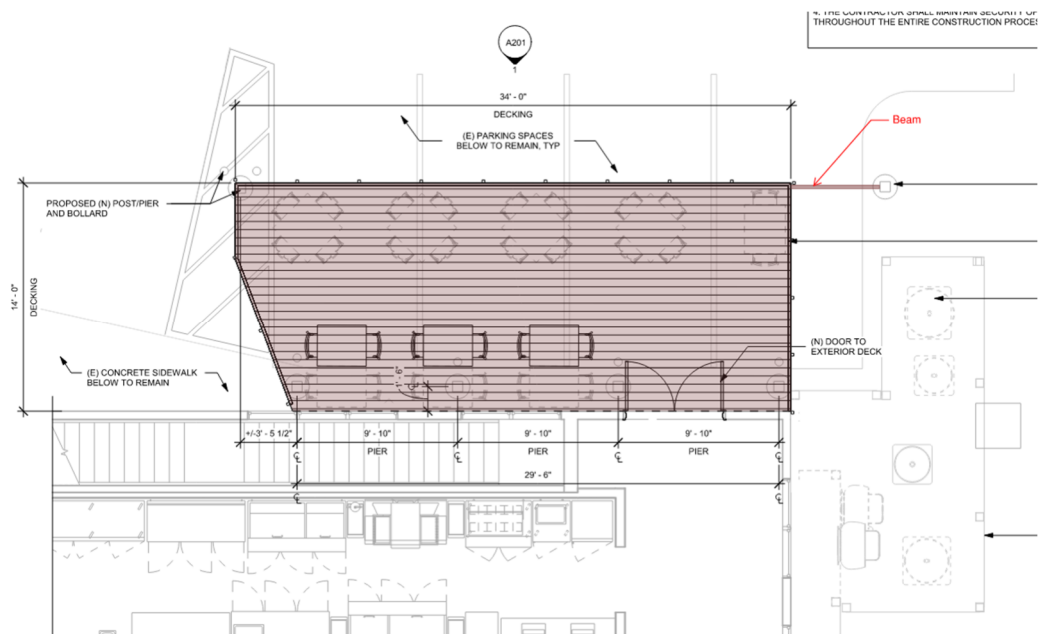
The Town posted a sign of the Public Hearing on the site on Tuesday, May 24th, 2022. A newspaper ad ran in the Summit Daily (Journal) on Friday, May 20th, 2022, and a mailing noticing the public hearing time and date was sent out on Wednesday, May 18th, 2022 to property owners within 300’ of the site. The notices were provided within the required 7-day minimum and 14-day maximum notice period required by the Dillon Municipal Code (the “Code”).



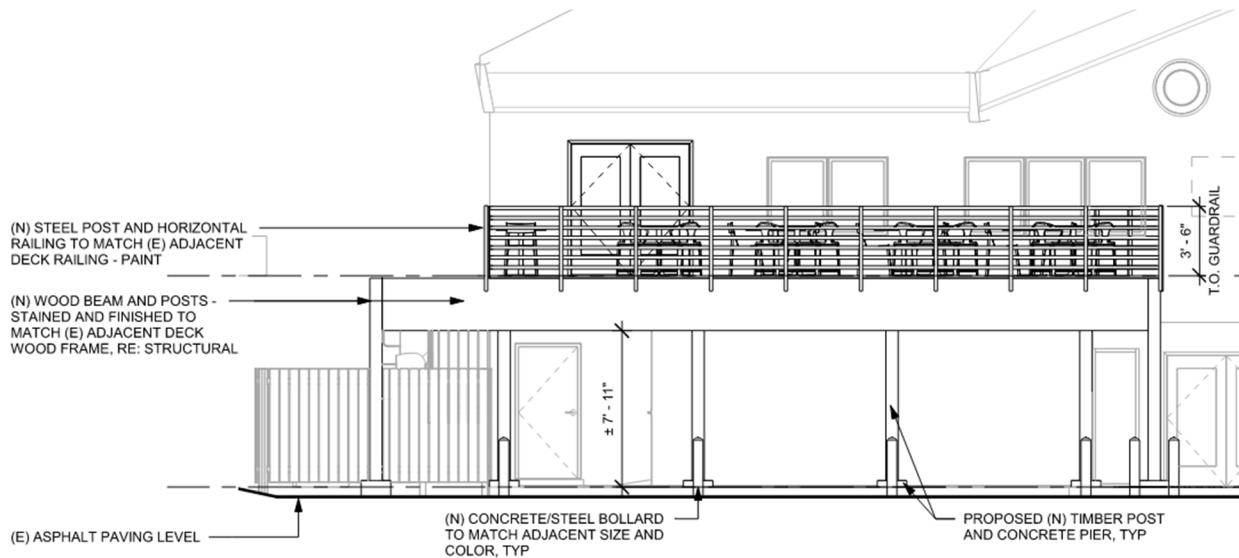
Project Vicinity Map



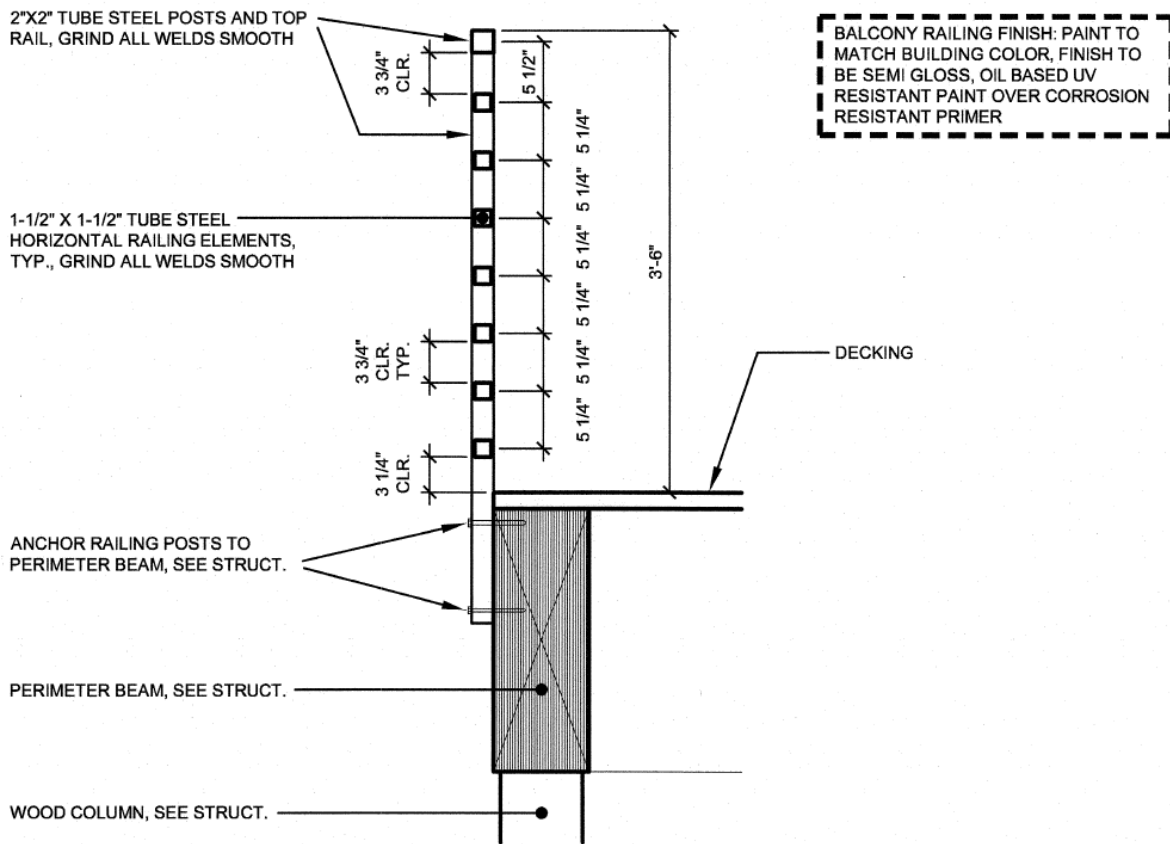
Side & Rear of the Building Where the Deck is Proposed



Deck Configuration and Potential Outdoor Seating



Columns and Beams for Proposed Deck



Deck Railing Detail to Match Adjacent Deck

CODE ANALYSIS:

Zoning District: The Application is located in the Commercial (C) Zone. A deck is a permitted accessory use for a building; however, the Dillon Municipal Code (Code), requires a Level III

Development Permit review process and Public Hearing for a new deck on a commercial building. The tenant space with the proposed deck is in the process of changing use from retail to a restaurant use under a previously issued Tenant Finish Development Permit. Impacts to consider for a potential restaurant deck are noise and visual impacts to adjacent residential properties. It is anticipated that the potential outdoor seating will not have substantial negative impacts on adjacent properties, given the location of the proposed deck on the commercially facing rear of the building, the close proximity of the site to the major thoroughfares, U.S. Highway 6 and Interstate 70, and that residential properties are not immediately adjacent to the site.

Yards: Yards, or setbacks, are required in most zone districts from the side of a building to a property line. The Commercial zone requires the following yards (setbacks):

Front Yard: 25'
Side Yard: 10'
Street Side Yard: 25' *
Rear Yard: 20'

* The Planning Commission approved a Variance for the U.S. Highway 6 setback on May 10, 1982 reducing the yard (setback) from 25 feet to 20 feet. See the attached project memorandum dated May 11, 2022 for details on the Variance approval.

The Application complies with the yard requirements of the Code.

Building Height: The Application does not increase the height of the building.

Design Guidelines: The architectural style, materials, and proposed colors are harmonious with the building.

Snow Storage: The Application does not impact snow storage on site.

Off-Street Parking: Parking is provided in the parking lot around the building. A shared parking agreement exists for this building and the adjacent building (761 W. Anemone Trail – Sun and Ski Sports). The outdoor deck space is not greater than 20% of the interior tenant space it is attached to, and therefore no additional parking is required for the outdoor seating. Based on the current uses in the complex of the shared parking and evaluation of the number of parking spaces provided, there is no surplus parking on the site. The Application complies with the parking requirements of the Code.

Landscaping: There are no landscaping requirements associated with this Application.

STAFF RECOMMENDATION:

Staff recommends approval of Resolution PZ 02-22, Series of 2022

MOTION FOR APPROVAL:

I move the approval of Resolution 02-22, Series of 2022 with conditions as presented.

ACTION REQUESTED: Motion, Second, Roll Call Vote.
Resolutions require the affirmative vote of a majority of the members present.

STAFF MEMBER RESPONSIBLE: Ned West, AICP, Sr. Town Planner

Exhibits

May 3, 2022 Architectural Drawings

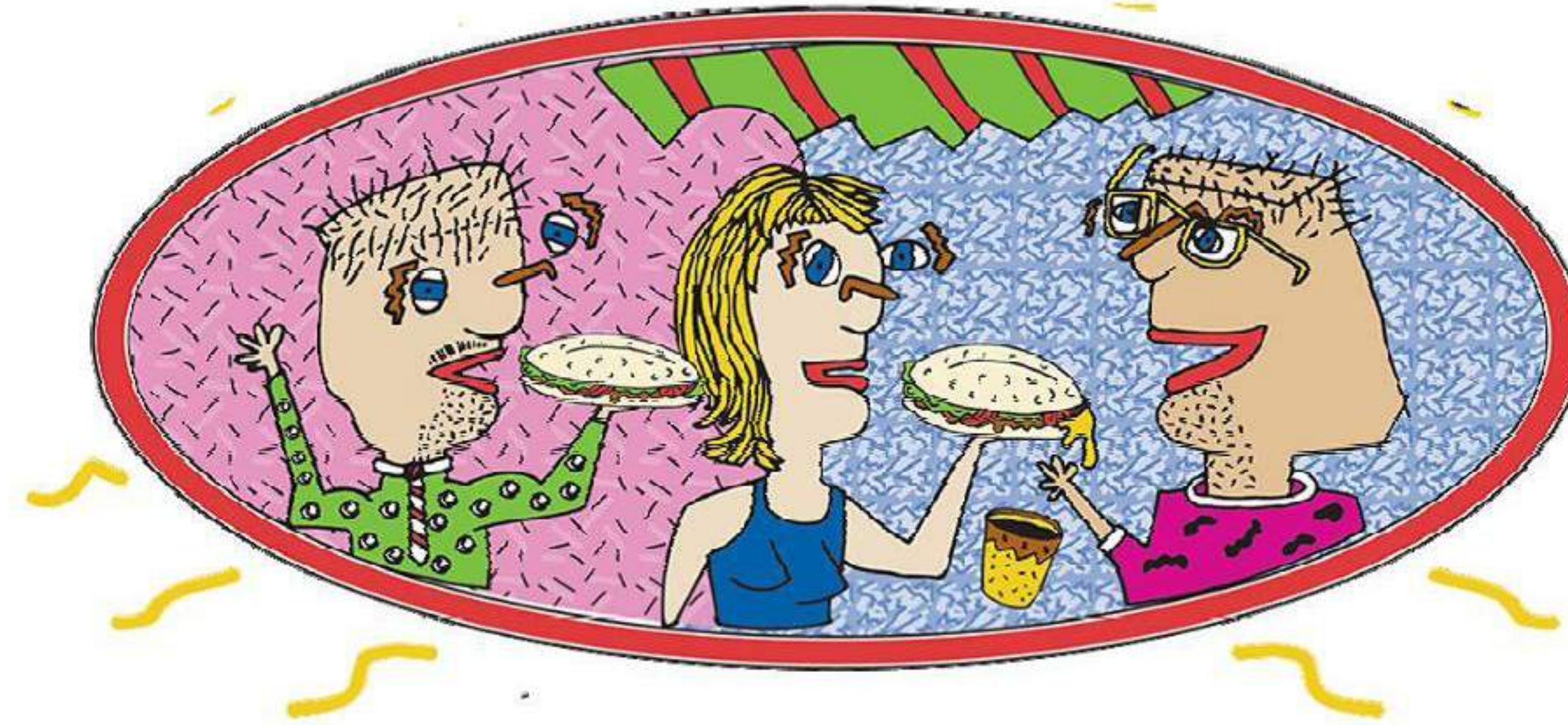
May 11, 2022 Project Memorandum – Setback Variance

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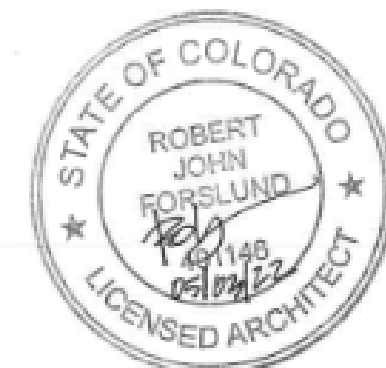
SNARF'S Sandwiches



SNARF'S SANDWICHES

DILLON, COLORADO
Project Number:210023

PLANNING COMMISSION SET
03 MAY 2022



 chord design studio

DRAWING SYMBOLS

GRID DESIGNATION → STRUCTURAL GRID

ELEVATION → LEVEL OR DATUM ELEVATION

CEILING TYPE EL= 'X' - 'X''

HEIGHT ABOVE FINISH FLOOR →

DRAWING NUMBER → BUILDING SECTION REFERENCE

SHEET NUMBER →

DRAWING NUMBER → WALL SECTION REFERENCE

SHEET NUMBER →

DRAWING NUMBER → EXTERIOR ELEVATION REFERENCE

SHEET NUMBER →

DRAWING NUMBER → INTERIOR ELEVATION REFERENCE

SHEET NUMBER →

DRAWING NUMBER → DETAIL SECTION REFERENCE

SHEET NUMBER →

REFERENCE AREA →

PLAN, SECTION OR ELEVATION DETAIL OR ENLARGEMENT →

WALL LOCATION TAIL → WALL TYPE REFERENCE

WALL TYPE NUMBER →

DOOR TYPE NUMBER → DOOR IDENTIFICATION

EQUIPMENT NUMBER → EQUIPMENT IDENTIFICATION

WINDOW TYPE NUMBER → WINDOW IDENTIFICATION

ROOM NUMBER → ROOM IDENTIFICATION

REVISION NUMBER → REVISION NOTE REFERENCE

KEY NOTE NUMBER → KEY NOTE IDENTIFICATION

DRAWING NUMBER → MATCHLINE

SHEET NUMBER →

GRID LINE →

MATERIAL SYMBOLS

1. SITEWORK
 EARTH
 GRAVEL

2. CONCRETE
 CONCRETE
 SAND / GROUT

3. MASONRY
 BRICK
 CMU
 STONE

4. METAL
 ALUMINUM
 STEEL

5. WOOD
 WOOD BLOCKING
 CONTINUOUS WOOD FRAMING
 FINISH WOOD
 PLYWOOD

6. THERMAL
 BATT INSULATION
 BOARD INSULATION
 FIRE SAFING
 FOAMED-IN-PLACE INSULATION

8. FINISHES
 GYPSUM BOARD
 CARPET
 TILE

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, LOCAL AND ADOPTED CODES, ORDINANCES, REGULATIONS, LAWS, STATUTES, GUIDELINES AND REQUIREMENTS OF BUILDING AND FIRE AUTHORITIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR (HEREAFTER "THE CONTRACTOR") AND SUBCONTRACTORS SHALL CAREFULLY STUDY ALL CONTRACT DOCUMENTS AND ACQUIRE A THOROUGH UNDERSTANDING OF THE DESIGN INTENT OF THE PROJECT AND THE DETAILS REQUIRED TO ACHIEVE THE DESIGN INTENT.
- THE CONTRACTOR SHALL FORWARD REQUESTS FOR CLARIFICATION OR ADDITIONAL INFORMATION WITH REGARD TO ACHIEVING THE DESIGN INTENT OF THE PROJECT TO THE ARCHITECT IN WRITING FOR REVIEW AND WRITTEN RESPONSE.
- THE CONTRACTOR SHALL CHECK AND VERIFY THE CONTRACT DOCUMENTS WITH FIELD CONDITIONS, CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN, PRIOR TO PROCEEDING WITH THE WORK AND VERIFY ALL SPACE DIMENSIONS AS SHOWN WITH EXISTING JOB CONDITIONS BEFORE STARTING CONSTRUCTION. IF DISCREPANCIES EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF WORK.
- PRICING OF THESE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE DESIGN INTENT DESCRIBED THEREIN.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS AND SLEEVES THROUGH FLOORS, CEILING, ROOFS, WALLS, STRUCTURAL MEMBERS AND ARCHITECTURAL ELEMENTS WITH CIVIL, LANDSCAPE, ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL AND OTHER DISCIPLINES DRAWINGS, SPECIFICATIONS AND EXISTING CONDITIONS.
- THE CONTRACTOR SHALL PROTECT ALL IN-PLACE CONSTRUCTION, LANDSCAPING, PAVING, UTILITIES, ETC. FROM DAMAGE DURING CONSTRUCTION. ALL DAMAGED AREAS AND ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR OR SUBCONTRACTOR DAMAGING THE SAME.
- THE CONTRACTOR SHALL SUBMIT PROPOSED SUBSTITUTIONS OF SPECIFIED MATERIALS/ PRODUCTS TO THE ARCHITECT FOR REVIEW, IN ACCORDANCE WITH PROCEDURES DESCRIBED IN THE SPECIFICATIONS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, CUT-SHEETS, AND SAMPLES WHEN REQUIRED BY THE SPECIFICATIONS, FOR REVIEW BY THE ARCHITECT, PRIOR TO COMMENCING WITH RELATED WORK.
- ALL WORK SHALL BE ERRECT PLUMB, LEVEL AND TRUE-TO-LINE IN ACCORDANCE WITH BEST PRACTICES OF THE TRADE, MANUFACTURER'S INSTRUCTIONS FOR THE PARTICULAR PRODUCT, AND IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE LOCAL GOVERNMENTAL AGENCIES WHEN THERE IS A NEED FOR AN INSPECTION REQUIRED BY THE APPLICABLE CODE, OR BY THE AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ALL PERSONNEL AND OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE OSHA REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED TO THE OWNER.
- DO NOT SCALE DRAWINGS.
- INTERIOR PARTITIONS ARE DIMENSIONED TO FACE OF GYPSUM BOARD, UNLESS INDICATED OTHERWISE.
- THE INSIDE FACE OF DOOR JAMBS SHALL BE 4" FROM ADJACENT WALL OR FINISHED COLUMN, UNLESS INDICATED OTHERWISE.
- WHERE NEW WORK HAS DISTURBED PREVIOUSLY INSTALLED OR EXISTING WORK OR FINISHES, SUCH AREAS SHALL BE REWORKED AND/OR REFINISHED AS REQUIRED TO MATCH THE ORIGINAL CONDITION OF THE AREA PRIOR TO THE DISTURBANCE.
- EACH MISCELLANEOUS ITEM OF CUTTING, PATCHING OR FITTING IS NOT NECESSARILY INDIVIDUALLY DESCRIBED IN THE DOCUMENTS. THE ABSENCE OF SPECIFIC DESCRIPTIONS OF CUTTING, PATCHING, OR FITTING REQUIRED TO PROPERLY ACCOMMODATE THE SCOPE OF WORK SHALL NOT RELIEVE THE CONTRACTOR OR SUBCONTRACTOR FROM THE RESPONSIBILITY TO PERFORM SUCH WORK AS REQUIRED TO ACHIEVE THE DESIGN INTENT OF THE PROJECT.
- NOTES APPEAR ON DIFFERENT SHEETS FOR DIFFERENT SYSTEMS AND CONSTRUCTION MATERIAL. ALL SHEETS ARE TO BE REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO ALL RELATED DRAWINGS AND DETAILS.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER AND QUALITY TO THOSE DETAILED. WHERE SPECIFIED DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION, PRIOR TO PROCEEDING WITH WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC ACTION.
- A FINISH OR FIRE RATING ON A WALL SHALL MEAN THE ENTIRE LENGTH AND HEIGHT OF WALL TO BE FINISHED OR FIRE RATED, AS INDICATED.
- THE HEAD AND BASE CONDITIONS OF ALL FIRE RATED WALLS SHALL BE TERMINATED WITH UL-APPROVED DESIGNS AND MATERIALS.
- SCOPES OF WORK ON THE DRAWINGS NOTED AS "NIC" ARE NOT INCLUDED IN CONTRACT.
- ALL FLOOR ELEVATIONS ARE TO TOP OF STRUCTURAL CONCRETE OR TOPPING SLAB UNLESS INDICATED OTHERWISE.
- PROVIDE BLOCKING OR OTHER SUPPORT AS REQUIRED FOR ALL WALL, FLOOR, CEILING AND ROOF MOUNTED ITEMS. BLOCKING SHALL BE FIRE RESISTIVE TREATED AS REQUIRED AND PERMITTED BY CODE.
- SHOULD ANY CONFLICT OCCUR BETWEEN THE ARCHITECTURAL DRAWINGS AND THE ARCHITECT'S CONSULTANTS' DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, EQUIPMENT AND OTHER INSTALLERS. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND FIELD CONDITIONS, CONSULT THE ARCHITECT PRIOR TO PROCEEDING WITH INSTALLATION.
- REFER TO PLUMBING DRAWINGS FOR LOCATIONS OF ALL FLOOR DRAINS, TRENCH DRAINS, SUMPS AND SUBSOIL DRAINAGE. UNLESS INDICATED OTHERWISE. IF LOCATIONS CONFLICT WITH ARCHITECTURAL DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ALL PENETRATIONS OF DUCTWORK, CONDUIT, PIPING AND OTHER WORK THROUGH FIRE RATED ASSEMBLIES SHALL BE SEALED WITH UL-APPROVED DESIGNS AND MATERIALS TO MAINTAIN THE RATING OF THE ASSEMBLY.
- ALL EQUIPMENT INSTALLED IN RETURN AIR PLENUMS SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION AGENCY FOR COMPLIANCE WITH CODE.
- THE CONTRACTOR SHALL COORDINATE ALL EQUIPMENT BASE AND HOUSEKEEPING PADS WITH MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS. EQUIPMENT BASE AND HOUSEKEEPING PADS TO BE MINIMUM 4" HIGH AND TO BE INSTALLED BENEATH THE PROJECTED AREA OF THE EQUIPMENT, AND IN ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- ALL ROOF-TOP EQUIPMENT SHALL BE LOCATED SUCH THAT FALL PROTECTION SYSTEMS ARE NOT REQUIRED FOR EQUIPMENT MAINTENANCE. U.N.O.
- GRAPHICS ARE NOT NECESSARILY AN INDICATOR OF DESIGN INTENT. IF DISCREPANCIES EXIST BETWEEN NOTES/SPECIFICATIONS AND GRAPHICS CONSULT ARCHITECT PRIOR TO PROCEEDING.

LOCATION MAP



SHEET INDEX	
SHEET NUMBER	SHEET NAME
00 SKETCH	
LL 01	LIQUOR LICENSE PLAN
01 GENERAL	
G0	COVER
G011	GENERAL INFORMATION
G201	OCCUPANT LOADS, EGRESS & TRAVEL DISTANCE
02 DEMOLITION	
AD101	DEMOLITION PLAN
03 ARCHITECTURE	
A100	SITE PLAN
A101	FLOOR PLAN
A201	BUILDING ELEVATIONS

SCOPE OF WORK

EXTERIOR DECK ADDITION AS PART OF A SANDWICH SHOP IN A SUITE OF AN EXISTING BUILDING.

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#	DESCRIPTION	DATE
	PLANNING COMMISSION SET	03 MAY 2022

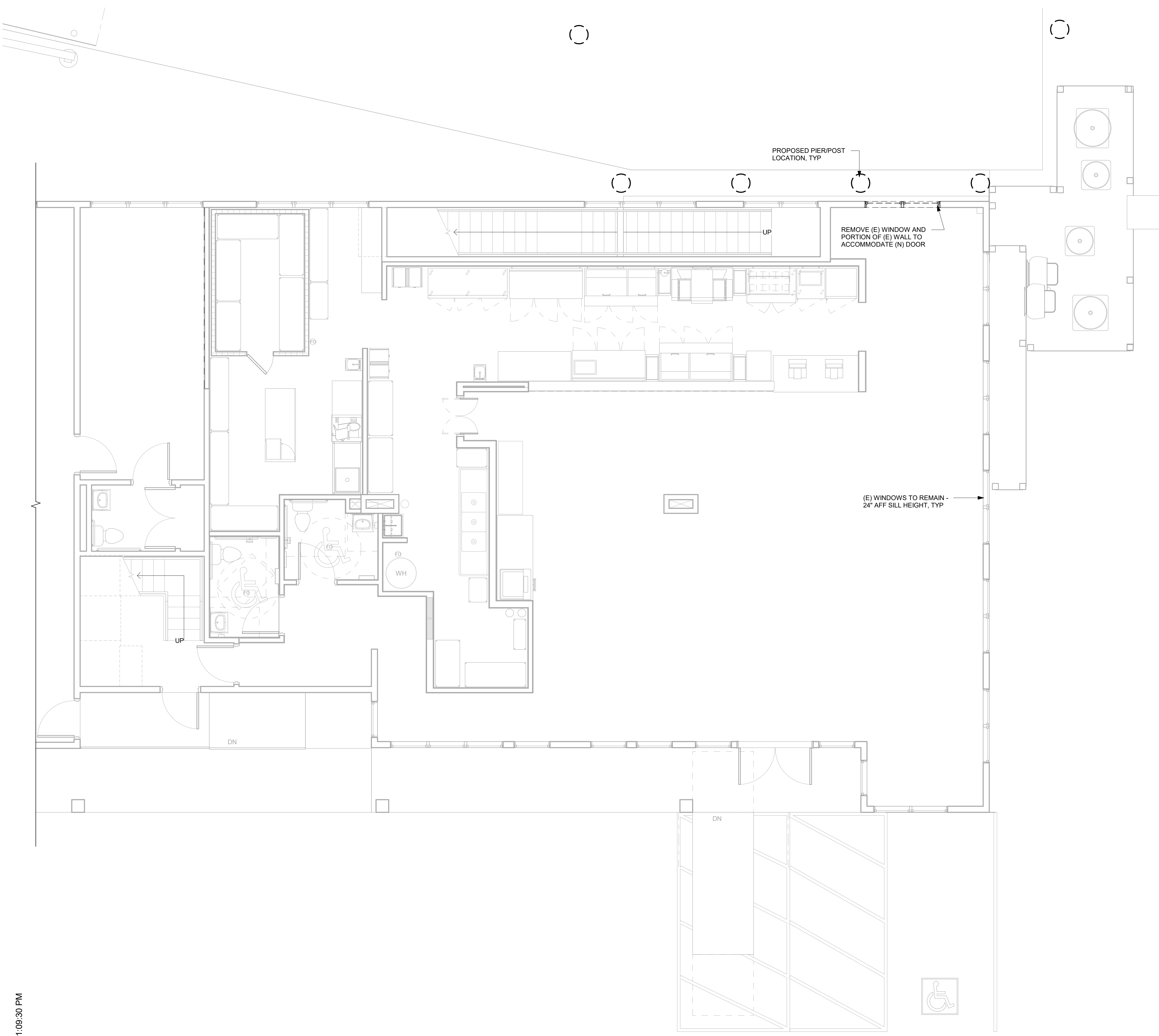
SNARF'S SANDWICHES

765 W ANEMONE TRAIL, UNIT A
 DILLON, COLORADO 80498

Project Number: 210023

GENERAL INFORMATION

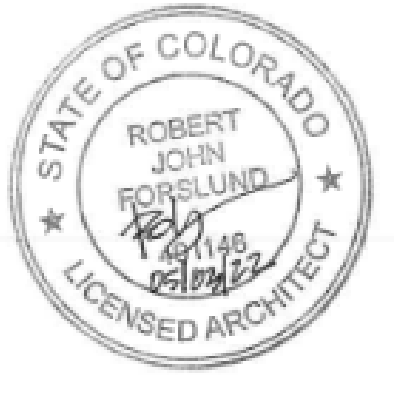
G011



SHEET NOTES

1. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL CONSTRUCTION ACTIVITIES WITH THE OWNER TO ALLOW THE OWNER TO CONTINUE TO OCCUPY AND USE THE FACILITY WHILE CONSTRUCTION ACTIVITIES ARE OCCURRING.
2. THE CONTRACTOR SHALL COORDINATE AND IMPLEMENT ALL SAFETY MEASURES REQUESTED AND/OR REQUIRED BY THE LOCAL FIRE MARSHAL, HEALTH DEPARTMENT, BUILDING OFFICIALS, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EXIT WAYS AND SHALL NOT BLOCK ANY EXIT PATHS. IF AN EXIT PATH MUST BE BLOCKED, AN ALTERNATIVE MEANS OF EGRESS SHALL BE PROVIDED AS APPROVED BY THE LOCAL GOVERNING AUTHORITIES HAVING JURISDICTION.
4. THE CONTRACTOR SHALL COORDINATE THE SALVAGE OF ALL EXISTING MATERIALS, EQUIPMENT, FIXTURES AND OTHER BUILDING ITEMS WITH THE OWNER. THE OWNER RETAINS SALVAGE RIGHTS TO ALL ITEMS REMOVED FROM THE BUILDING AS PART OF THE PROJECT. ITEMS WHICH THE OWNER DOES NOT WISH TO KEEP SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY REMOVING AND LEGALLY DEPOSING OF ALL DEMOLISHED ITEMS FROM THE SITE. ON SITE SALE, DISPOSAL, OR INCINERATION OF DEMOLISHED ITEMS IS NOT PERMITTED.
6. THE CONTRACTOR SHALL NOTIFY THE OWNER IN ADVANCE OF ANY INTERRUPTIONS TO UTILITIES PER THE OWNERS REQUIRED TIMELINE.
7. THE CONTRACTOR SHALL MAINTAIN THE SECURITY OF THE SITE THROUGHOUT THE ENTIRE CONSTRUCTION SCHEDULE.
8. THE CONTRACTOR SHALL CONSTRUCT DUST PARTITIONS AS REQUIRED TO PROTECT THE EXISTING BUILDING AND CONTENTS DURING CONSTRUCTION ACTIVITIES.
9. THE CONTRACTOR SHALL PROTECT ALL BUILDING ITEMS AND CONDITIONS TO REMAIN. IT IS THE CONTRACTORS RESPONSIBILITY TO REPAIR AND REPLACE ANY EXISTING ITEMS OR CONDITIONS THAT ARE DAMAGED DURING CONSTRUCTION ACTIVITIES.
10. THE CONTRACTOR SHALL REVIEW THE MECHANICAL, ELECTRICAL, AND ALL OTHER RELATED DRAWINGS AND DOCUMENTS FOR ANY ADDITIONAL DEMOLITION WORK REQUIRED.
11. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF EXISTING WALL, FLOOR, AND CEILING FINISHES WITH THE ROOM FINISH SCHEDULE.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL SUPPORTS, ACCESSORIES, AND CONVEYANCES RELATED TO EQUIPMENT AND FIXTURES SHOWN ON THE CONSTRUCTION DOCUMENTS.
13. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE DETECTION OR REMOVAL OF ANY HAZARDOUS MATERIAL INCLUDING BUT NOT LIMITED TO ASBESTOS. PARTIES RESPONSIBLE FOR DEMOLITION SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY SUSPECTED HAZARDOUS MATERIALS.
14. THE DRAWINGS ARE DIAGRAMMATIC AND MAY NOT SHOW ALL DEMOLITION THAT IS REQUIRED. THE CONTRACTOR SHALL VISIT THE BUILDING TO DOCUMENT ALL CONDITIONS AND DETERMINE THE EXTENT OF DEMOLITION THAT WILL BE REQUIRED TO CONSTRUCT THE PROJECT AS IT IS DOCUMENTED.

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#	DESCRIPTION	DATE
1	PLANNING COMMISSION SET	03 MAY 2022

SNARF'S SANDWICHES
 765 W ANEMONE TRAIL, UNIT A
 DILLON, COLORADO 80498

Project Number: 210023

DEMOLITION PLAN

AD101

CODE ANALYSIS

FIRE EXTINGUISHER LEGEND			
TEMP	TEMPORARY		
FEC	FIRE EXTINGUISHER CABINET		
FE	FIRE EXTINGUISHER		
A	CLASS A FIRE EXTINGUISHER	(B)	BRACKET MOUNTED
B	CLASS B FIRE EXTINGUISHER	(S)	SURFACE MOUNTED
C	CLASS C FIRE EXTINGUISHER	(SR)	SEMI-RECESSED
D	CLASS D FIRE EXTINGUISHER	(R)	RECESSED
K	CLASS K FIRE EXTINGUISHER		

NOTES:

- FIRE EXTINGUISHER CLASS AND DISTANCES ARE WITHIN THE NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHER 2002 EDITION
- PROVIDE FIRE EXTINGUISHER CABINETS AS SHOWN IN PLANS UNLESS PROVIDED BY TENANT.

2018 INTERNATIONAL BUILDING CODE (IBC)
 2018 INTERNATIONAL MECHANICAL CODE (IMC)
 2018 INTERNATIONAL PLUMBING CODE (IPC)
 2018 INTERNATIONAL FIRE CODE, AS REFERENCED BY IBC (IFC)
 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
 2000 ICC ELECTRICAL CODE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 IECC PRESCRIPTIVE PATH, REFER TO MECHANICAL AND ELECTRICAL CODE AND DESIGN CRITERIA
 ICC/ANSI A117.1 - 2009
 AND ALL CURRENT DENVER AMENDMENTS

CONSTRUCTION TYPE: V-B
 OCCUPANCY CLASSIFICATION - A-2 (SECTION 303.3, IBC)
 BUILDING HEIGHT: 3 STORIES
 PROJECT AREA: 2,704 G.S.F.

TOTAL OCCUPANT LOAD: 135 (SEE EGRESS PLAN)

FIXTURE COUNTS
 135/2 = 68 PERSONS PER GENDER
 WATER CLOSETS
 REQUIRED: 2 PER IBC 2902.1
 PROVIDED: 2
 LAVATORIES:
 REQUIRED: 1 PER IBC 2902.1
 PROVIDED: 2
 SERVICE SINK
 REQUIRED: 1 - PROVIDED: 1
 DRINKING FOUNTAINS
 REQUIRED: 0
 PROVIDED: 0

FIRE ALARM: EXISTING TO REMAIN*
 SPRINKLER SYSTEM: EXISTING TO REMAIN*
 *GC RESPONSIBLE FOR REVISING CURRENT SYSTEM FOR COMPLIANCE WITH CURRENT CODES AND RECONFIGURED SPACES AND CEILINGS

THE OUTDOOR SEATING AREA SHALL NOT TO EXCEED 20% OF THE SIZE OF THE RESTAURANT SPACE (540 SQ. FT.); THEREFORE, ADDITIONAL PARKING IS NOT REQUIRED FOR THE DECK ADDITION

EGRESS LEGEND	
SYMBOL	DESCRIPTION
X - - - -	COMMON PATH OF TRAVEL: 75' MAX (TYPICAL OCCUPANCY) 25' MAX (H OCCUPANCY) 100' MAX (FULLY SPRINKLERED B, F & S OCCUPANCY)
← X →	COMMON PATH OF TRAVEL: 2 SEPARATE PATHS OF EGRESS TO SEPARATE EXITS
← - - - - →	OVERALL DIAGONAL DIMENSION
● - - - ●	DISTANCE BETWEEN EXITS (< 1/3 OVERALL DIAGONAL DIMENSION)
● - - - →	TRAVEL DISTANCE

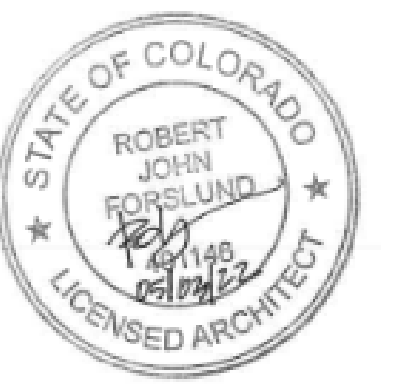
OCCUPANCY	MAXIMUM EXIT ACCESS TRAVEL DISTANCE	
	NON-SPRINKLERED	SPRINKLERED
A, E, F-1, M, R, S-1	200'	250'
B	200'	300'

OCCUPANCY	2 EXITS REQ'D WHEN OCCUPANT LOAD > THAN
A, B, E, F, M, U	49

NOTES:
SEE CODE SUMMARY FOR ADDITIONAL EGRESS INFORMATION

OCCUPANT LOAD & EXITING LEGEND	
□	OCCUPANT LOAD

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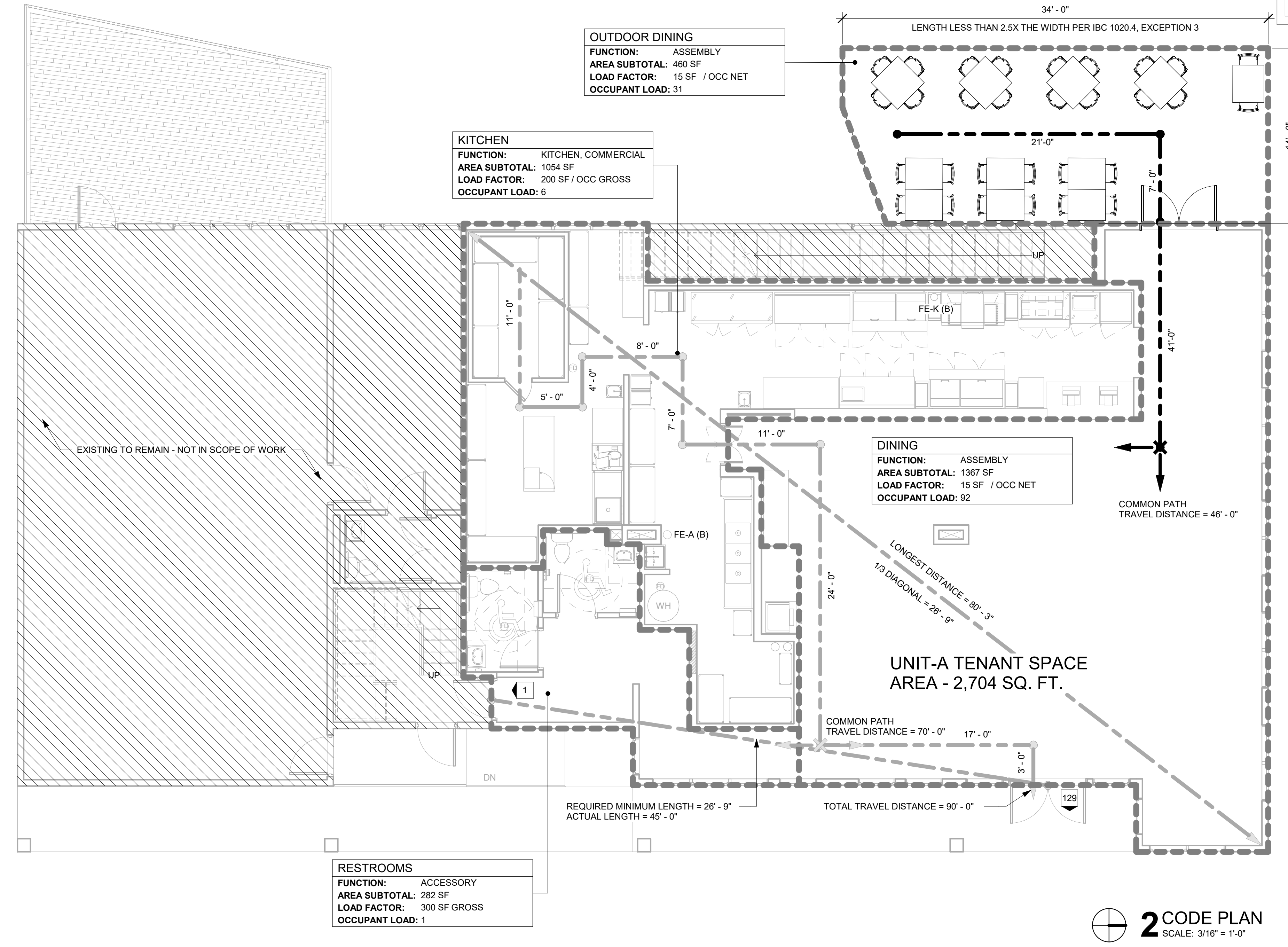
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 765 W ANEMONE TRAIL, UNIT A
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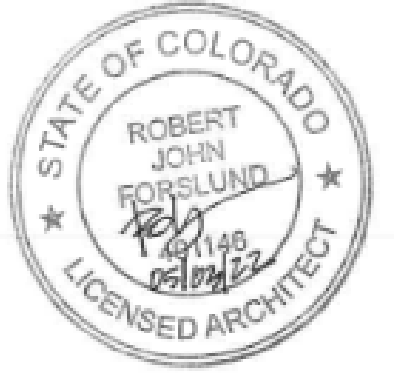
Project Number: 210023

OCCUPANT LOADS, EGRESS & TRAVEL DISTANCE

G201



2 CODE PLAN
 SCALE: 3/16" = 1'-0"



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#	DESCRIPTION	DATE
1	PLANNING COMMISSION SET	03 MAY 2022

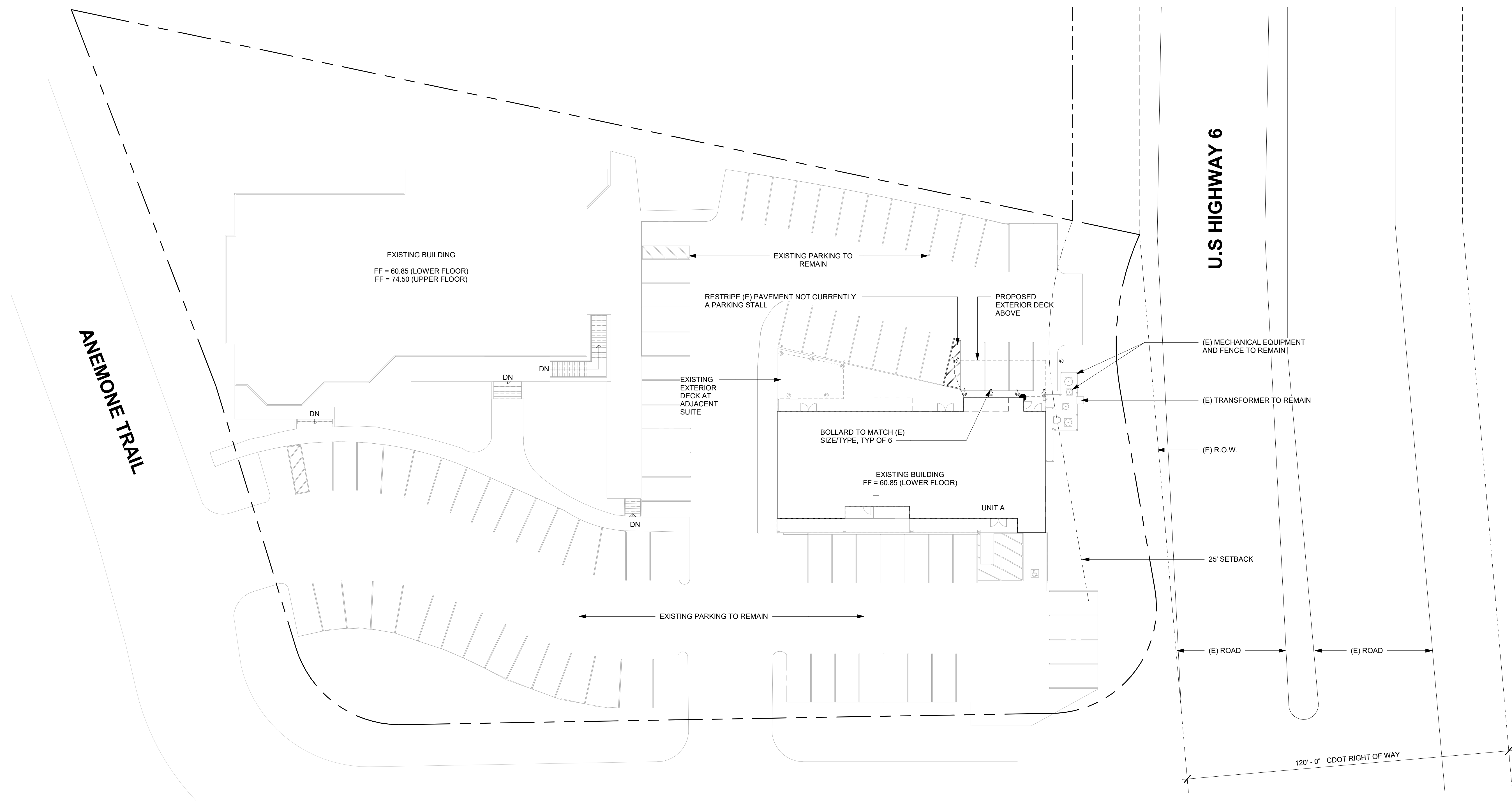
SNARF'S SANDWICHES
 765 W ANEMONE TRAIL, UNIT A
 DILLON, COLORADO 80498

Project Number: 210023

SITE PLAN

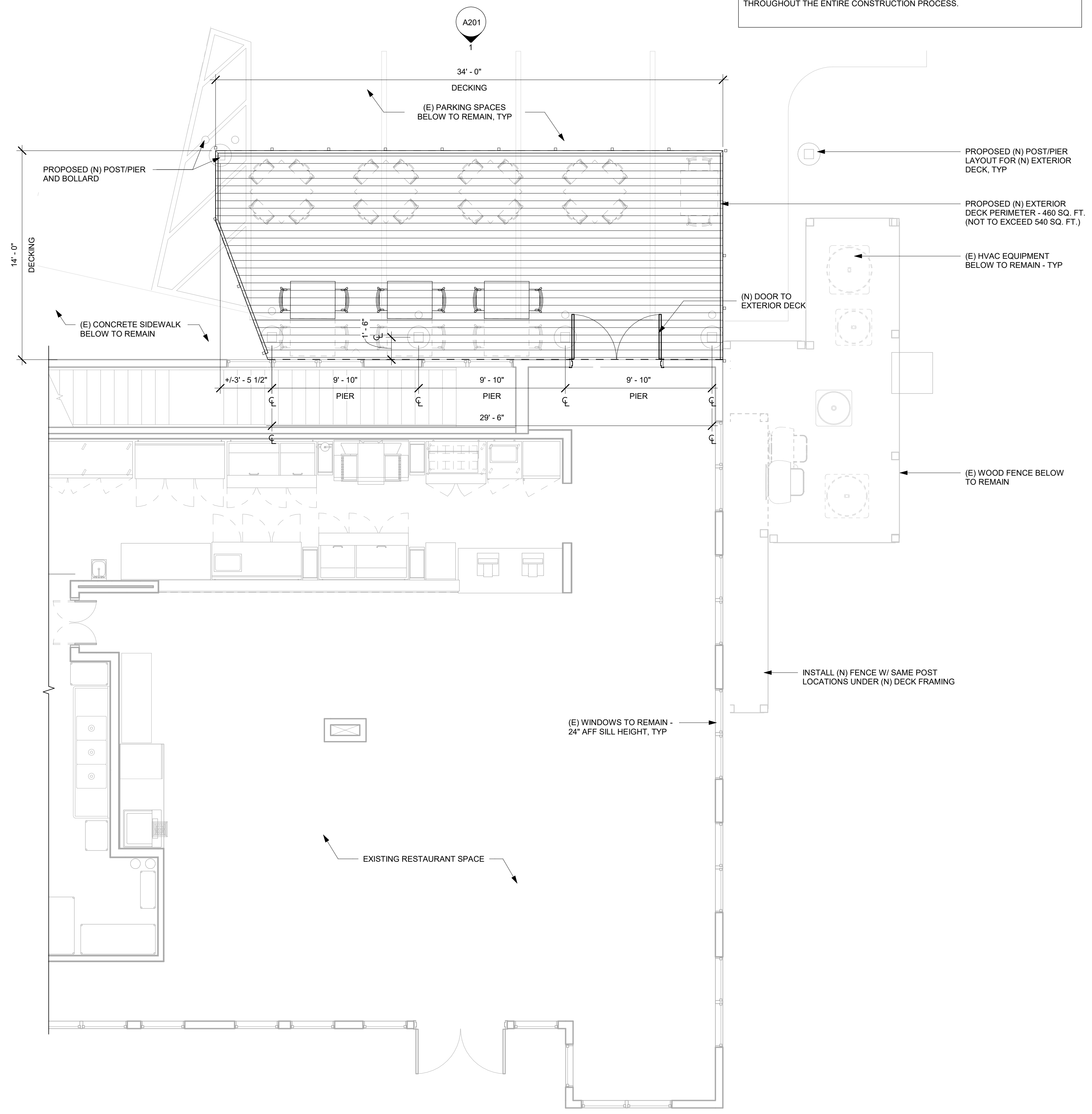
A100

1 SITE PLAN
 SCALE: 1" = 20'-0"

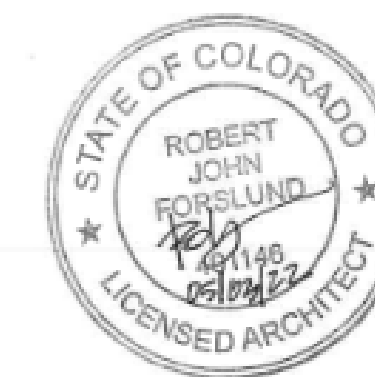


SHEET NOTES

- 1. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE CONSTRUCTION.
- 2. ALL DIMENSIONS ON THE DRAWINGS ARE TO THE FACE OF SHEATHING, U.N.O.
- 3. THE CONTRACTOR SHALL COORDINATE AND IMPLEMENT ALL SAFETY MEASURES REQUESTED AND/OR REQUIRED BY THE LOCAL FIRE MARSHAL, HEALTH DEPARTMENT, BUILDING OFFICIALS, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- 4. THE CONTRACTOR SHALL MAINTAIN SECURITY OF THE CONSTRUCTION SITE THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.



chord.



OWNER
SNARF'S SANDWICHES
 2762 WALNUT STREET
 DENVER, CO 80205
 t: 720.389.7920

ARCHITECT
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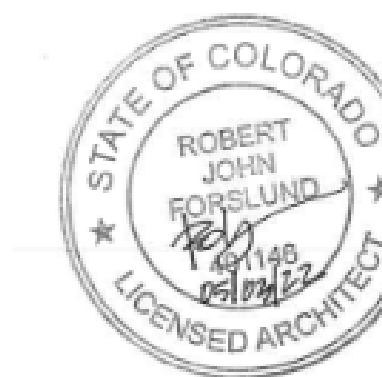
SNARF'S SANDWICHES

765 W ANEMONE TRAIL, UNIT A
 DILLON, COLORADO 80498

Project Number: 210023

FLOOR PLAN

A101



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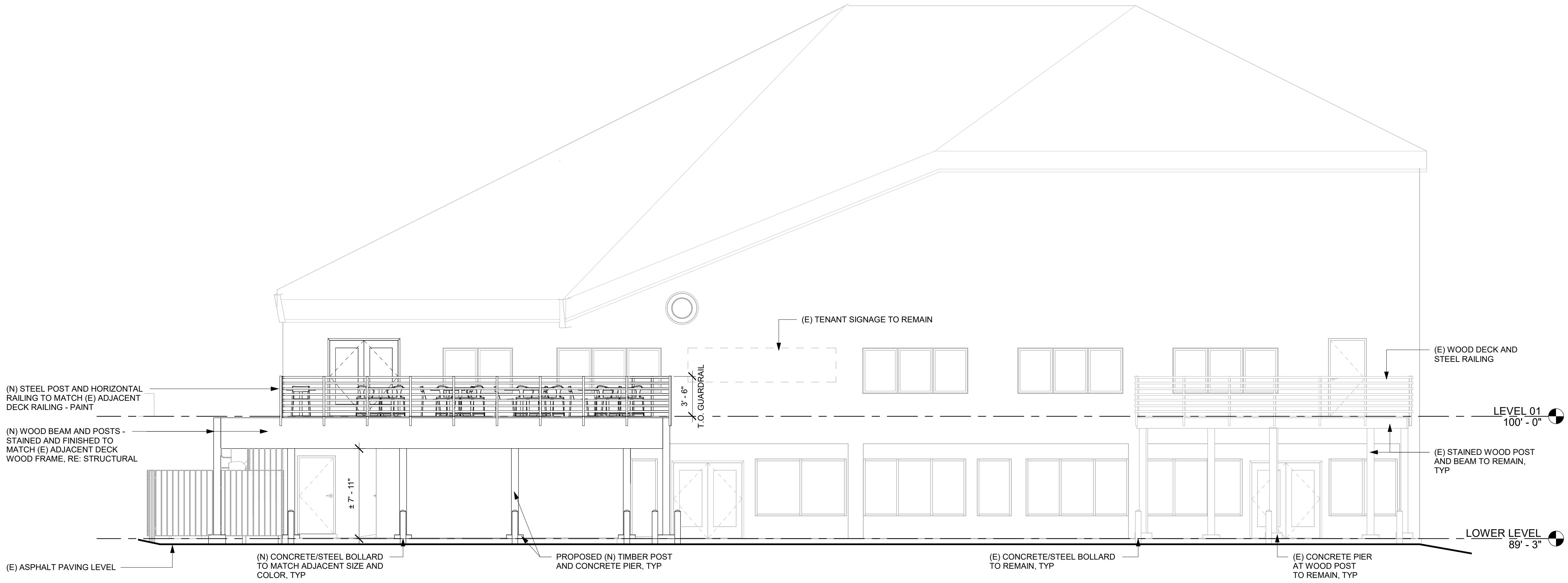
SNARF'S SANDWICHES

765 W ANEMONE TRAIL, UNIT A
 DILLON, COLORADO 80498

Project Number: 210023

BUILDING ELEVATIONS

A201



1 EXTERIOR DECK WEST ELEVATION
 SCALE: 3/16" = 1'-0"

5/3/2022 1:09:28 PM



MEMORANDUM

TO: ROB FORSLUND, CHORD DESIGN STUDIOS
FROM: NED WEST, SR. TOWN PLANNER
SUBJECT: COMMERCIAL DECK – SNARF’S SANDWICHES – 765 W. ANEMONE TRAIL
DATE: MAY 11, 2022

Mr. Forslund,

The Town of Dillon Development Review Committee has reviewed the commercial deck application for the Snarf’s Sandwiches and has determined that the plans submitted on May 3rd, 2022 are acceptable to move forward to the Planning and Zoning Commission for their review in a public hearing.

Critical to this determination were the following:

1. The Proposed deck support caisson / foundation is located twenty (20) feet from the northern property line as shown on page A100 of the plans dated May 3, 2022.
2. Review of meeting minutes, plans, memoranda, and notes from 1982 indicate that a Variance was applied for and granted for a twenty (20) foot setback from the northern lot line. At the time, the subject lot line was referred to as the “front” of the property as shown on the Gore Range Plaza plans dated April 26, 1982. The application was reviewed and approved by the Dillon and Planning & Zoning Commission May 10, 1982, and said approval is further detailed in a memorandum from the Town Planner, Stephen Hanson, to the Town Administrator, Anna Lenahan dated July 6, 1982.
3. The trash enclosure and ground-based mechanical equipment encroach into the street side yard to a degree greater than the proposed deck column support.

Although the Dillon Municipal Code (DMC) stipulates, “Front yards and street side yards shall be a minimum of twenty-five (25) feet” (DMC § 16-3-160), the findings indicate that the building was approved with twenty (20) foot setbacks. Noteworthy, is that the Town would interpret the front yard as being that fronting the primary access and from which the property is addressed (W. Anemone Trail), and thus the Town would currently consider the subject yard as the street side yard. Regardless of that fact, the resulting determination of a prior variance remains in force.

We therefore determine that the application may move forward to the June 1, 2022 Planning and Zoning Commission. The Town will provide the required public notice and prepare materials for said meeting. Please see the attached documents referenced in this memorandum in support of this determination. Should you have any questions, please do not hesitate to contact me.

Thank you,
Town of Dillon


Ned West, AICP
Sr. Town Planner

Cc: Dillon Factory Stores LLC c/o Brown & Associates

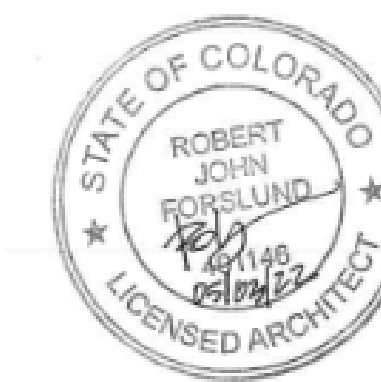
Supporting Materials:

2 Sheets Proposed Deck – Dated 05-03-2022

3 Pages Record of Proceedings – Item 9 – Dated May 10, 1982

1 Sheet Gore Range Plaza – April 26, 1982

3 Pages Memorandum Town Planner to Town Administrator – July 6, 1982



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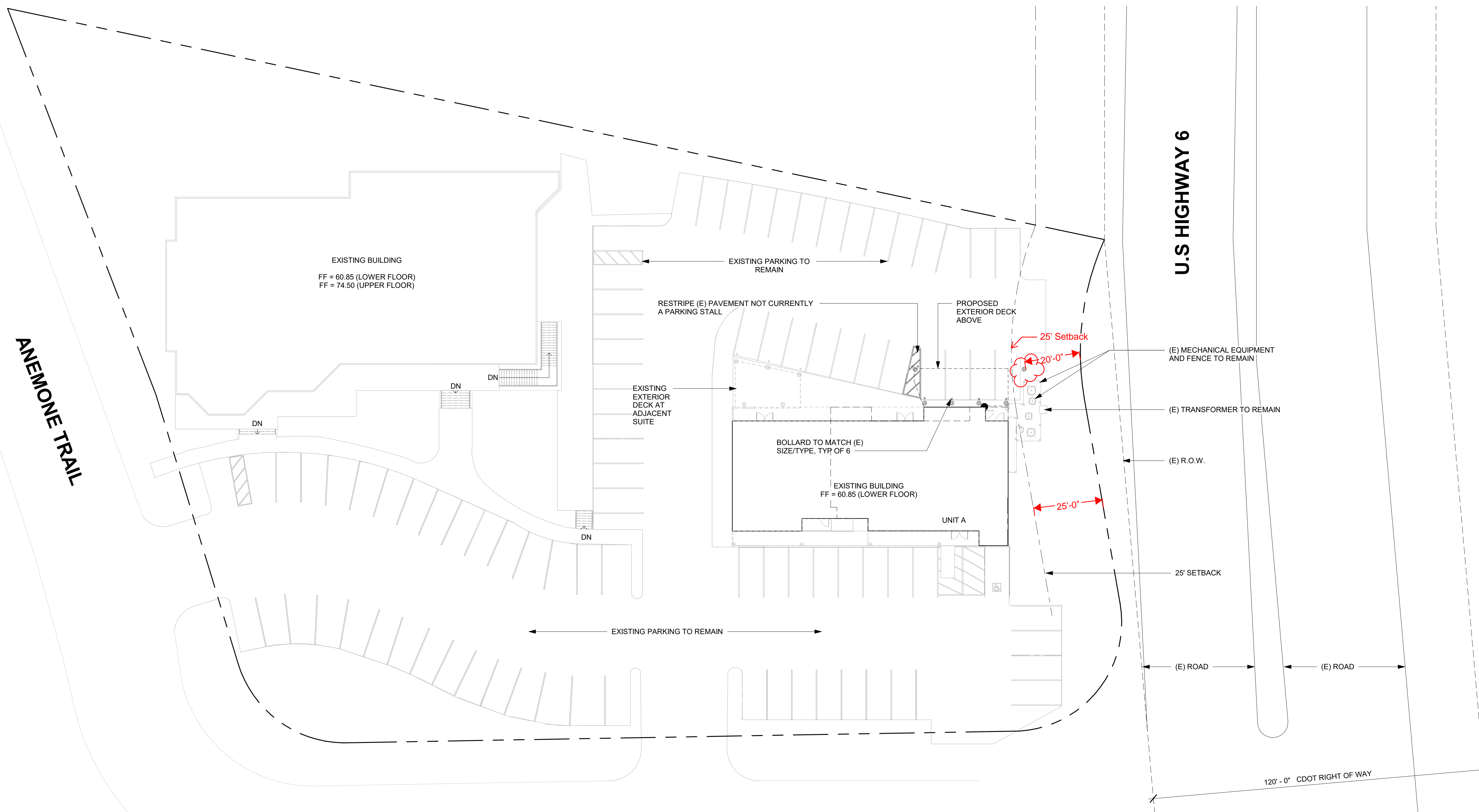
SNARF'S SANDWICHES

765 W ANEMONE TRAIL, UNIT A
 DILLON, COLORADO 80498

Project Number: 210023

SITE PLAN

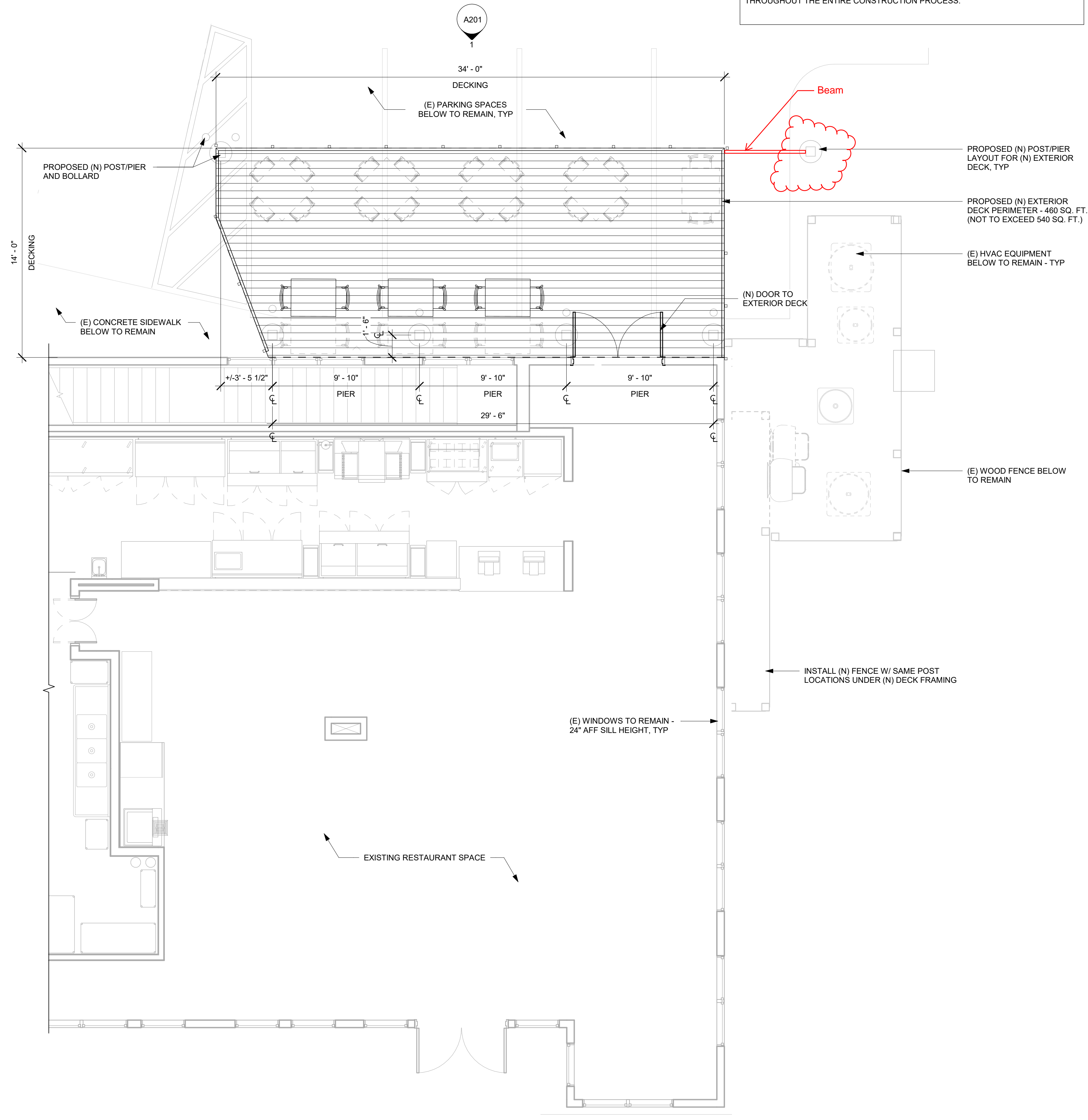
A100



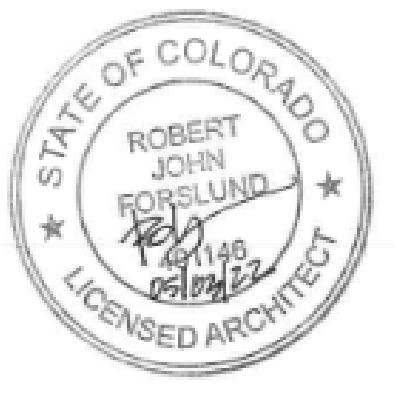
1 SITE PLAN
 SCALE: 1" = 20'-0"

SHEET NOTES

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#	DESCRIPTION	DATE
1	PLANNING COMMISSION SET	03 MAY 2022

SNARF'S SANDWICHES
 765 W ANEMONE TRAIL, UNIT A
 DILLON, COLORADO 80498

Project Number: 210023

FLOOR PLAN

A101

1 EXTERIOR DECK PLAN
 SCALE: 1/4" = 1'-0"

TOWN OF DILLON

Box 8 • Dillon, Colorado 80435



A G E N D A

Dillon Planning and Zoning Commission
Dillon Architectural Review Board
May 10, 1982

1. Call to Order
2. Approval of Minutes
3. Sign Application: Robillard and Associates
4. Sign Application: Anchorage Joint Ventures
5. Sign Application: Van Schaack and Company
6. Sign Application: Mountain Environmental Inc.
7. Sign Application: Gregory Jungman D.D.S.
8. Fence Application: Coeur de Lac Condominiums
9. Plan Review: Gore Range Inn Addition
Variance Request
10. Plan Review: Gore Range Plaza
Variance Request
11. Old Business
12. New Business
13. Adjournment

:WORKSESSION:

RECORD OF PROCEEDINGSMINUTESDILLON PLANNING AND ZONING COMMISSION
DILLON ARCHITECTURAL REVIEW BOARD

May 10, 1982

1. Call to Order: The meeting was officially called to order at 7:53 P.M. Present: Burris, Collard, Keller, Shafer
2. Approval of Minutes: Collard made a motion to approve the minutes of the April 12, 1982 meeting. The motion was seconded by Keller and the vote was unanimous in favor.
3. Robillard Sign Application: Robillard and Associates have requested approval for their sign application. The sign will hang under the soffit of the Snow Bank Building and will be up indefinitely. The sign will not be illuminated and will be made of sand blasted redwood. Collard made a motion to approve the sign, seconded by Keller. The vote was three in favor of approval with Shafer abstaining.
4. Anchorage Joint Venture Sign Application: A decision was not made by the P&Z at the April 12, 1982 meeting in regard to this application. It was tabled so more information could be gathered about the lighting of the sign and the materials it is to be made of. Alan Clausen was on hand to represent Anchorage and answer any questions. The lighting will be indirect and the material is a durable plastic. As all necessary information was given and all ordinances abided by Shafer made a motion to approve the sign. This was seconded by Collard and the following vote was three in favor of approval with Shafer abstaining.
5. Van Schaack and Co. Sign Application: The decision on this sign was also tabled at the April 12, 1982 meeting due to lack of all necessary information. P&Z wanted to know the distances the sign is from the highway. The real estate sign is about 65 feet from the street line of the highway and approximately 200 feet from the corner of the lot. Keller made a motion to approve the sign until December 31, 1982. Collard seconded the motion and the following vote was three in favor with Shafer abstaining.
6. Mountain Environments Inc. Sign Application: This sign was tabled due to lack of information at the April 12, 1982 meeting. After reviewing the proper information that was submitted, Shafer stated that he thought the sign was more of a miniature billboard than a real estate sign. The sign only stated the name of the company on it's face and nothing about sale of the lot in question. For this reason, Shafer made a motion to deny the application and because the sign is already up, it must be taken down. This motion was seconded by Collard and the following vote was unanimous in favor of the motion carrying. The Planner was instructed to inform the owners of the sign of the decision and to have them take the sign down in ten days or less. If the sign is not taken down the police are to issue a citation to the owners.
7. Gregory Jungman D.D.S. Sign Application: Dr. Jungman was on hand to answer any questions regarding his sign for his dentist office in the Dillon Plaza Building on the third floor. The sign is to be redwood sandblasted with a picture of a family in the center. There will be two oval sign of this type and one "DENTIST" sign with raised letters to be attached to the building side. As all fees are paid and all the ordinances are adhered to, Keller made a motion to approve the sign application. Collard seconded the motion and the following vote was three in favor of approval with Shafer abstaining.

RECORD OF PROCEEDINGS

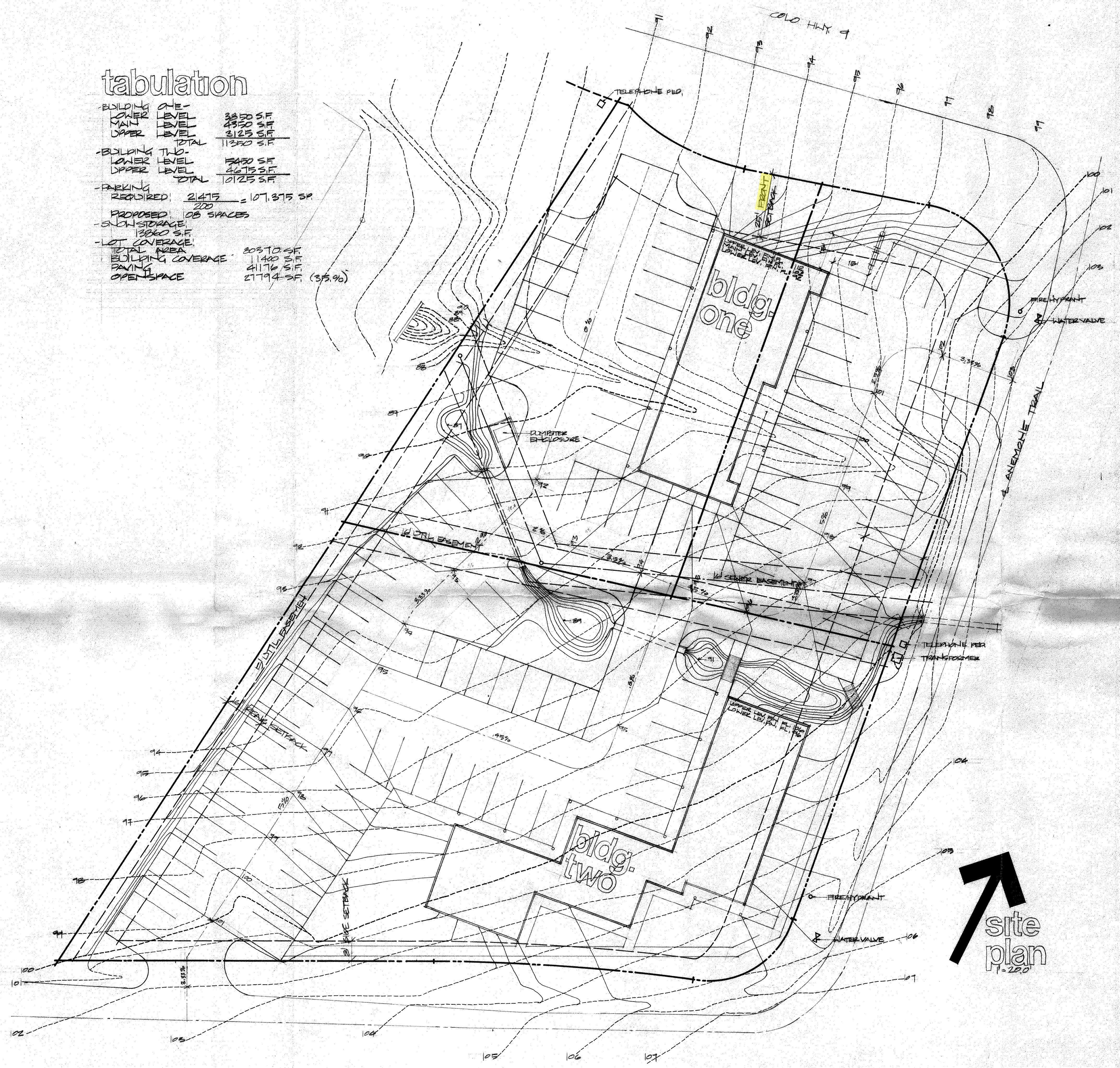
MINUTES: P&Z/DARB May 10, 1982

page 2

8. Coeur de Lac Fence Application: The managers of the Coeur de Lac condominiums have requested approval for a fence to be built around their outdoor swimming pool. As this is mandatory in Dillon now there were few questions regarding it. The only problems were the possible safety hazards that exist due to the extended vertical fence parts. Collard stated that he would like to see these either trimmed off or the horizontal rail placed at the top so the vertical pieces don't stick up. Shafer also stated that in the drawings of the fence it was stated the fence posts would be made of galvanized steel. Shafer thought the collar should blend with everything around and he didn't think that shiny steel would be appropriate. Shafer then made a motion to approve the sign on the contingencies that extended tops be made safe and that the color of the fence be compatible. Collard seconded the motion and the following vote was unanimous in favor of this motion.
9. Gore Range Plaza Pln Review/Variance Request: Randy Hodges, the architect on the project, and Sam Brown, the owner, were on hand to answer any questions concerning the proposed project. Hodges first explained the variance requests. A variance is requested for the handicap access on the third floor of Building One. Due to high water on the site and the added cost of installing an elevator in the building it is felt that it's not necessary for only 15% of the total area of the project. Second, a variance is requested for 3 feet 6 inches in height due to high ground water and because Anemone Trail is built up about 4 feet higher than the site. This will allow more safety on the grades around the project. The last variance requested is for a 20 foot front line setback instead of the normal 25 feet. It was stated that the reason for this is to allow handicap access to both floors of building Two and for reasons of drainage. Hodges also stated that the lot line between lots 49a and 49b will be vacated. After review of the plans Collard made a motion to approve the plans with the variances requested also being approved. Keller seconded the motion and the following vote was three in favor with Shafer abstaining.
10. Gore Range Inn Addition Plan Review: Randy Hodges, the architect of the addition, was on hand to answer any questions about the addition. A variance is requested for four parking spaces on site. The addition will be about 800 square feet in area. Hodges explained that in the strict sense of the word, there is no physical hardship involved. The problem is that the restaurant can not function on the two floor plan the way it is set up now. This addition would allow for more visibility from the street and also it will allow for a one floor operation. Hodges stated that at this time the top floor will be made into office space. Shafer stated that he was concerned with the future of the building if they granted a variance for parking spaces. He said that if the use of the building changed then there would not be enough parking. Collard said he understood that but that at this time -the lot is never full even in the busiest months and that if the town had a chance to help out a business in the town than it also has an obligation to do this. Collard then made a motion to approve the plans for the addition on the Gore Range Inn. Keller seconded the motion and the following vote was three in favor and Shafer -against approval. The motion carries 3 to 1.
11. Old Business: Burris read a thank you note from the Younger family for the flowers sent. It was also reminded that there is a joint meeting between the P&Z and the Board to hear consultants give a presentation for the master plan.
12. New Business: Shafer stated his resignation from the P&Z due to a change in residency.
13. Adjournment: Collard made a motion to adjourn the meeting and was seconded by Keller. The vote was unanimous in favor to adjourn at 9:45 P.M.

tabulation

BUILDING	AREA	
MAIN LEVEL	38	S.F.
UPPER LEVEL	4300	S.F.
LOWER LEVEL	2125	S.F.
TOTAL	11350	S.F.
PARKING		
REQUIRED	21475	= 107,375 SP
PROPOSED	200	OB SPACES
LOT COVERAGE		
TOTAL AREA	20370	S.F.
BUILDING COVERAGE	11350	S.F.
PAVING	4176	S.F.
OPEN SPACE	2794	S.F. (35.9%)



↑
site plan
1" = 20.0'

architect
randy hodge box 1297
dillon colorado 80435
303-468-5871

issued	date
PER TOWN APPROVAL	1-22-82
revised	date
REV. ADDED SCALE	10-22-82

gore range plaza

job number 822

1

OWNER: GORE RANGE PLAZA INVESTMENTS
GORE RANGE PLAZA INVESTMENTS
BOX 3325
DILLON, COLORADO 80435
303-468-5871

FYI

GOOSE RANGE PIZZA

10/5/82

PEZ APPROVAL 5/10/82

CONDITIONS = 1) VARIANCES - GRANTED

2) RESUBDIVISION TO REMOVE LOT LINE 49 A & 49 B.

WOULD ALSO MAKE SENSE TO DELETE 48 ALSO - AS IMPROVEMENTS. DON'T FOLLOW LOT LINES AND THE AREA IS UNDER SINGLE OWNERSHIP. IF NOTRESUBDIVIDED WE SHOULD HAVE AGREEMENTS DRAWN UP TO PROVIDE FOR ^{ACCESS} EASEMENTS, PARKING, USAGE BETWEEN PARCELS.

3. PHASING PLAN.

4. LANDSCAPING PLAN - DETAILED PLAN W/ MATERIALS, QUANTITIES, SIZES - (COST EST. & GUARANTEES)

5. SPECIFICS ON IMPROVEMENTS TO PARKING LOT & ACCESS DRIVES

REGARDING REVENUE BONDS - NOTHING HAS BEEN RCVD. IN RESPONSE TO ITEMS MENTIONED IN MEMO OF JULY 6, 1982 - ATTACHED

I DON'T BELIEVE ANYTHING WAS DELETED FROM THE MEMO OF 7/6/82 AND I FEEL THE BOARD SHOULD REQUIRE THESE ITEMS AT LEAST PRIOR TO ISSUANCE OF BONDS. AS WE STILL HAVE NO IDEA IF THE FIGURES MENTIONED TO THE BOARD ARE BASED ON ANY REALISTIC BIDS.

ALSO GARY BROWN SHOULD BE ADVISED THAT NO SIGNS HAVE BEEN APPROVED FOR THE PROJECT

TOWN OF DILLON

Box 8

Dillon, Colorado 80435



MEMORANDUM

To: Anna Lenahan, Town Administrator
From: Stephen Hanson, Town Planner
Date: July 6, 1982
Re: Gore Range Plaza

The Town Board will be considering a request to issue Industrial Revenue Bonds to Dillon Joint Ventures for the construction of Gore Range Plaza. A review of the information available in the files regarding the project indicates the project was approved by the Planning and Zoning Commission on May 10, 1982. The following is our summary of the conditions of the approval:

1. Approval of variances for handicap access to the 3rd Floor of Building #1, a height variance of 3'-6", and a 5' variance to the 25' setback for Building #2.
2. A request be submitted to vacate the lot line between 49A and 49B. This requires a re-subdivision of the lots.
3. Exterior building materials were not specified, however, a review of the elevations indicates the siding to be horizontal wood siding and the roof to be shake shingles. The Zoning Ordinance specifies the exterior surfaces to be of natural wood which may have a clear finish or stained, but not painted.
4. No phasing was indicated on the plans, however, we assume the project is to be built in two phases. The phasing should be indicated on the plans and the items to be constructed in each phase itemized.
5. A schematic landscaping plan was included in the submittal, however, the plan lacks specifics on the materials. The plan should include quantities, method of planting, sizes and delineate areas to be grass, groundcover, shrubs and/or rock. In addition, landscaping should be guaranteed for a complete growing season.
6. There is no indication on plans whether curbing will be used in the parking areas. It is assumed the parking will be an asphalt surface and that appropriate base material will be installed. No improvement to the public rights-of-way were indicated other than two (2) access drives.

Regarding the issuance of revenue bonds. It is unclear whether the bond money will cover the entire project or only a portion. Detailed cost estimates for all improvements should be reviewed. The following is a list of the items which should be included:

1. Construction plans and costs for the following.
2. Grading and drainage improvements.
3. Landscaping materials, installation and maintenance.
4. Parking lot surface, base, striping and sidewalks.
5. Utility lines and dumpster.
6. Public improvements, if any.
7. Possible inclusion of other improvements not specific in plans, ie: bikeway, paving Anemone adjacent to the project, street lights, additional landscaping and sign to identify the Town limits.

Lastly, we would recommend the Town Board consider the cost benefit aspects of issuing bonds for this project and similar requests which may be presented in the future. This should include a review of the viability of the project and specifically the criteria for issuing the industrial revenue bonds.

The plans submitted, originally, were referred to the Town of Silverthorne at thich time they had three (3) concerns, as noted in their letter of February 11, 1981. Since that time, the plans were revised and two (2) of their concerns remain relavent. A review of the file indicated the revised plans were not referred to Silverthorne for their review. Silverthornes previous concerns dealt with the drainage as follows:

1. Historical drainage leaving property not be increased.
2. Drainage exit property at same location where it presently leaves.

exit