

UNIT MIX					
NAME	Unit Description	AREA	TOTAL AREA	MIX (UNIT)	COUNT
S1	STUDIO	550 SF	2200 SF	5%	4
S2	STUDIO	612 SF	612 SF	1%	1
		2812 SF		6%	5
A1	1 BEDROOM / 1 BATHROOM	690 SF	2759 SF	5%	4
A2	1 BEDROOM / 1 BATHROOM	749 SF	14987 SF	25%	20
A2 ALT 1	1 BEDROOM / 1 BATHROOM	767 SF	3066 SF	5%	4
A3	1 BEDROOM / 1 BATHROOM	780 SF	780 SF	1%	1
		21592 SF		36%	29
B1	2 BEDROOM / 2 BATHROOM	1057 SF	3172 SF	4%	3
B2	2 BEDROOM / 2 BATHROOM	1097 SF	20835 SF	24%	19
B2 ALT 1	2 BEDROOM / 2 BATHROOM	1114 SF	4455 SF	5%	4
B3	2 BEDROOM / 2 BATHROOM	1197 SF	4787 SF	5%	4
B3 ALT 1	2 BEDROOM / 2 BATHROOM	1203 SF	4811 SF	5%	4
		38060 SF		43%	34
C1	3 BEDROOM / 3 BATHROOM	1411 SF	16926 SF	15%	12
		16926 SF		15%	12
GRAND TOTAL		79391 SF		100%	80
AVERAGE UNIT SIZE		992 SF			

PARKING PROVIDED		
PARKING TYPE	LOCATION	COUNT
9' x 15' STANDARD	40' ROW	14
9' x 18' STANDARD	GARAGE	155
9' x 18' STANDARD	SITE	8
GRAND TOTAL		177

PARKING REQUIRED			
UNIT DESCRIPTION	COUNT	PARKING REQUIRED	TOTAL REQUIRED
STUDIO	5	1.5	7.5
1 BEDROOM / 1 BATHROOM	29	1.5	43.5
2 BEDROOM / 2 BATHROOM	34	2	68
3 BEDROOM / 3 BATHROOM	12	2	24
GRAND TOTAL			143

RESTAURANT	6,029 SF	1/120 SF (1/250 SF)	51 (25)
TOTAL PARKING REQUIRED			194 (168)

AREA SCHEDULE (GROSS BUILDING)	
LEVEL	AREA
LEVEL 1	34209 SF
LEVEL 1R	8144 SF
LEVEL 2	28421 SF
LEVEL 3	33916 SF
LEVEL 4	25974 SF
LEVEL 5	25974 SF
LEVEL 6	25974 SF
GRAND TOTAL	180313 SF



VICINITY MAP - N.T.S.  
DILLON, COLORADO



**PROJECT DESCRIPTION:**

THE DILLON GATEWAY PROJECT IS A MULTI-FAMILY RESIDENTIAL PROJECT WITH GARAGE, STORAGE, RESTAURANT, AND RETAIL ELEMENTS. THIS PROJECT IS FULLY SPRINKLERED WITH FULL NFPA 13 SPRINKLER PROTECTION THROUGHOUT.

THE BUILDING HEIGHT, AS MEASURED PER TOWN OF DILLON ZONING CODE, IS 60' ABOVE BASE ELEVATION.

**BASE ELEVATION:**

- HIGHEST POINT EL 9101.1
- LOWEST POINT EL 9079.4
- AVERAGE EL 9090.25

**THE BUILDING IS 6 STORIES -**

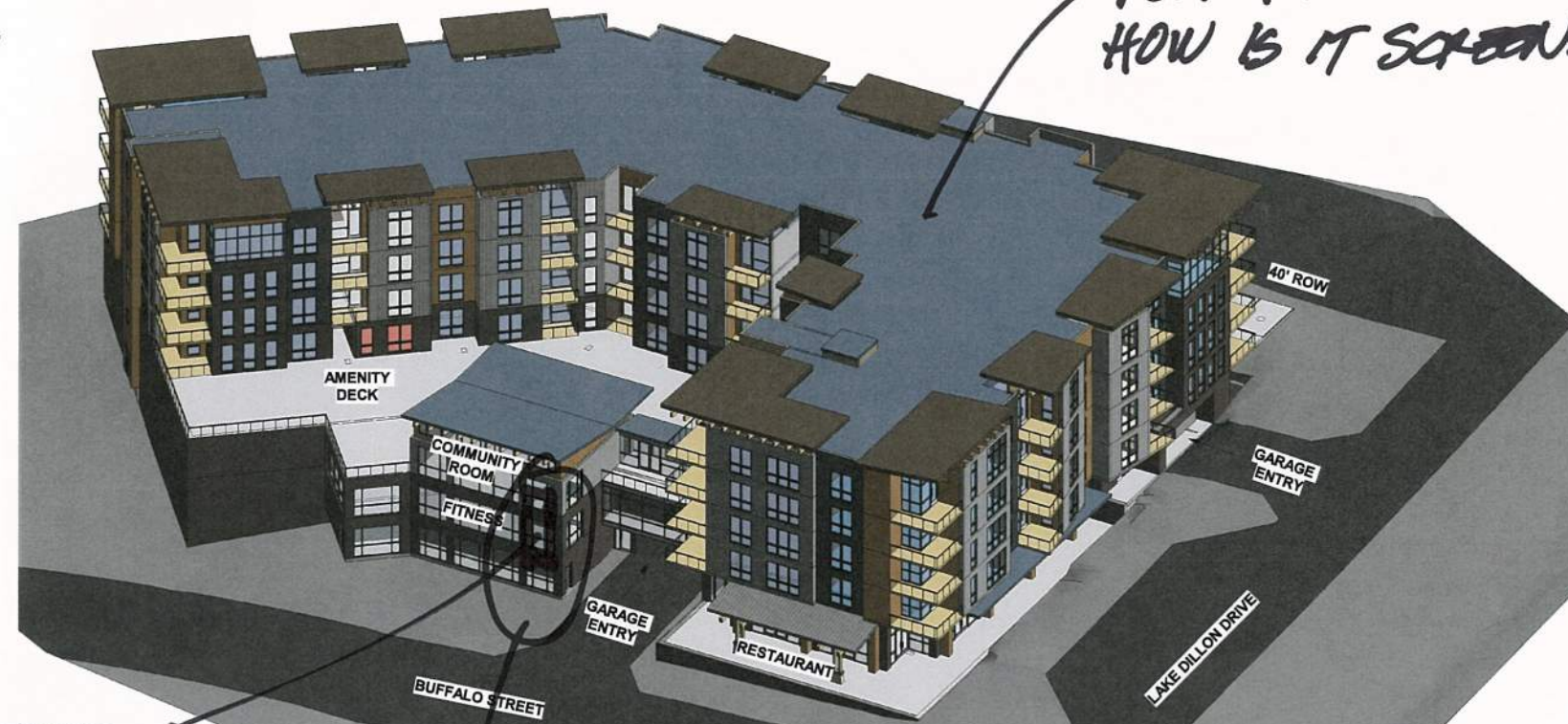
- TWO STORIES OF TYPE IA CONSTRUCTION BELOW
- FOUR STORIES OF TYPE VA (NON-COMBUSTIBLE) CONSTRUCTION ABOVE SEPARATED BY A CONCRETE PODIUM CREATING A 3 HOUR HORIZONTAL SEPARATION

**THE BUILDING INCLUDES THE FOLLOWING:**

1. LEVEL 1 (CONCRETE AND NON-COMBUSTIBLE) CONSISTS OF A PARKING GARAGE, GARAGE ENTRY, LOBBY AND STORAGE.
2. LEVEL 1R (CONCRETE AND NON-COMBUSTIBLE CONSTRUCTION) CONSISTS OF CORE AND SHELL RESTAURANT OR OTHER COMMERCIAL SPACE. THIS LEVEL IS INTERMEDIATE BETWEEN LEVELS 1 AND 2, AND EXISTS ONLY OVER THE EASTERN-MOST BAY OF PARKING AT LEVEL 1.
3. LEVEL 2 (CONCRETE AND NON-COMBUSTIBLE CONSTRUCTION) CONSISTS OF A PARKING GARAGE, GARAGE ENTRY, LOBBY, AND FITNESS.
4. LEVEL 3 (NON-COMBUSTIBLE CONSTRUCTION) CONSISTS OF DWELLING UNITS, EXTERIOR AMENITY DECK, STORAGE, AND COMMUNITY ROOM.
5. LEVELS 4 THROUGH 6 (NON-COMBUSTIBLE CONSTRUCTION) CONSISTS OF DWELLING UNITS.
6. TWO EXIT STAIRS EXTEND FROM LEVEL 1 TO LEVEL 6.
7. THE STAIR IN THE AMENITY SPACE CONNECTS THE FITNESS AND COMMUNITY ROOM.
8. TWO ELEVATORS EXTEND FROM LEVEL 1 TO LEVEL 6.
9. THE ROOF WILL BE LOW-SLOPE WITH A FULLY ADHERED MEMBRANE. THE HIGH PORTIONS WILL BE OVERFRAMED CONSTRUCTION FULLY ADHERED MEMBRANE AND DECORATIVE METAL ELEMENTS.
10. EXTERIOR SKIN WILL CONSIST OF A VARIETY OF MATERIALS, INCLUDING BUT NOT LIMITED TO MANUFACTURED STONE VENEER, CEMENTITIOUS SIDING AND PANEL, METAL PANEL.

**APPLICABLE CODES AND STANDARDS**

- 2012 SUMMIT COUNTY CODE AMENDMENTS
- 2012 INTERNATIONAL BUILDING CODE
- 2012 INTERNATIONAL MECHANICAL CODE
- 2012 INTERNATIONAL PLUMBING CODE
- 2012 INTERNATIONAL FUEL GAS CODE
- 2012 INTERNATIONAL ELECTRICAL CODE
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE
- 2012 INTERNATIONAL FIRE CODE



*EXTRUSS  
SINK ELEMENT OPENING  
DIFFERENTLY*

CONCEPTUAL MASSING BIRDSEYE VIEW, LOOKING NORTH

*HOW DO LANDINGS WORK W/ SILL LOCATIONS*

**UPTOWN 240**

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**UPTOWN 240**

LAKE DILLON DRIVE AND  
BUFFALO STREET DILLON, CO

THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEMS MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED.

No.	Description	Date
1	Revision 1	Date 1

CURRENT PHASE

PUD SUBMITTAL

ISSUE DATE  
2/2/2018

KEY PLAN

SHEET TITLE

PROJECT INFORMATION

SHEET NUMBER

**A031**

ARCHITECT'S PROJECT NUMBER Project Number

VERY NICE FEEL



studio  
PBA

ARE YOU SURE ABOUT FLAT ROOF HERE?

LOOK AT HOW CANOPY  
ENGAGES COLUMN

**UPTOWN 240**

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No.	Description	Date

CURRENT PHASE

PUD SUBMITTAL

ISSUE DATE 2/2/2018

KEY PLAN

SHEET TITLE

RENDERING

SHEET NUMBER

**PUD 100**

ARCHITECT'S PROJECT NUMBER Project Number

**OWNER:**  
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130 SKI HILL ROAD, #235  
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EMAIL: ROB@MARCINENGINEERING.COM  
PH: 970-771-3459

**LANDSCAPE ARCHITECT:**  
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CURRENT PHASE  
**PUD SUBMITTAL**

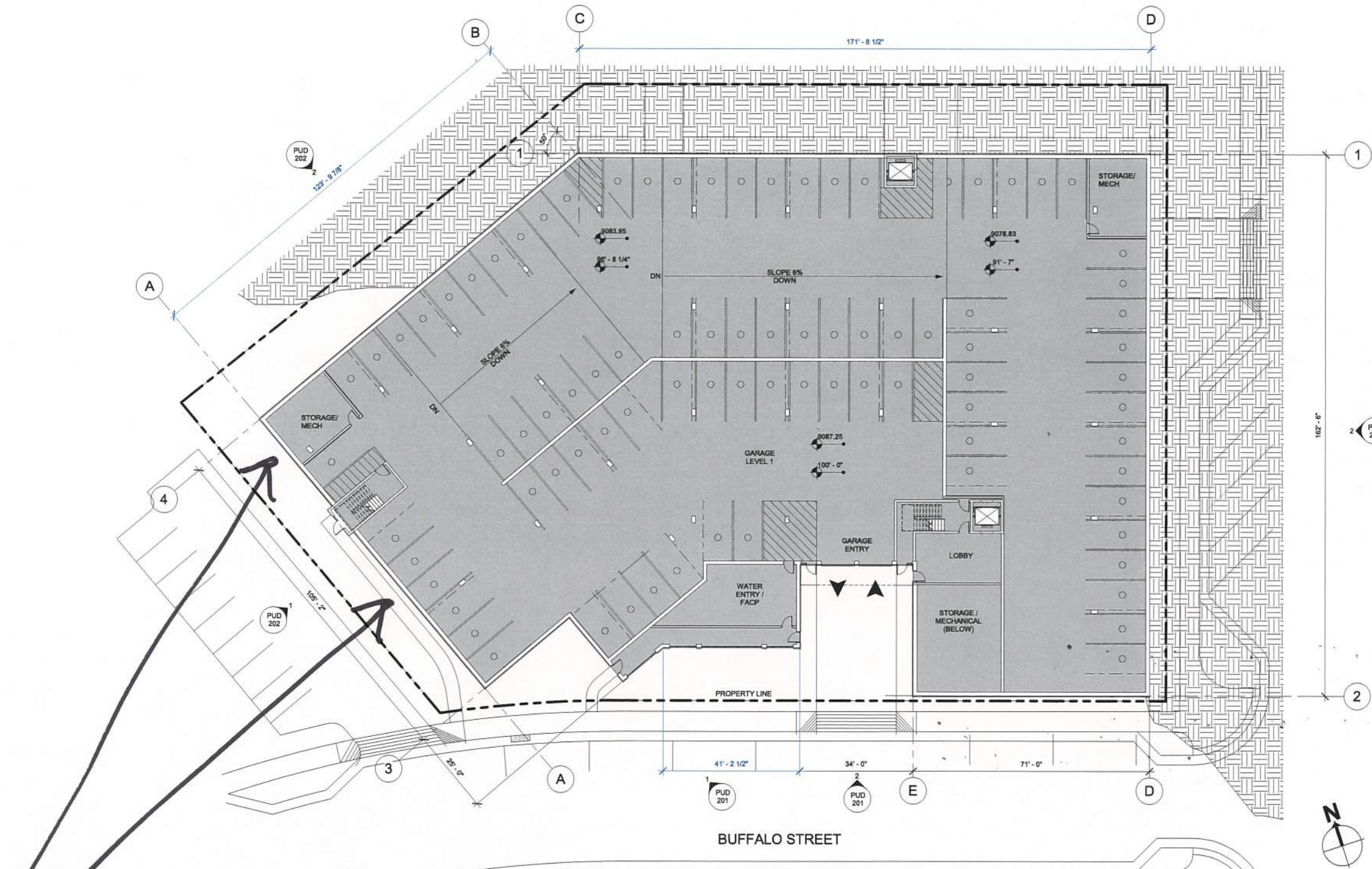
ISSUE DATE  
2/2/2018

KEY PLAN

SHEET TITLE  
**OVERALL PLAN - LEVEL 1**

SHEET NUMBER  
**PUD 101**

ARCHITECT'S PROJECT NUMBER Project Number



**CONCERNED ABOUT AMOUNT OF BLANK STONE WALL. WHAT CAN BE DONE TO KEEP IT STONE YET ADD SOME INTEREST?**

1 PUD OVERALL PLAN - LEVEL 1  
1/16" = 1'-0"

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No.	Description	Date

CURRENT PHASE

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ISSUE DATE

2/2/2018

KEY PLAN

SHEET TITLE

OVERALL PLAN - LEVEL 2

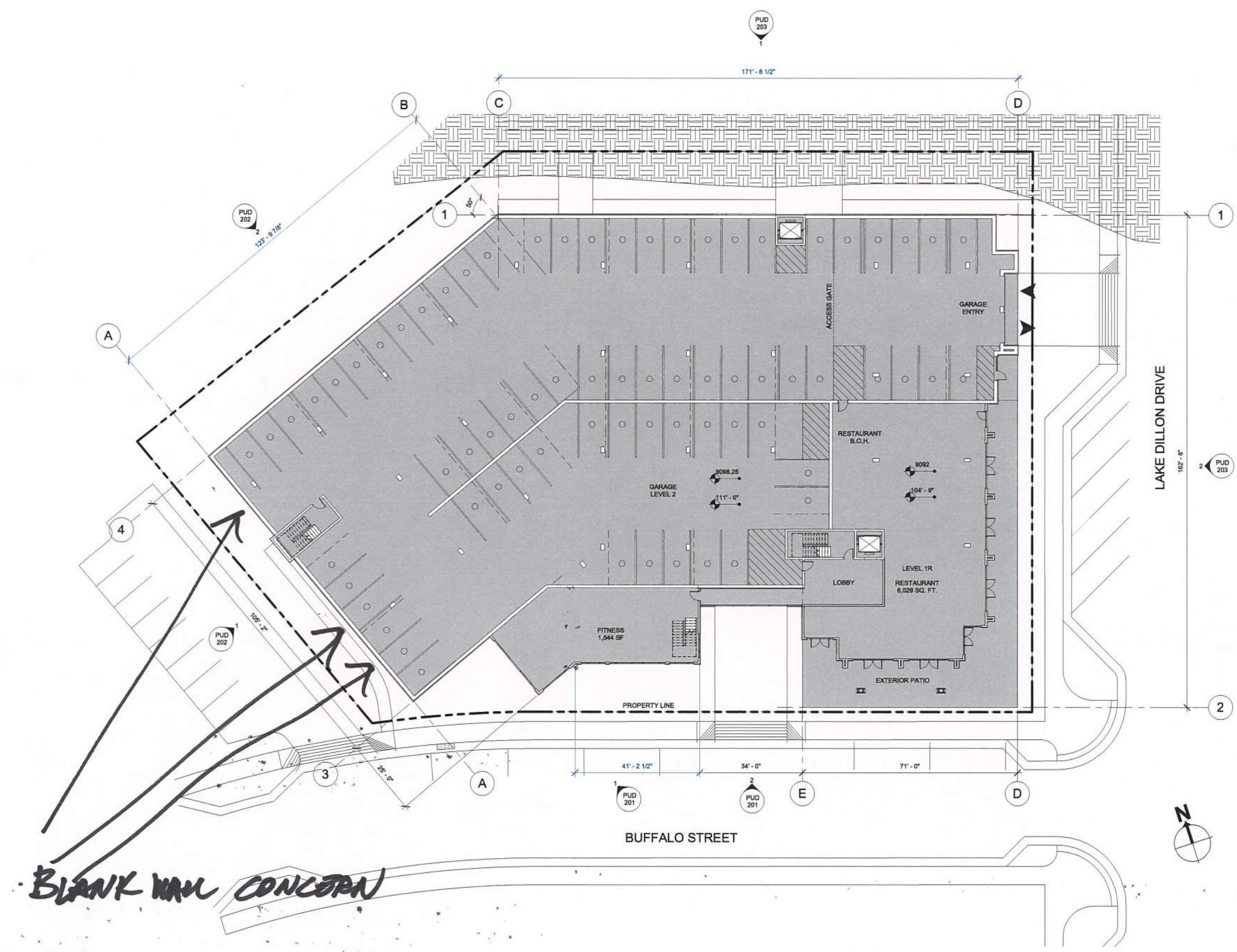
SHEET NUMBER

**PUD 102**

ARCHITECT'S PROJECT NUMBER Project Number

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*BLANK WALL CONCERN*

1 PUD OVERALL PLAN - LEVEL 2  
1/16" = 1'-0"

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No.	Description	Date

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**PUD SUBMITTAL**

ISSUE DATE  
2/2/2018

KEY PLAN

SHEET TITLE  
**OVERALL PLAN - LEVEL 3**

SHEET NUMBER  
**PUD 103**

ARCHITECT'S PROJECT NUMBER Project Number

**UNIT LEGEND**

STUDIO	■
1 BEDROOM	■
2 BEDROOM	■
3 BEDROOM	■

1 PUD OVERALL PLAN - LEVEL 3  
1/16" = 1'-0"



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**UPTOWN 240**

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No.	Description	Date

CURRENT PHASE  
**PUD SUBMITTAL**

ISSUE DATE  
2/2/2018

KEY PLAN

SHEET TITLE  
**OVERALL PLAN - LEVEL 4-6**

SHEET NUMBER  
**PUD 104**

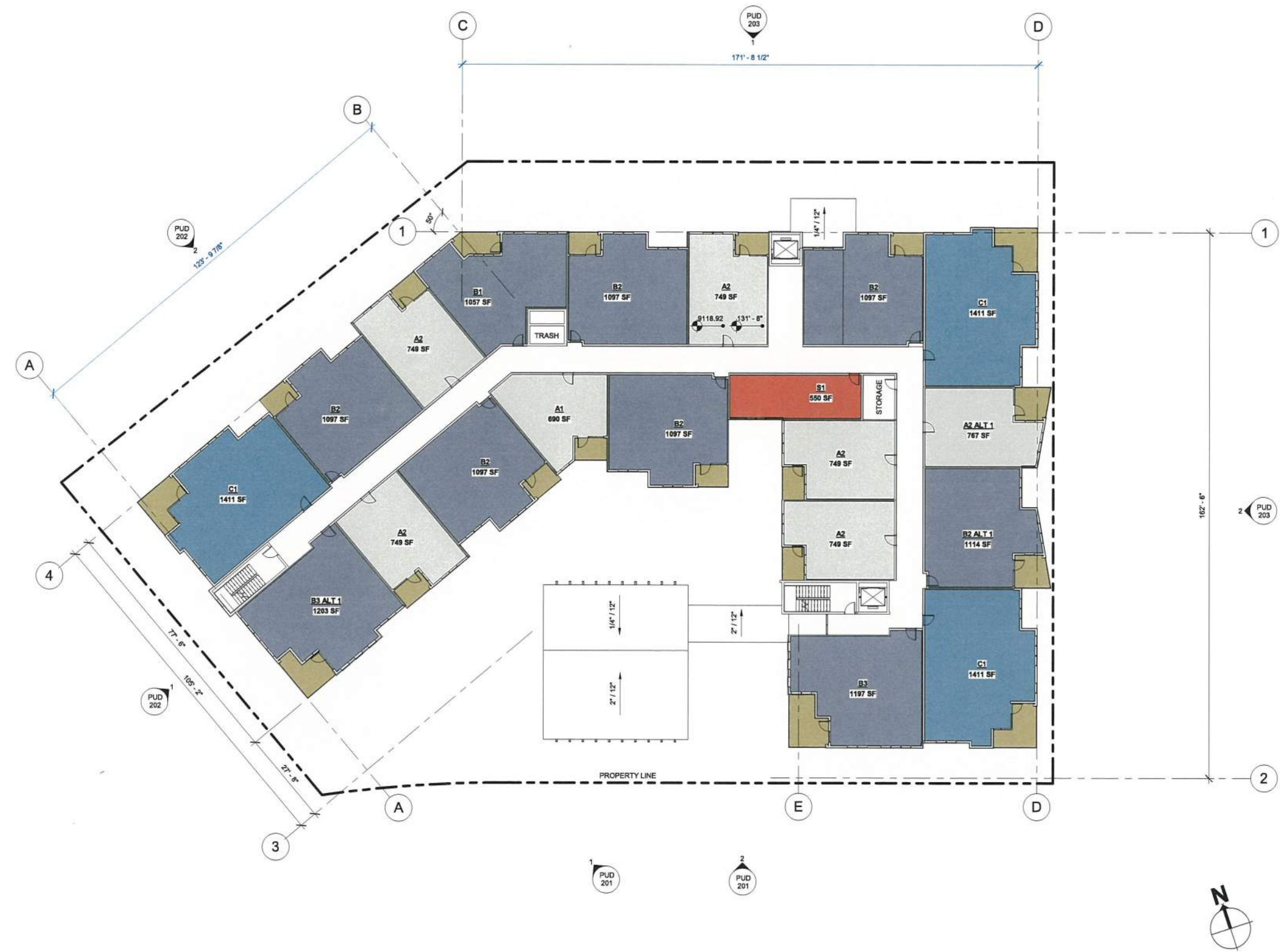
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**UNIT LEGEND**

STUDIO	
1 BEDROOM	
2 BEDROOM	
3 BEDROOM	

① PUD OVERALL PLAN - LEVEL 4-6  
1/16" = 1'-0"



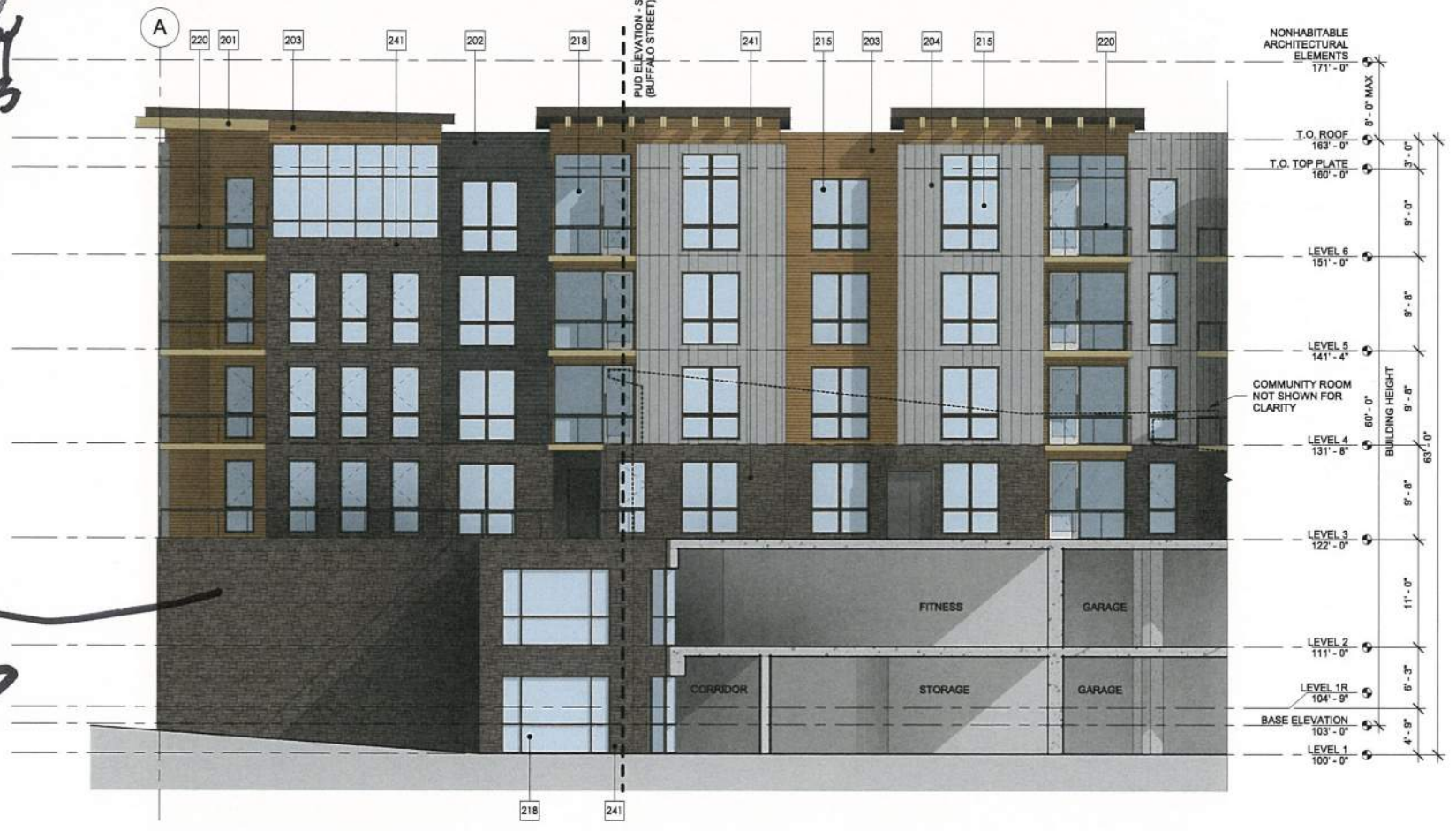
KEYNOTES	
#	Description
201	HEAVY TIMBER DECORATIVE BEAMS - WOOD STAIN TO MATCH FAUX WOOD SIDING
202	CEMENTITIOUS LAP SIDING, 8" EXPOSURE, FIELD PAINTED
203	CEMENTITIOUS LAP SIDING, PREFINISHED WOOD GRAIN TEXTURE, (WOODTONE RUSTIC SERIES OR EQUAL)
204	STANDING SEAM METAL SIDING, 12" VERTICAL
215	FIBERGLASS COMPOSITE WINDOW SYSTEM
218	STOREFRONT WINDOW/DOOR SYSTEM
220	BALCONY RAILING, METAL WITH GLASS INFILL PANELS
222	OVERHEAD GARAGE DOOR, PREFINISHED COLOR
241	MANUFACTURED STONE VENEER



② PUD ELEVATION - SOUTH (BUFFALO STREET) 2  
1/8" = 1'-0"

*POSSIBLY EXPRESS STAIR*

*VENTILATED GARAGES??  
VENTING??*



① PUD ELEVATION - SOUTH (BUFFALO STREET) 1  
1/8" = 1'-0"

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# UPTOWN 240

LAKE DILLON DRIVE AND  
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No.	Description	Date

CURRENT PHASE

PUD SUBMITTAL

ISSUE DATE 2/2/2018

KEY PLAN

SHEET TITLE

ELEVATIONS

SHEET NUMBER

# PUD 201

ARCHITECT'S PROJECT NUMBER Project Number

KEYNOTES	
#	Description
201	HEAVY TIMBER DECORATIVE BEAMS - WOOD STAIN TO MATCH FAUX WOOD SIDING
202	CEMENTITIOUS LAP SIDING, 8" EXPOSURE, FIELD PAINTED
203	CEMENTITIOUS LAP SIDING, PREFINISHED WOOD GRAIN TEXTURE, (WOODTONE RUSTIC SERIES OR EQUAL)
204	STANDING SEAM METAL SIDING, 12" VERTICAL
215	FIBERGLASS COMPOSITE WINDOW SYSTEM
218	STOREFRONT WINDOW/DOOR SYSTEM
220	BALCONY RAILING, METAL WITH GLASS INFILL PANELS
241	MANUFACTURED STONE VENEER



② PUD ELEVATION - NORTHWEST  
1/8" = 1'-0"



① PUD ELEVATION - SOUTHWEST  
1/8" = 1'-0"

# UPTOWN 240

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# UPTOWN 240

LAKE DILLON DRIVE AND  
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No.	Description	Date

CURRENT PHASE  
PUD SUBMITTAL

ISSUE DATE  
2/2/2018

KEY PLAN

SHEET TITLE  
ELEVATIONS

SHEET NUMBER  
PUD 202

ARCHITECT'S PROJECT NUMBER Project Number



**UPTOWN 240**

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**UPTOWN 240**

LAKE DILLON DRIVE AND  
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No.	Description	Date

CURRENT PHASE

**PUD SUBMITTAL**

ISSUE DATE  
2/2/2018

KEY PLAN

SHEET TITLE  
**ELEVATIONS**

SHEET NUMBER  
**PUD 203**

ARCHITECT'S PROJECT NUMBER Project Number

#	Description
201	HEAVY TIMBER DECORATIVE BEAMS - WOOD STAIN TO MATCH FAUX WOOD SIDING
202	CEMENTITIOUS LAP SIDING, 8" EXPOSURE, FIELD PAINTED
203	CEMENTITIOUS LAP SIDING, PREFINISHED WOOD GRAIN TEXTURE, (WOODTONE RUSTIC SERIES OR EQUAL)
204	STANDING SEAM METAL SIDING, 12" VERTICAL
215	FIBERGLASS COMPOSITE WINDOW SYSTEM
218	STOREFRONT WINDOW/DOOR SYSTEM
220	BALCONY RAILING, METAL WITH GLASS INFILL PANELS
222	OVERHEAD GARAGE DOOR, PREFINISHED COLOR
223	AWNING
241	MANUFACTURED STONE VENEER



② PUD ELEVATION - EAST (LAKE DILLON DRIVE)  
1/8" = 1'-0"



① PUD ELEVATION - NORTH (40' ROW)  
1/8" = 1'-0"

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