

project data

LOTS 1, 1A, 1B, 1C
DILLON, CO 80435

BUILDING DEPARTMENT:
 TOWN OF DILLON COLORADO &
 SUMMIT COUNTY COLORADO

BUILDING CODE:
 2012 INTERNATIONAL BUILDING CODE

OCCUPANCY GROUPS:
 HOTEL & LOBBY: R-1 RESIDENTIAL
 RESTAURANT: A-2 ASSEMBLY
 KITCHEN: A-2 ASSEMBLY
 POOL & FITNESS: A-3 ASSEMBLY
 MEETING ROOM: A-3 ASSEMBLY
 PARKING GARAGE: S-2 STORAGE
 BACK OF HOUSE:

CONSTRUCTION TYPE:
 TYPE V-A

FIRE DISTRICT:
 LAKE DILLON FIRE PROTECTION DISTRICT

BUILDING SQUARE FOOTAGES:
 SEE SHEET A3.1

project team

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 MARTIN & MARTIN
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 AVON, CO 81620
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 P.O. BOX 685
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 DILLON, CO 80435
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index to drawings

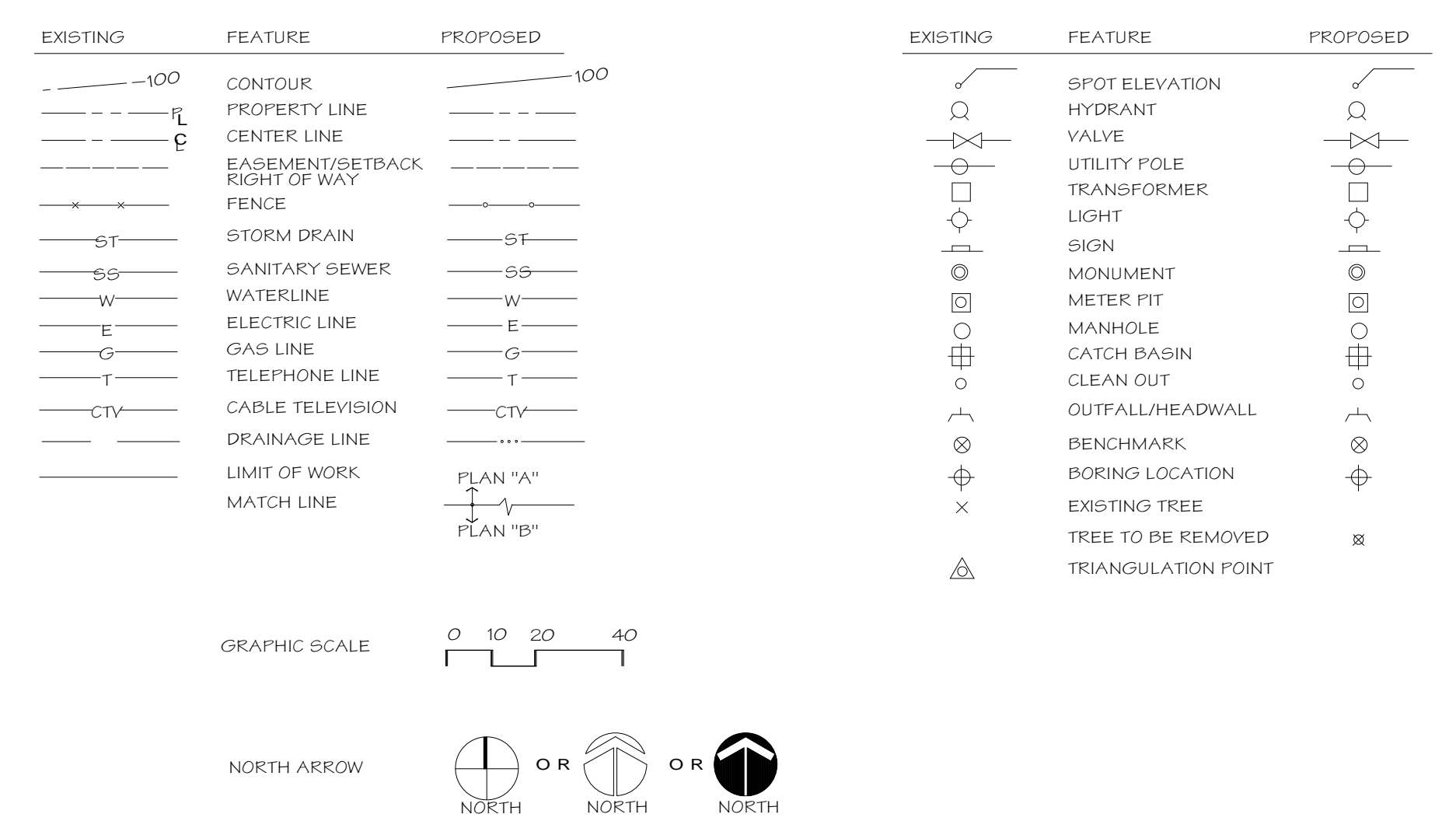
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- A2.0 EXISTING SURVEY
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- A2.2 LANDSCAPE PLAN
- A2.3 SNOW STORAGE PLAN
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- A5.2 BUILDING ELEVATIONS
- A5.3 PARTIAL BUILDING ELEVATIONS
- A12 BUILDING RENDERINGS



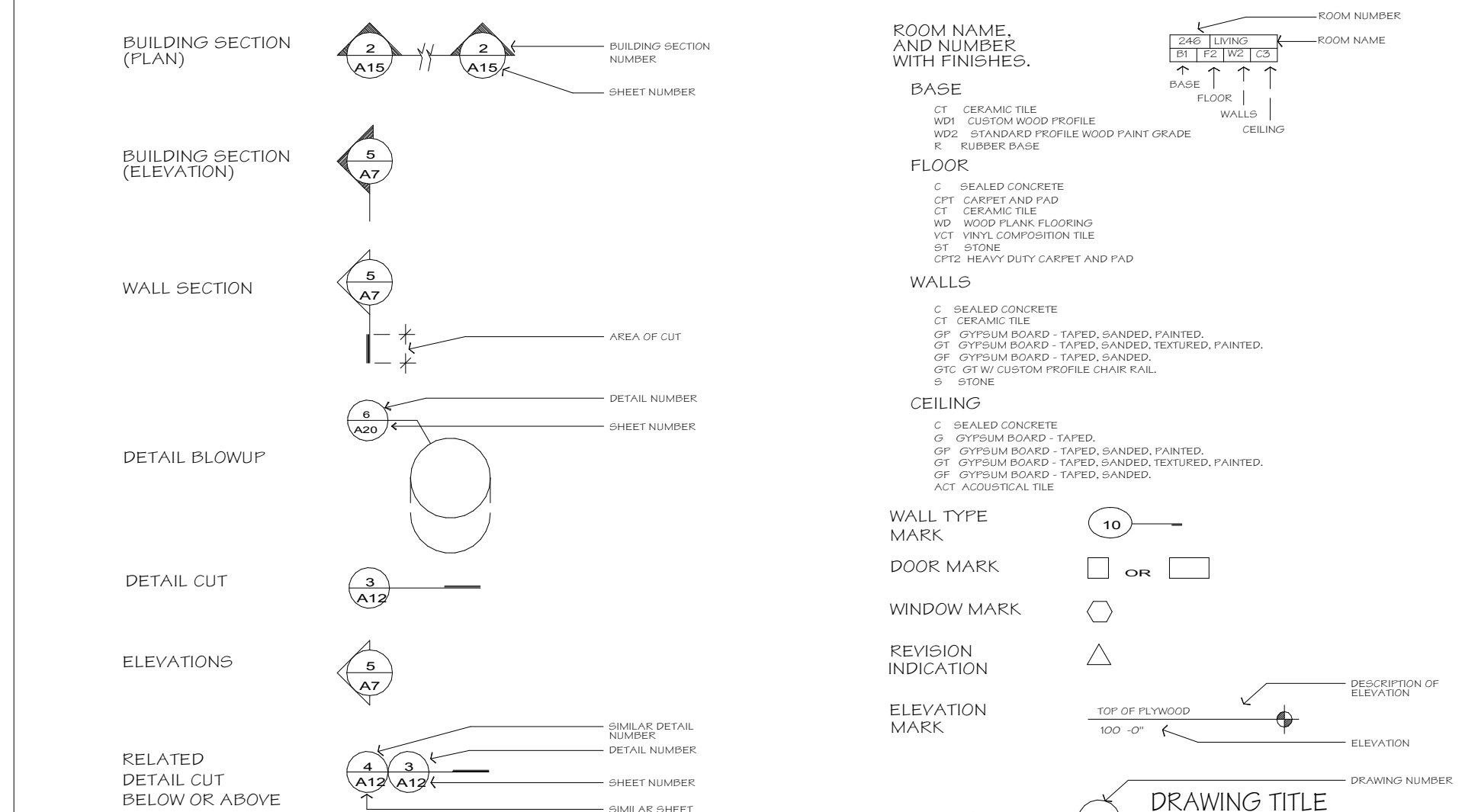
abbreviations

ABV: ABOVE	ROF: BOTTOM OF FOOTING	DBT: DRYER	FAB: FABRICATE	LAV: LAVATORY	NLT: NOT TO SCALE	QTY: QUANTITY	SPK: SPEAKER	ULC: UNIFORM BUILDING CODE
ADP: ABOVE FINISHED FLOOR	RSB: BOTTOM OF STEEL OR BOTTOM	DRP: DRAIN	GLA: GLASS LAMINATED GLASS	LFT: LEFT HAND REVERSE	NO: NUMBER	QTY: QUANTITY	SPR: SPRINKLER (S)	ULC: UNIFORM BUILDING CODE
ADW: ABOVE FINISHED WORK	RSW: BOTTOM OF STEEL WALL	DRS: DRAINAGE	GLC: GLASS CURTAIN WALL	LFL: LEFT HAND	NO: NUMBER	QTY: QUANTITY	SPR: SPRINKLER (S)	ULC: UNIFORM BUILDING CODE
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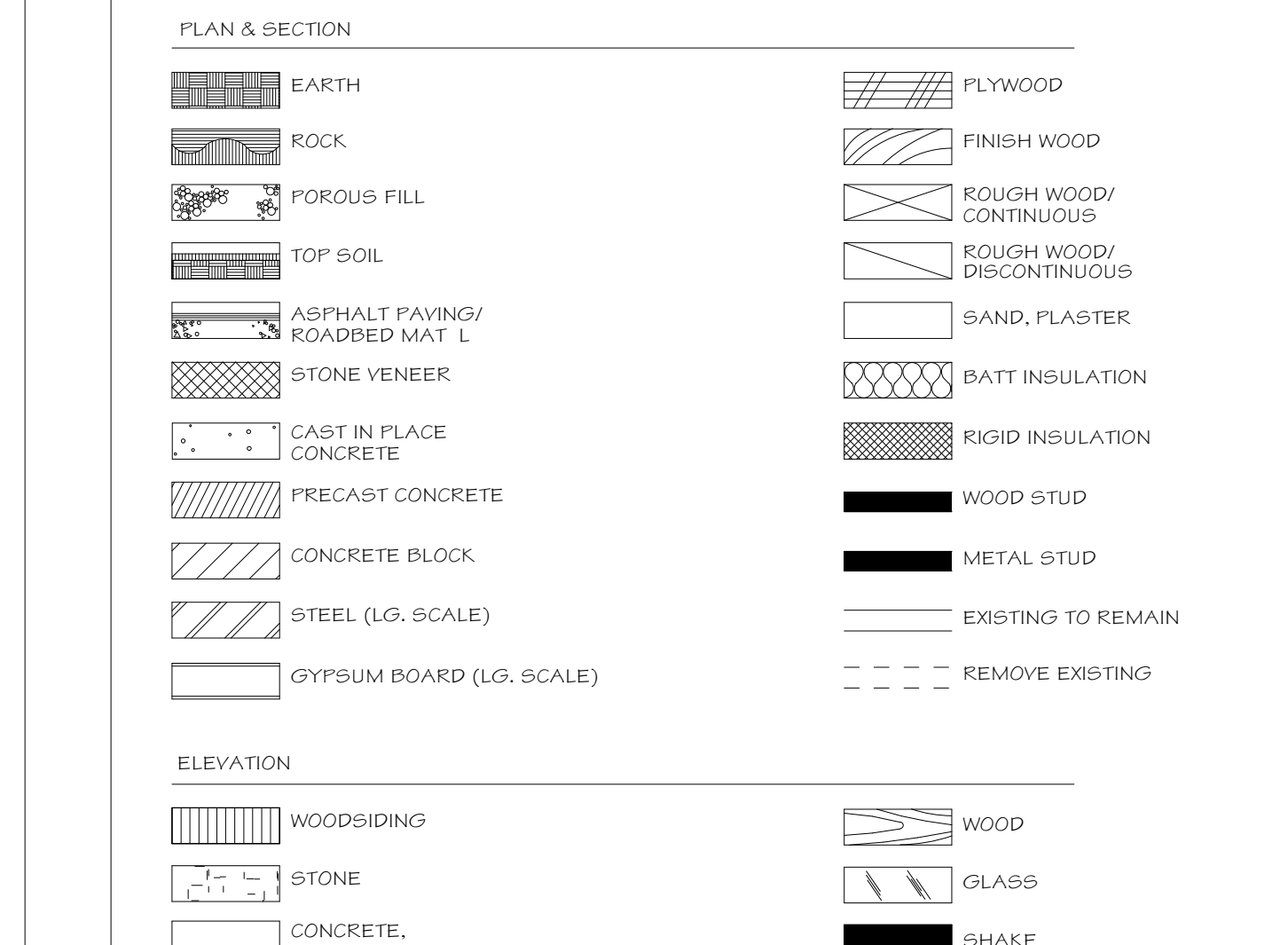
site plan symbols



architectural symbols



material symbols



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DILLON HOMEWOOD SUITES
 LOTS 1, 1A, 1B, 1C - LAKE DILLON DRIVE
 DILLON, COLORADO 80435

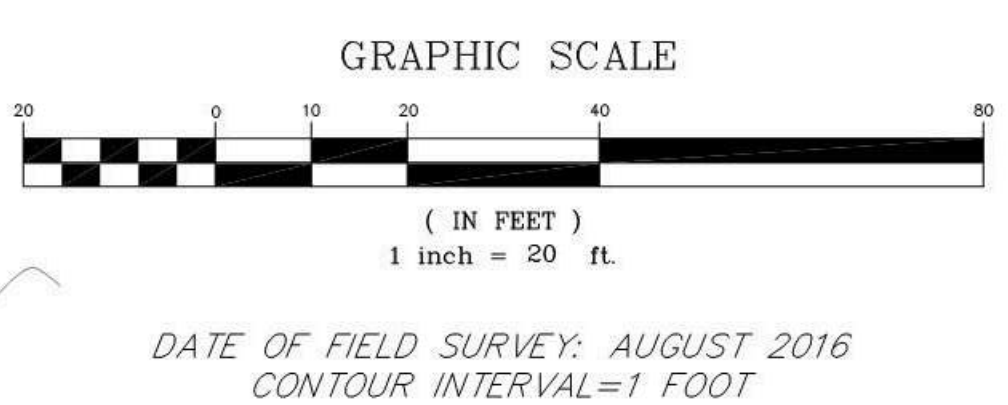
Revisions:
 3-6-18 PLANNING & ZONING
 4-12-18 TOWN OF DILLON
 PLANNING & ZONING
 4-23-18 PLANNING &
 ZONING REVISIONS

Date: 1-22-18
 Project No: 2703
 Drawn by: SCS
 Checked by: KAO
 Sheet: of
A1.0
 COVER SHEET

A TOPOGRAPHIC MAP OF
LOTS 1, 1A, 1B AND 1C
NEW TOWN OF DILLON, SUMMIT COUNTY, COLORADO

- LEGEND**
- FOUND REBAR & PLASTIC CAP (PLS 26292)
 - SET REBAR & PLASTIC CAP (PLS 26292)
 - FOUND #4 REBAR
 - FOUND REBAR & PLASTIC CAP (PLS 38266)
 - ⊙ SEWER MANHOLE
 - ⊙ WATER VALVE
 - ⊙ FIRE HYDRANT
 - ⊙ CURB STOP (WATER SERVICE)
 - ⊙ SEWER SERVICE SLUB
 - UTILITY PEDESTAL
 - ⊙ UTILITY POLE
 - ⊙ LIGHT POLE
 - ⊙ TRANSFORMER
 - WATER LINE
 - BURIED FIBER OPTIC LINE
 - OVERHEAD UTILITY LINES
 - BURIED GAS LINE
 - SANITARY SEWER MAIN
 - BURIED PHONE LINE
 - GAS LINE
 - FENCE

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	190.47'	236.40'	46.108°56"	S103°37'06"E	165.33'
C2	24.36'	236.40'	03°54'08"	S15°24'28"W	24.36'



Drawn RD/RRJ	Dwg 21676.TPOD	Project 21676
Checked RRU	Date 08/22/16	Sheet 1 of 1

RANGEWEST
ENGINEERS & SURVEYORS INC.
P.O. Box 589
Silverthorne, CO 80498 970-468-6281

NOTE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

TOTAL PARKING SPACES
 126 PARKING SPACES PROVIDED
 73 - PARKING GARAGE LEVEL
 38 - MAIN OPEN AIR LOT
 15 - REAR OPEN AIR LOT
 9 COMPACT SPACES = 7.1%

ACCESSIBLE
 5 ACCESSIBLE SPACES REQUIRED
 5 ACCESSIBLE SPACES PROVIDED
 1 VAN ACCESSIBLE SPACE REQUIRED
 2 VAN ACCESSIBLE SPACE PROVIDED

LEVEL 1
 25 HOTEL ROOMS
 25 PARKING SPACES

LEVEL 2
 34 HOTEL ROOMS
 34 PARKING SPACES

LEVEL 3
 37 HOTEL ROOMS
 37 PARKING SPACES

LEVEL 4
 26 HOTEL ROOMS
 26 PARKING SPACES
 0 - IN HOUSE RESTAURANT
 0 - IN HOUSE RESTAURANT DECK
 0 - IN HOUSE MEETING SPACE

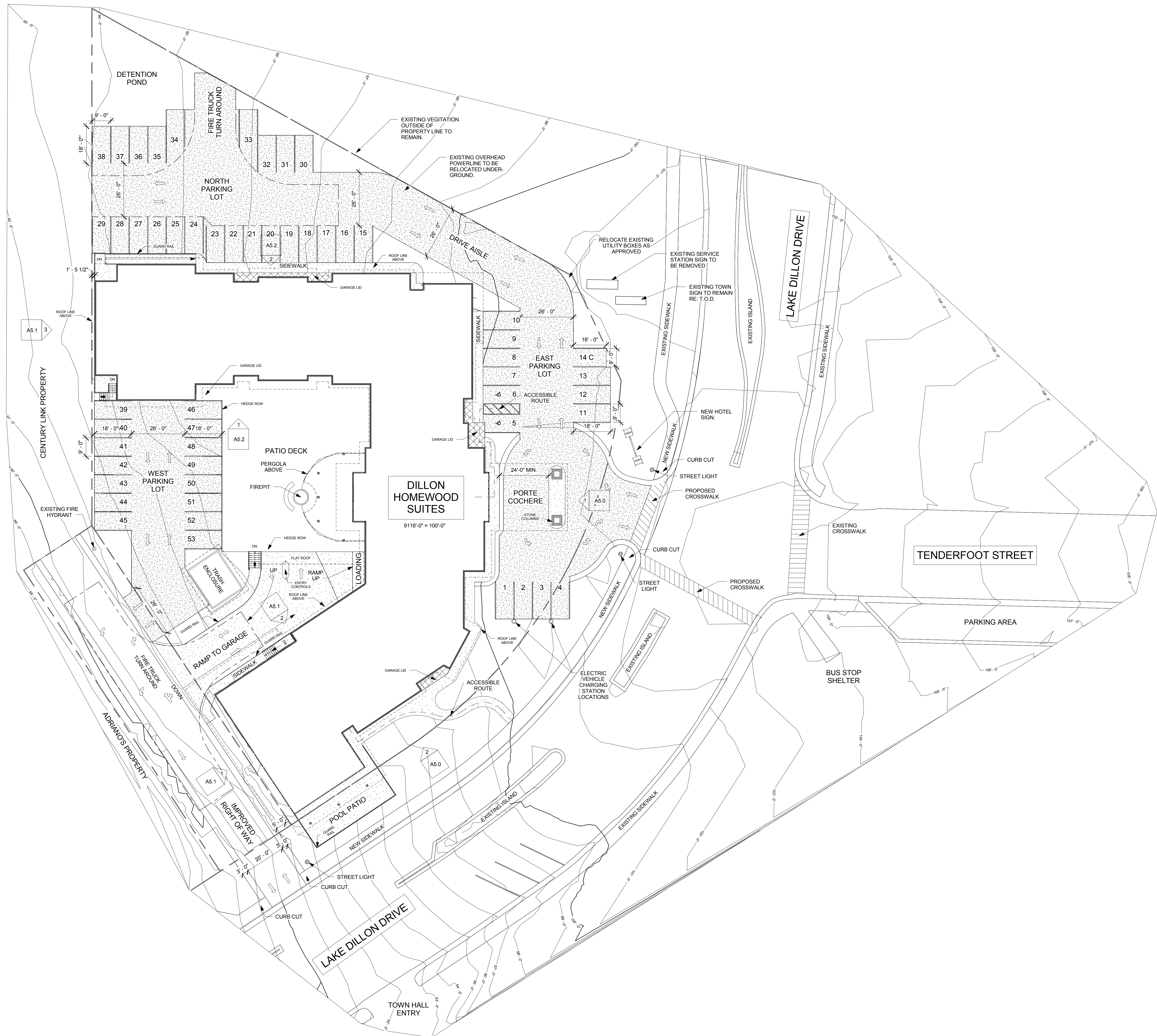
TOTAL SPACES REQUIRED = 122 SPACES
 TOTAL SPACES PROVIDED = 126 SPACES
 DIFFERENCE = + 4 SPACES

LOT COVERAGE
 TOTAL LOT SIZE (LOTS 1, 1A, 1B, 1C)
 = 65,386 SQ.FT. = 1.501 ACRES

TOTAL BUILDING FOOTPRINT = 21,868 SQ.FT.
 = 50.1 ACRES = 33.4% OF SITE
 PARKING GARAGE & RAMP = 2,455 SQ.FT.
 = 0.05 ACRES = 3.75% OF SITE

TOTAL HARDSCAPE = 28,815.2 SQ.FT.
 = 66 ACRES = 44.07% OF SITE
 MAIN PARKING LOT (38 SPACES) = 19,332 SQ.FT.
 = 0.44 ACRES = 29.1% OF SITE
 WEST PARKING LOT (15 SPACES) = 5,459 SQ.FT.
 = 0.13 ACRES = 8.35% OF SITE
 SIDEWALK = 2,896.20 SQ.FT.
 = 0.07 ACRES = 4.42% OF SITE
 POOL PATIO = 1,428 SQ.FT.
 = 0.033 ACRES = 2.18% OF SITE

TOTAL OPEN SPACE = 21,918 SQ.FT.
 = 0.50 ACRES = 33.5% OF SITE
 SITE OPEN SPACE = 14,702 SQ.FT.
 = 0.34 ACRES = 22.5% OF SITE
 BACK PATIO = 6,145 SQ.FT.
 = 0.14 ACRES = 9.4% OF SITE
 RESTAURANT DECK = 1,071 SQ.FT.
 = 0.025 ACRES = 1.64% OF SITE



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DILLON HOMEWOOD SUITES

LOTS 1, 1A, 1B, 1C - LAKE DILLON DRIVE
 DILLON, COLORADO 80435

Revisions:
 2-26-18 PROGRESS SET
 3-6-18 PLANNING & ZONING
 4-12-18 TOWN OF DILLON
 PLANNING & ZONING
 4-23-18 PLANNING &
 ZONING REVISIONS

Date:	1-22-18
Project No:	2703
Drawn by:	SCS
Checked by:	KAO

Sheet:
A2.1
 SITE PLAN

1 SITE PLAN
 1" = 20'-0"

LANDSCAPING REQUIREMENTS

30% OF ALL TREES ARE EVERGREENS
 25% OF EVERGREENS ARE 8'-0" TALL MINIMUM
 ALL TREES ARE 6'-0" TALL MINIMUM
 25% OF ALL TREES ARE 8'-0" TALL MINIMUM

EXISTING EVERGREEN TREES ALONG HIGHWAY 6 TO REMAIN AS SHOWN ON LANDSCAPE PLAN.

STREET TREES

1 TREE REQUIRED FOR EVERY 15 LINEAR FEET.
 LAKE DILLON DRIVE = 340 FEET:
 23 TREES REQUIRED.
 30% EVERGREENS = 7 REQUIRED.
 70% ASPENS = 16 REQUIRED.

25 TOTAL TREES PROVIDED
 8 EVERGREEN
 (5 @ 6 and 3 @ 8)
 17 ASPEN
 (12 @ 6 AND 5 @ 8)

ALLEY WAY TREES

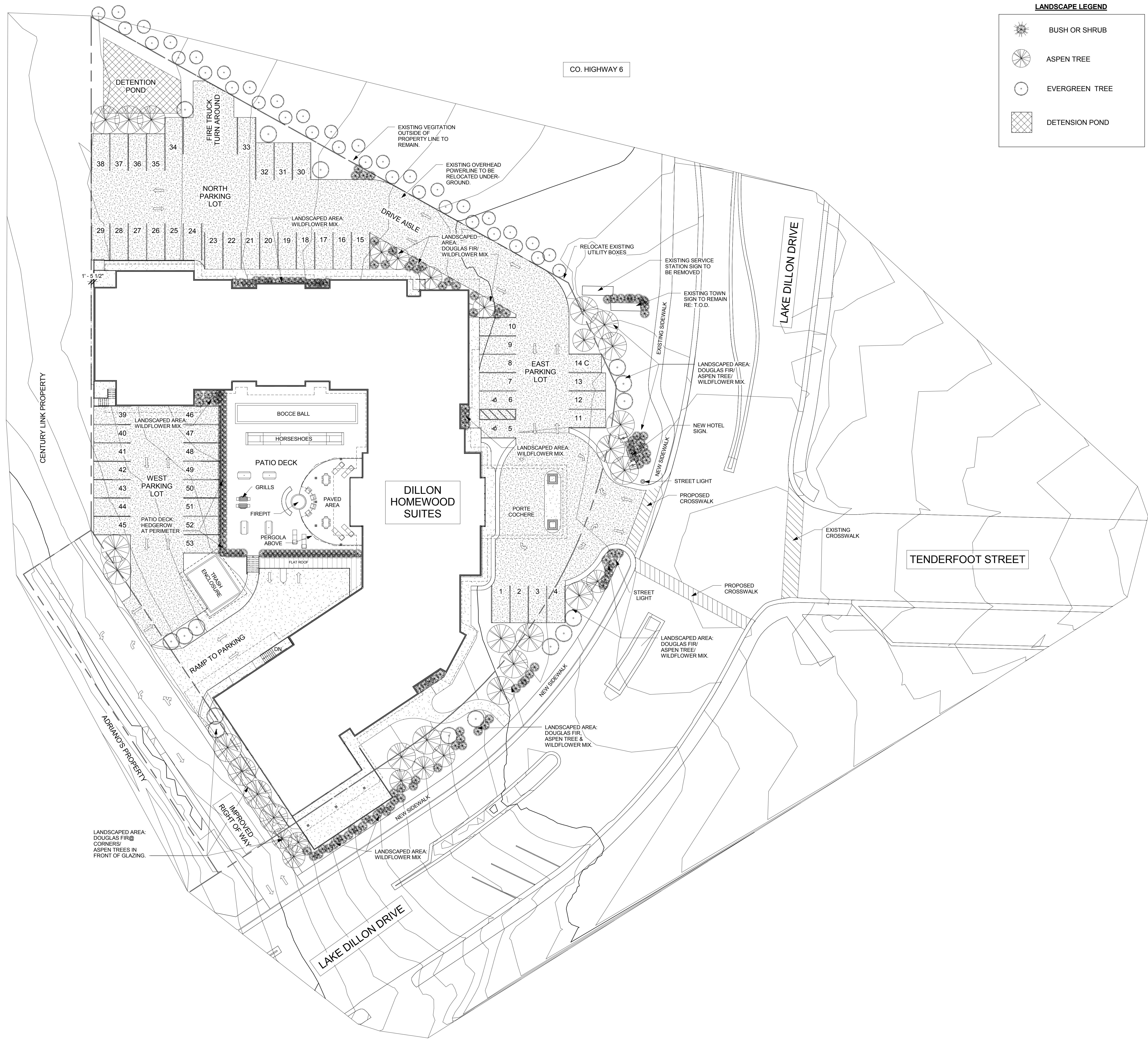
1 TREE REQUIRED FOR EVERY 15 LINEAR FEET.
 ALLEY WAY = 175 FEET:
 12 TREES REQUIRED.
 30% EVERGREENS = 4 REQUIRED.
 70% ASPENS = 8 REQUIRED.

13 TOTAL TREES PROVIDED
 4 EVERGREEN
 (3 @ 6 and 1 @ 8)
 9 ASPEN
 (6 @ 6 and 3 @ 8)

OUTDOOR PARKING TREES

1 TREE REQUIRED FOR EVERY 5 SPOTS
 53 SPOTS:
 11 TREES REQUIRED
 30% EVERGREENS = 3 REQUIRED.
 70% ASPENS = 8 REQUIRED.

11 TOTAL TREES PROVIDED
 3 EVERGREEN
 (2 @ 6 and 1 @ 8)
 8 ASPEN
 (5 @ 6 and 3 @ 8)



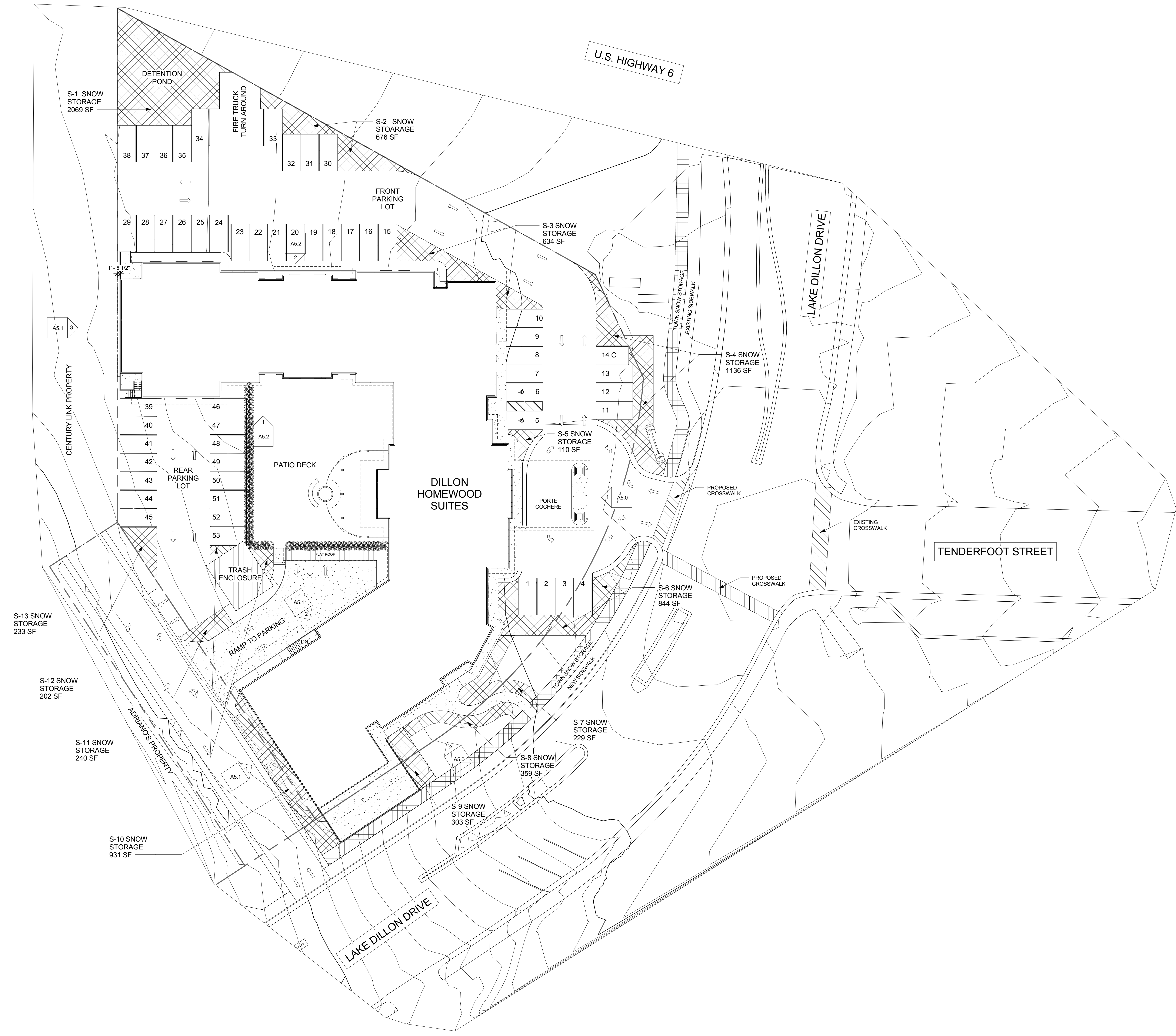
LANDSCAPE LEGEND

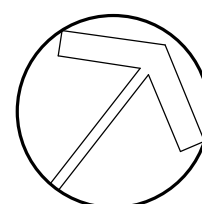
- BUSH OR SHRUB
- ASPEN TREE
- EVERGREEN TREE
- DETENTION POND

1 LANDSCAPE PLAN
 1" = 20'-0"

SNOW STORAGE CALCULATIONS

MAIN PARKING LOT AREA	19,322 SF.
SIDEWALK	+ 4,118 SF.
	= 23,440 SF.
COVERED AREA	- 2,857 SF.
TOTAL	= 20,583 SF.
	x .25
SNOW STOR. REQUIRED	= 5,146 SF.
REAR PARKING LOT AREA	5,516 SF.
RAMP	+ 2,924 SF.
	= 8,440 SF.
COVERED AREA	- 1,030 SF.
TOTAL	= 7,409 SF.
	x .25
SNOW STOR. REQUIRED	= 1,854 SF.
TOTAL SNOW STORAGE PROVIDED	8,181 SF.
TOTAL SNOW STORAGE REQUIRED	- 7,000 SF.
SURPLUS SNOW STORAGE	= 1,181 SF.

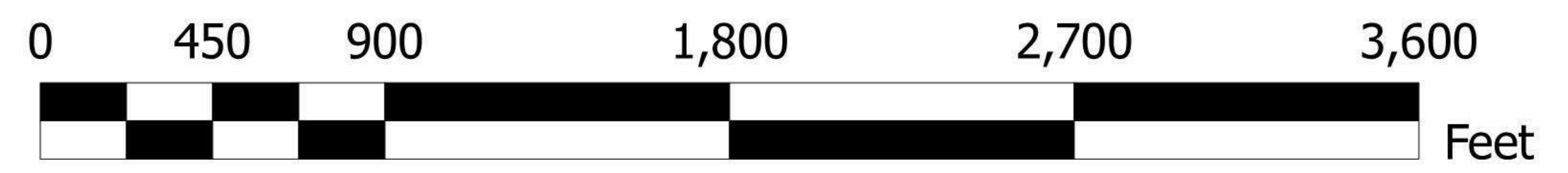
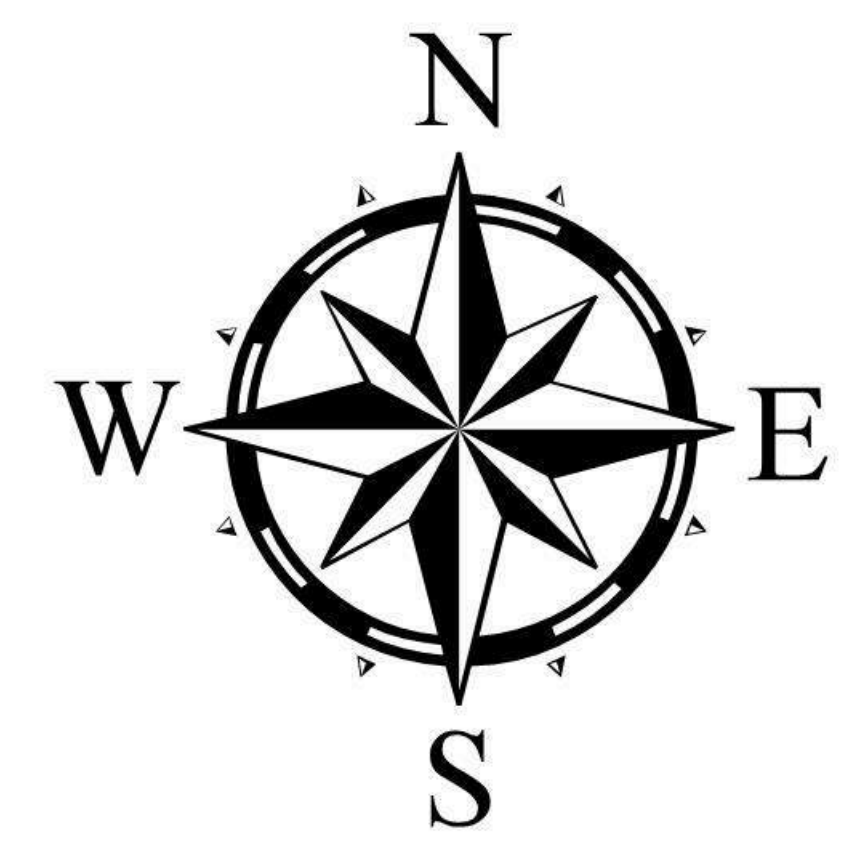
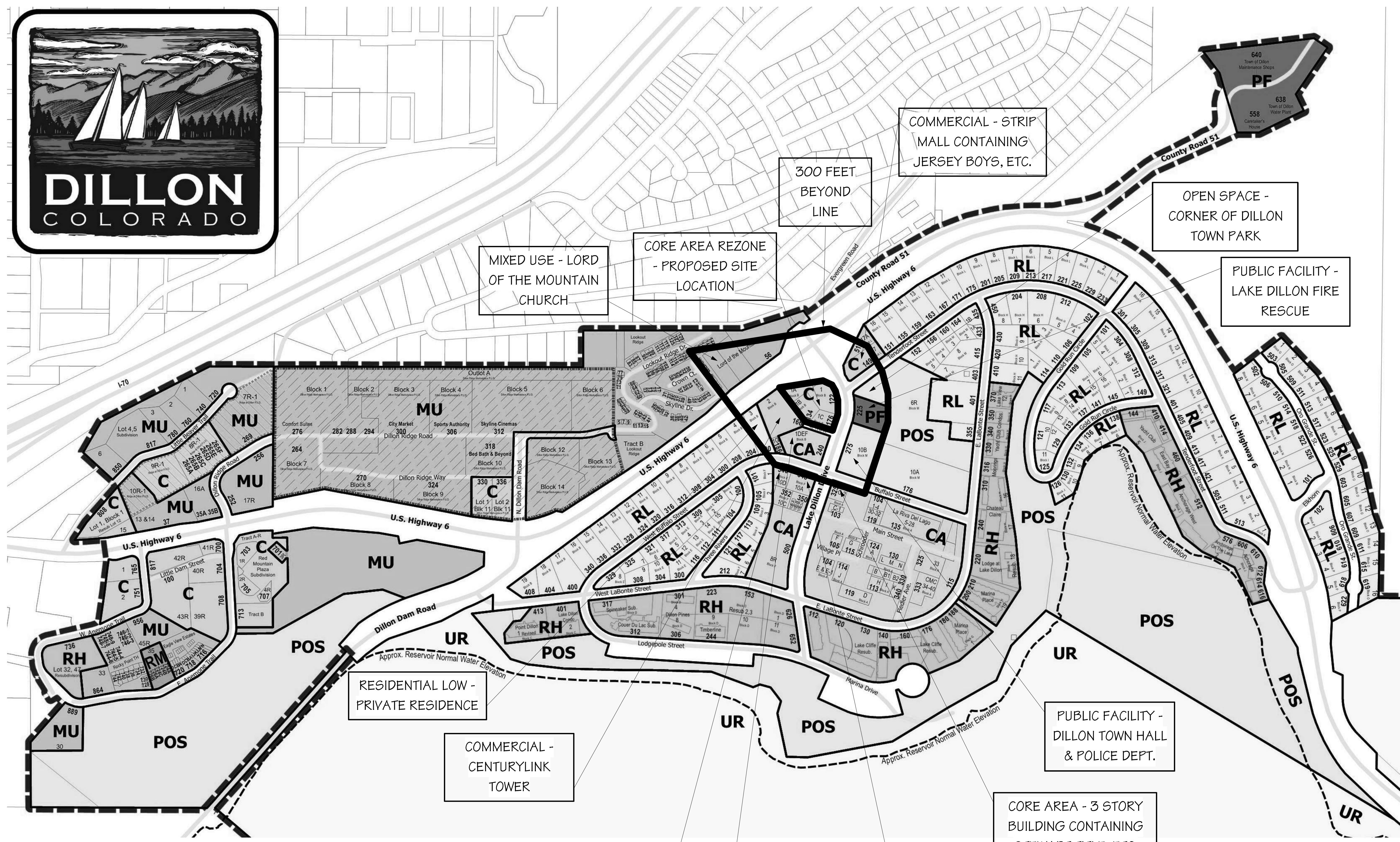


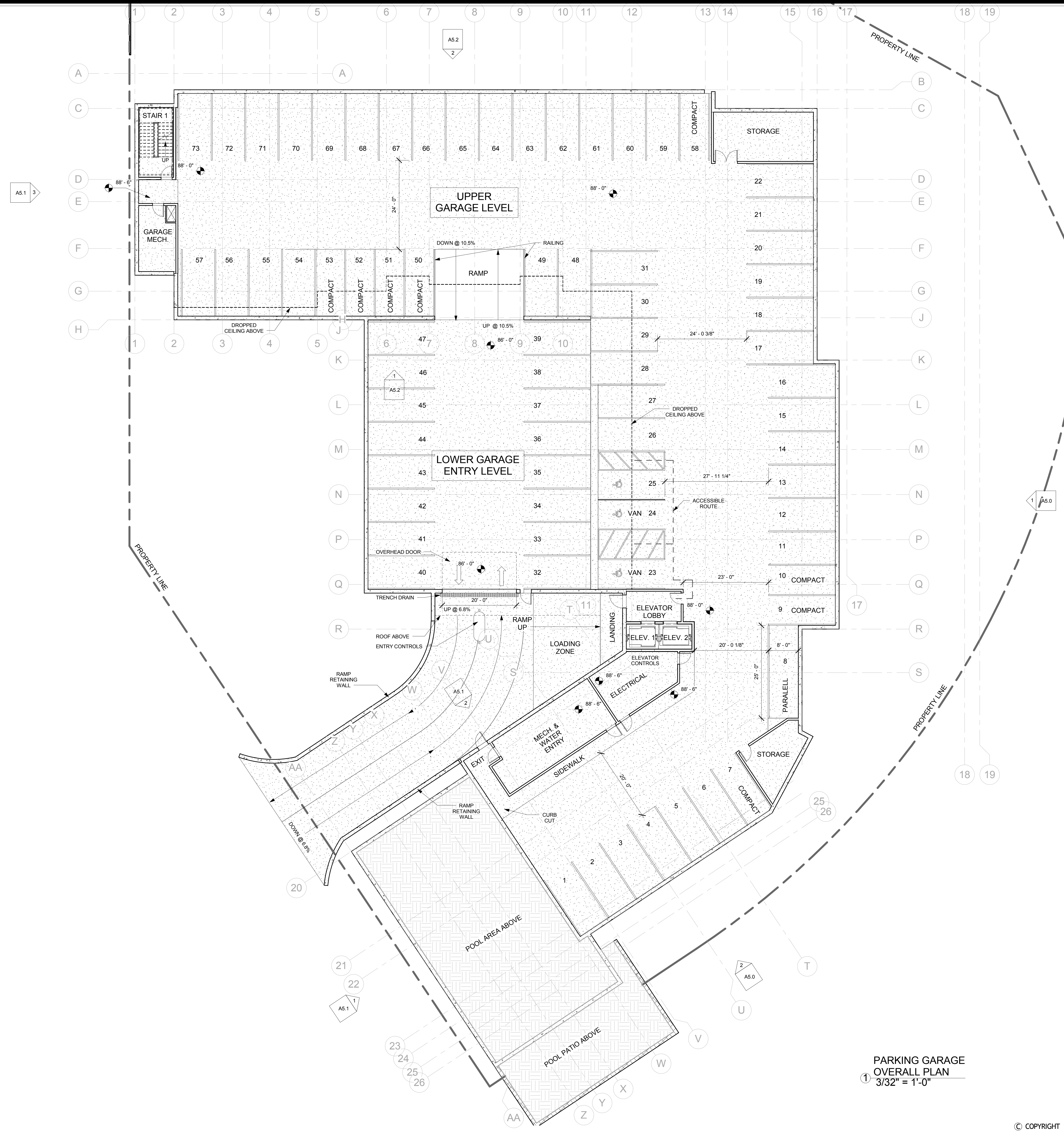
 **1** SNOW STORAGE PLAN
1" = 20'-0"



Zoning Districts

- POS** Parks and Open Space
- CA** Core Area
- C** Commercial
- MU** Mixed Use
- PF** Public Facilities
- RH** Residential High
- RM** Residential Medium
- RL** Residential Low
- UR** Urban Reserve
- (Dashed Line)** Town of Dillon Municipal Limits
- - - - - (Dotted Line)** Dillon Reservoir Normal Water Elevation (When Full)

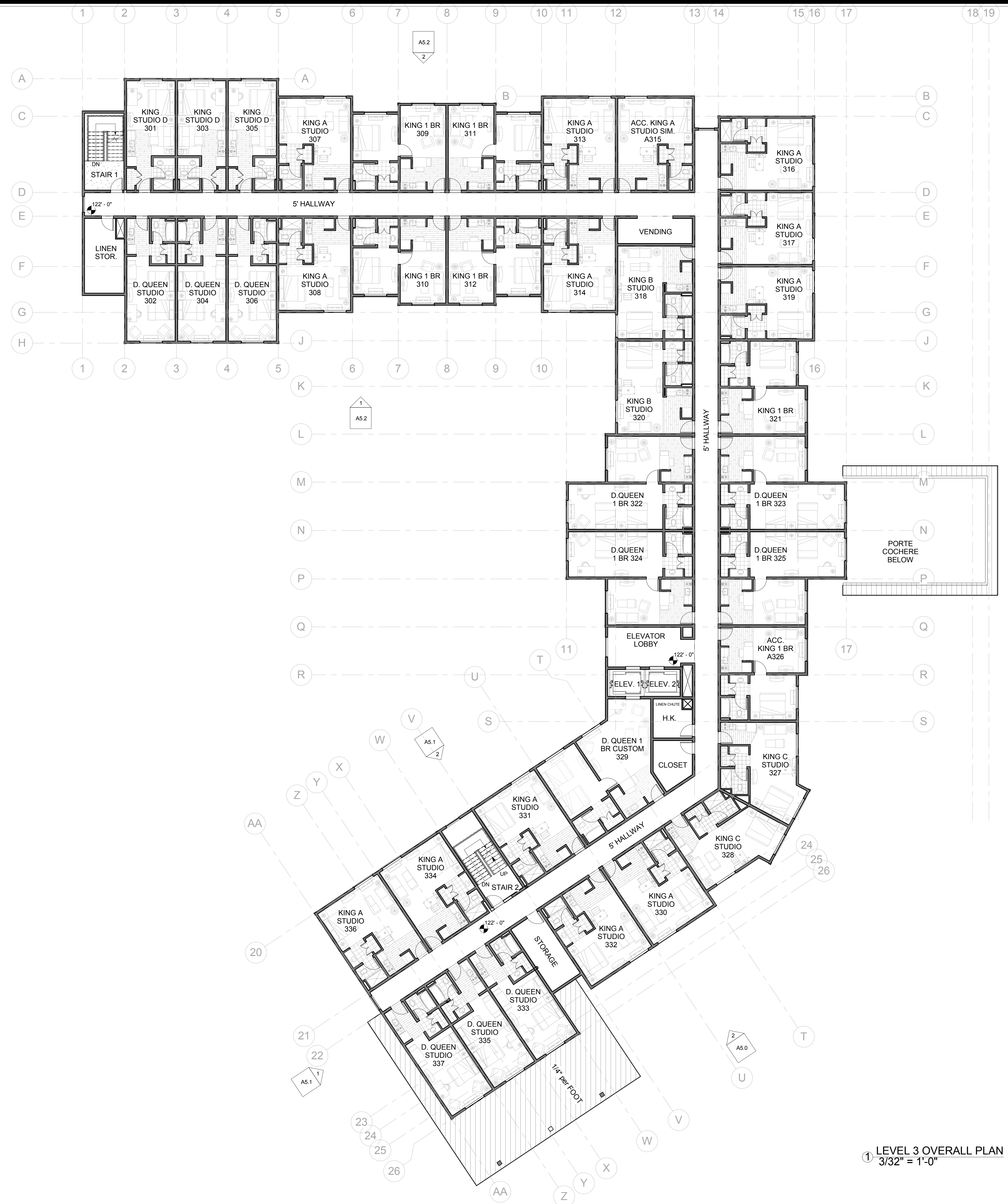




**PARKING GARAGE
OVERALL PLAN**
① 3/32" = 1'-0"



① LEVEL 2 OVERALL PLAN
3/32" = 1'-0"



① LEVEL 3 OVERALL PLAN
3/32" = 1'-0"



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DILLON HOMEWOOD SUITES

LOTS 1, 1A, 1B, 1C - LAKE DILLON DRIVE
DILLON, COLORADO 80435

Revisions:
PRELIMINARY SET 2-2-18
WORKING SET 2-9-18
PROGRESS SET 2-27-18
3-6-18 PLANNING & ZONING
4-12-18 TOWN OF DILLON
PLANNING & ZONING

Date: 1-22-18

Project No: 2703

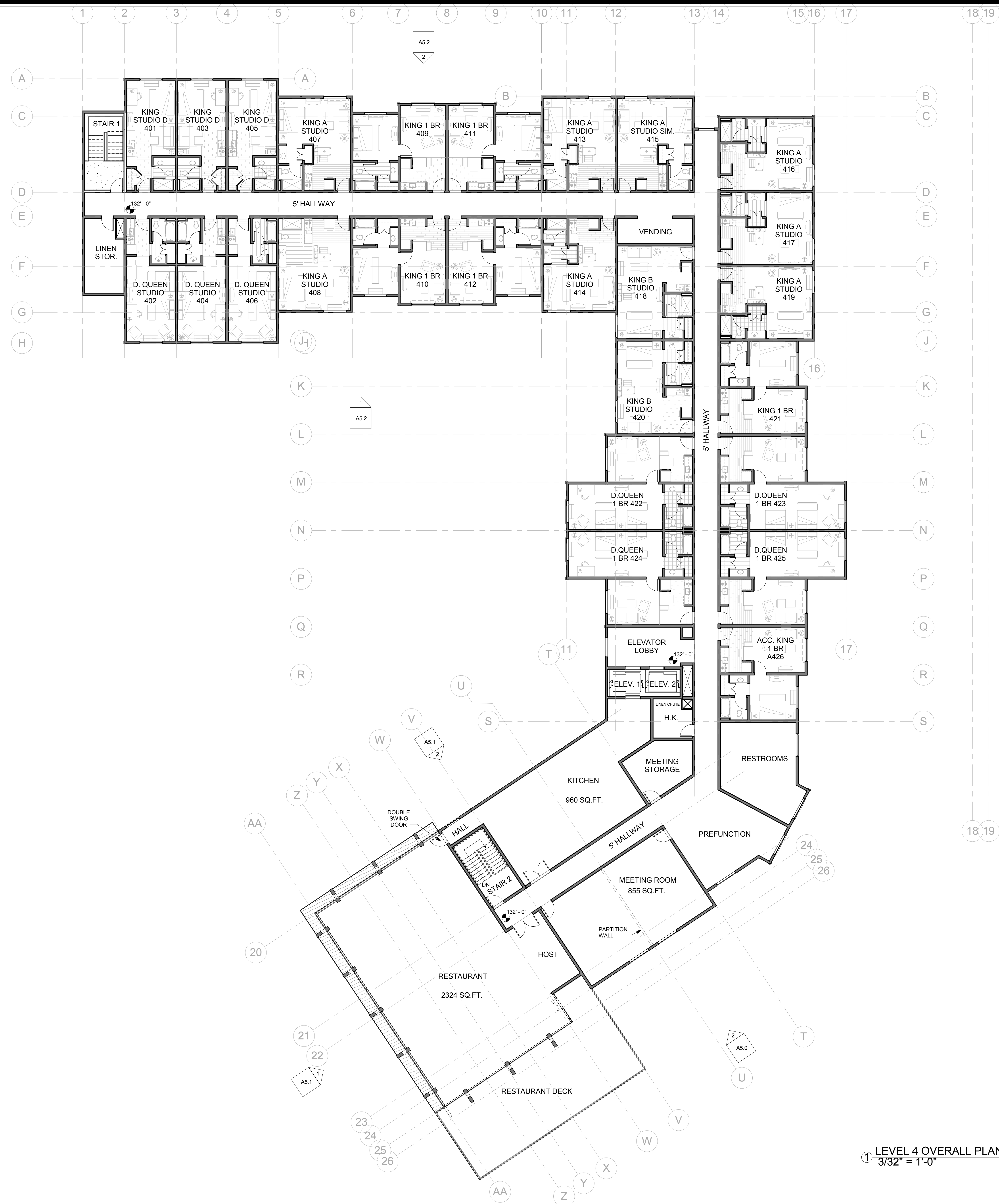
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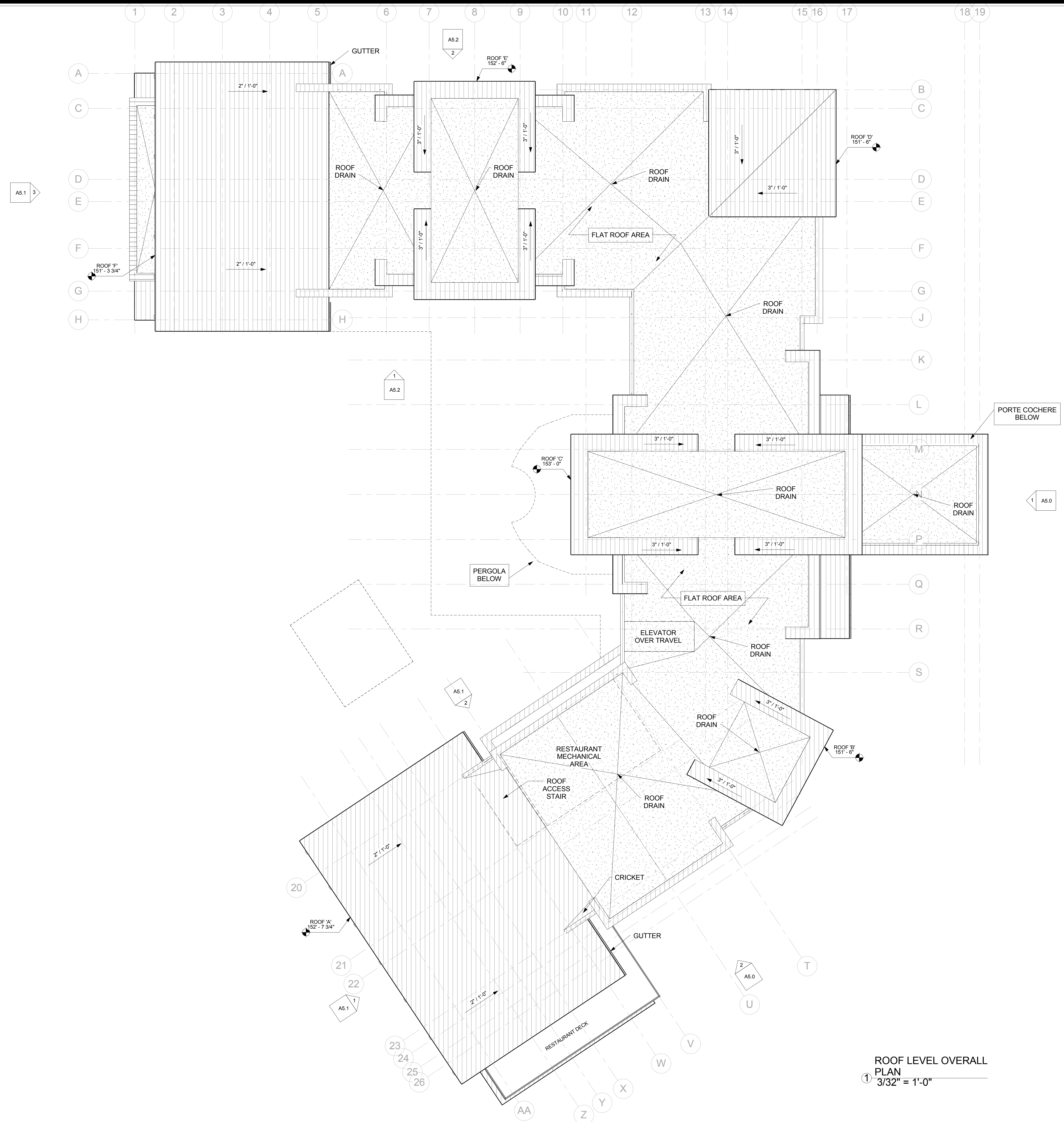
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A3.4

LEVEL 4 OVERALL PLAN



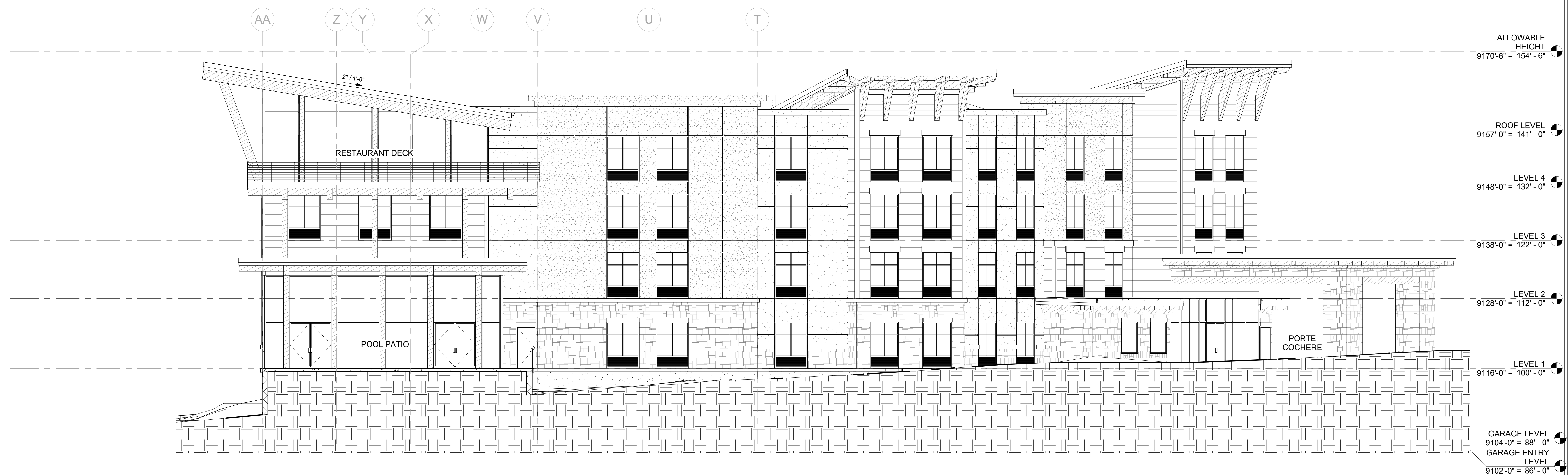
① LEVEL 4 OVERALL PLAN
3/32" = 1'-0"



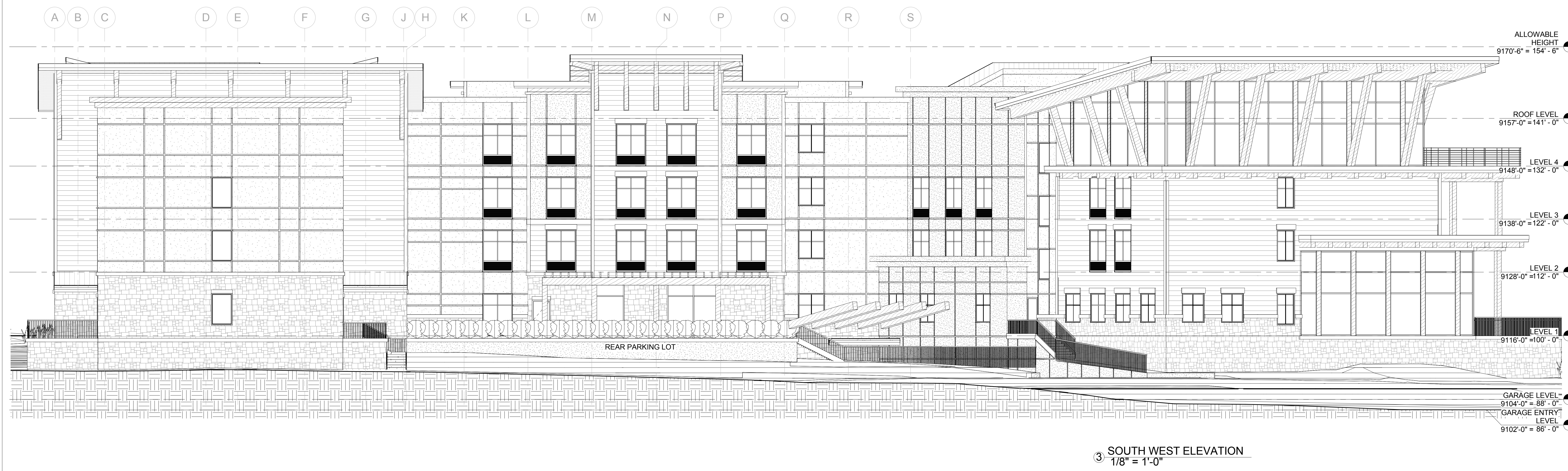
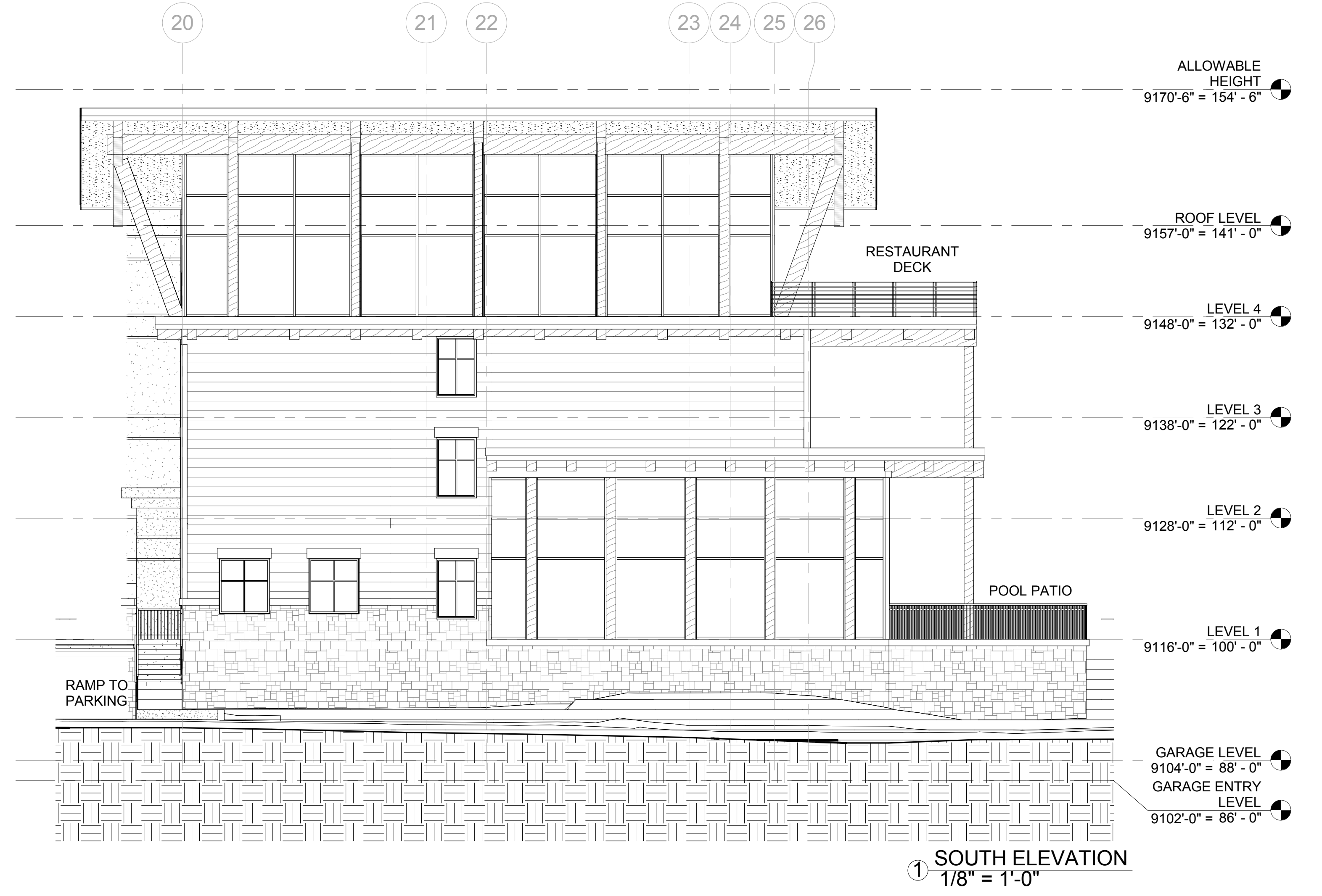
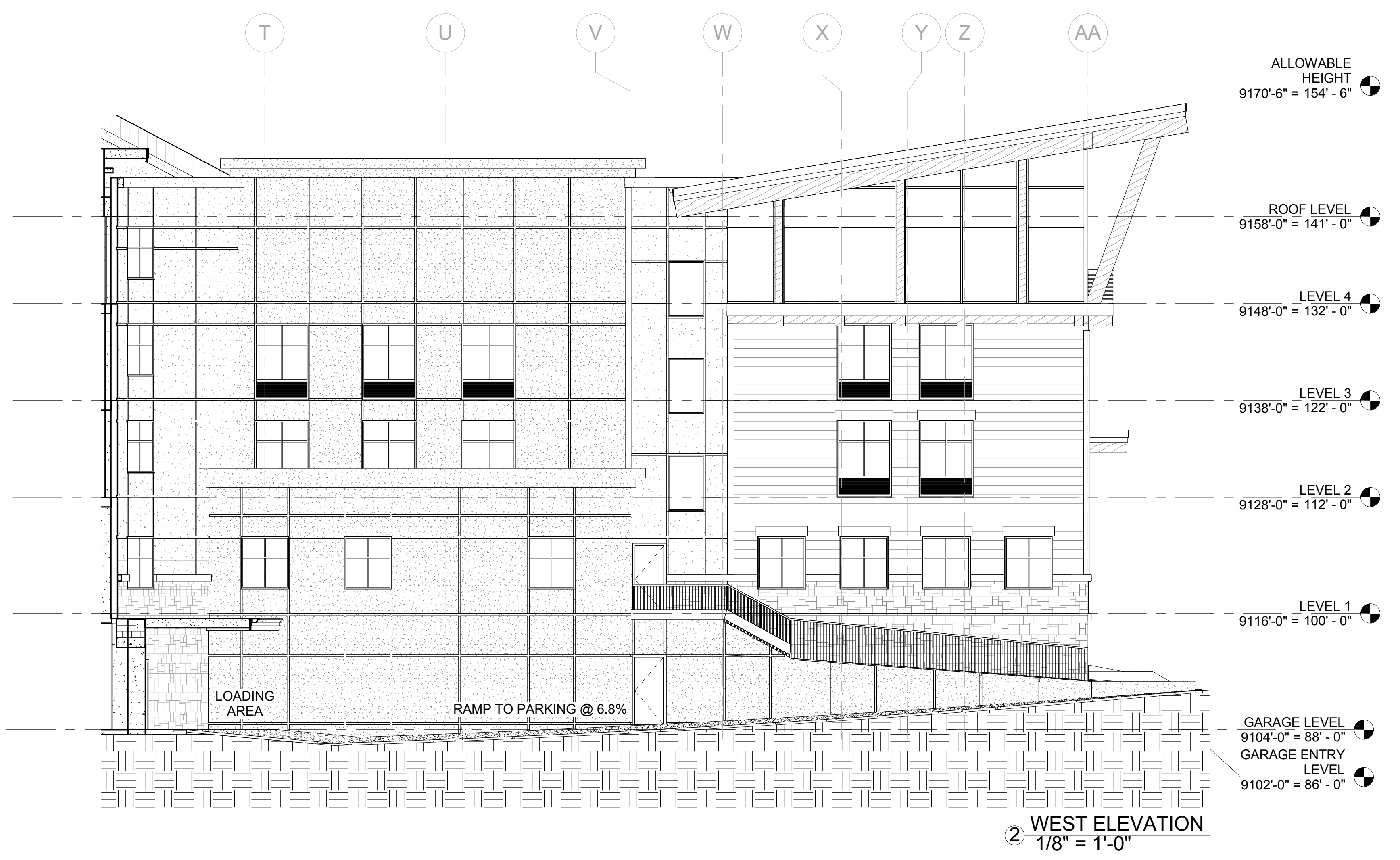
ROOF LEVEL OVERALL
PLAN
1/32" = 1'-0"



① NORTH EAST ELEVATION
1/8" = 1'-0"



② EAST ELEVATION
1/8" = 1'-0"





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DILLON HOMEWOOD SUITES

LOTS 1, 1A, 1B, 1C - LAKE DILLON DRIVE
DILLON, COLORADO 80435

Revisions:
ROOF CONCEPTS 2-20-18
3-6-18 PLANNING & ZONING
4-12-18 TOWN OF DILLON
PLANNING & ZONING

Date: 1-22-18

Project No: 2703

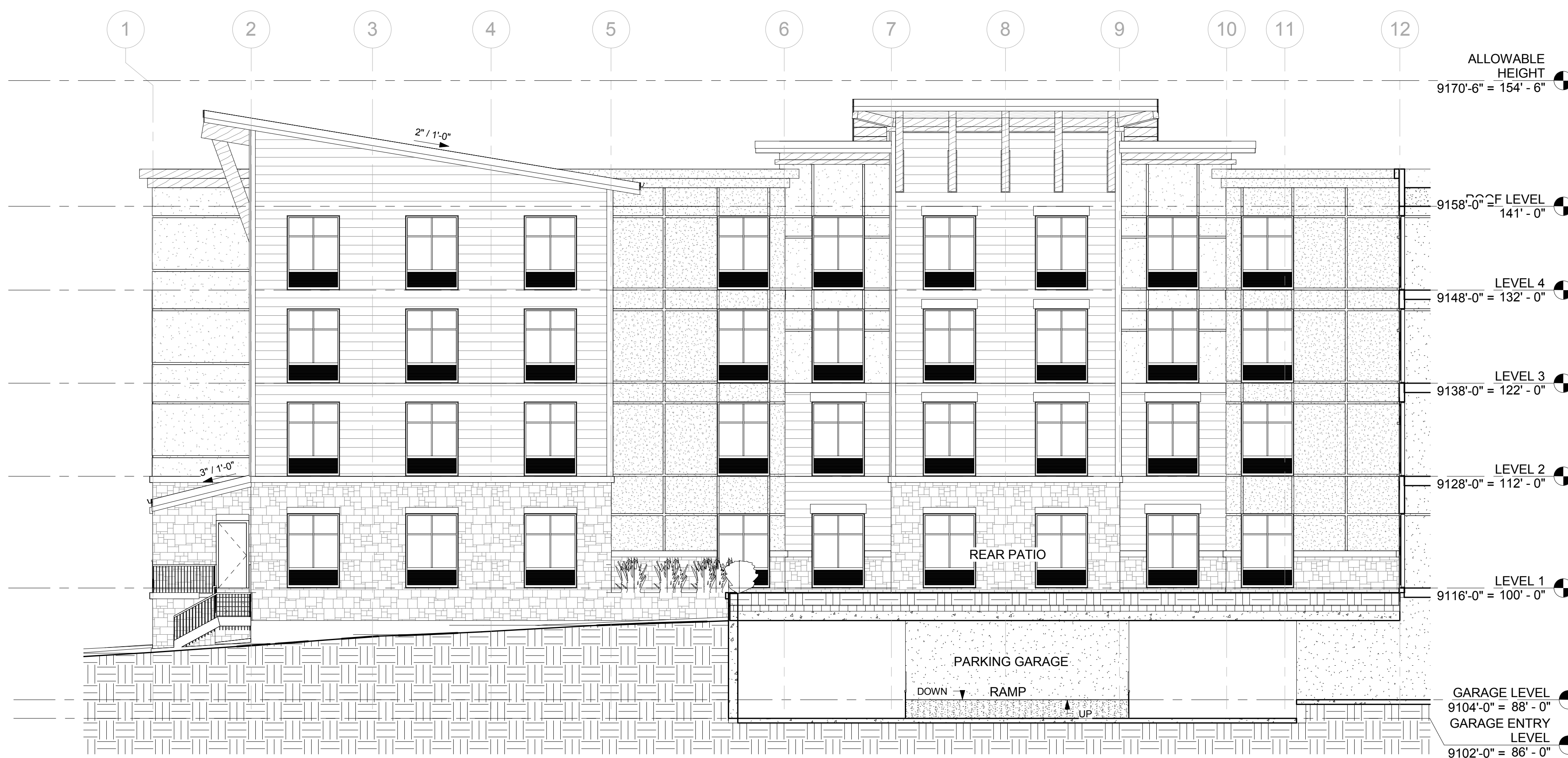
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Checked by: KAO

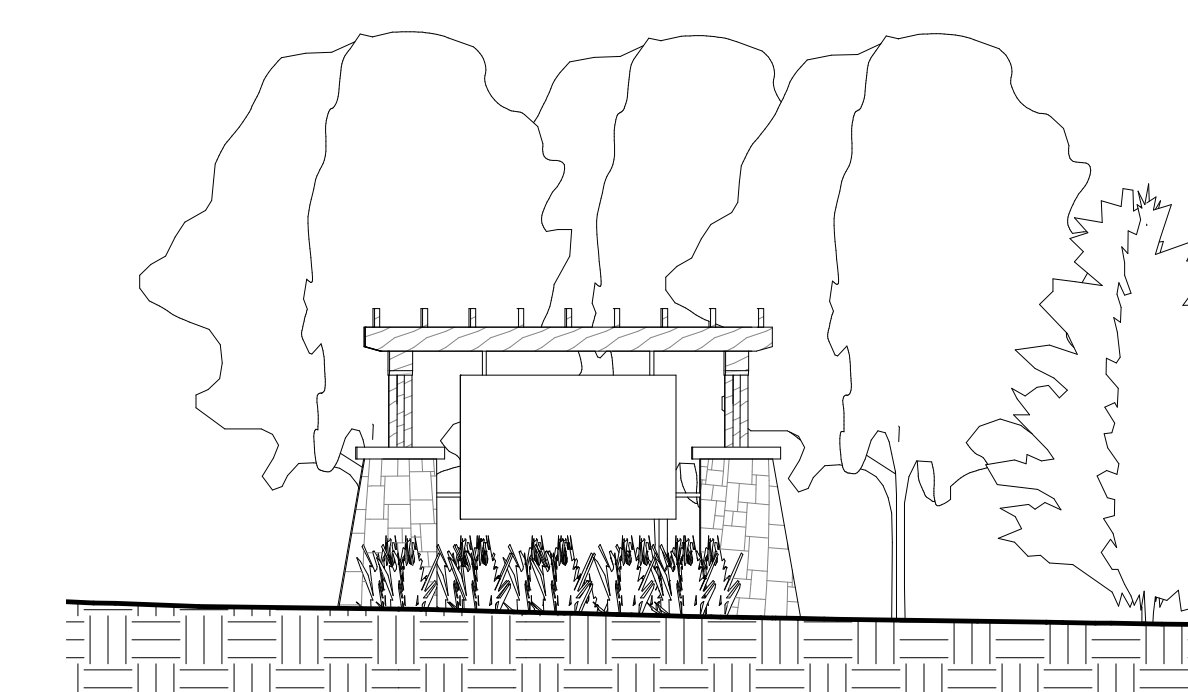
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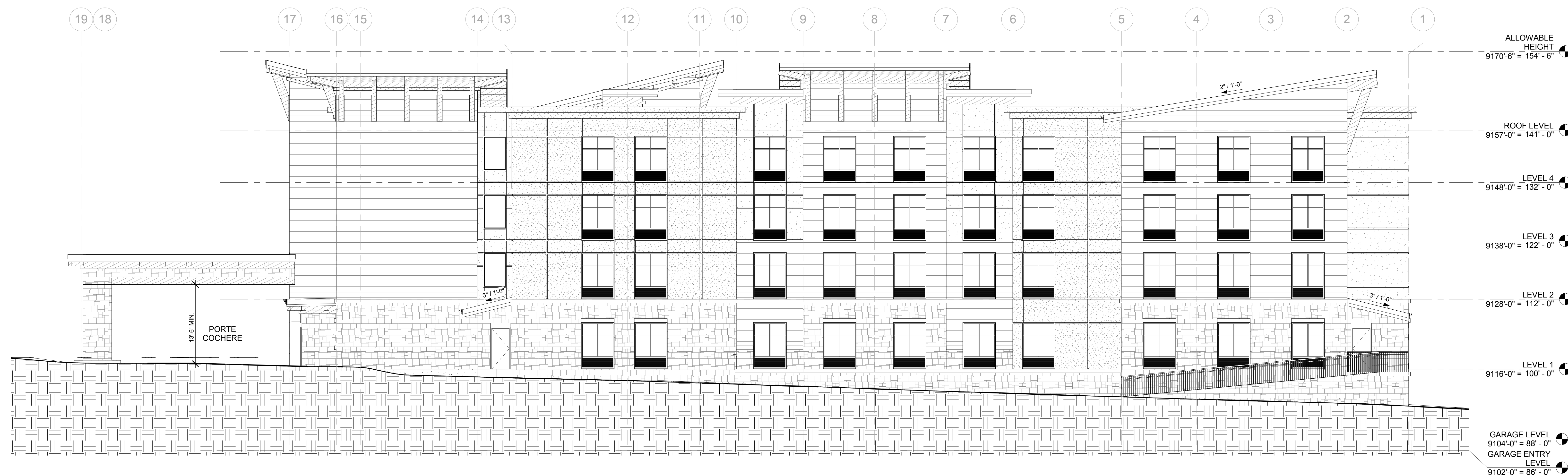
BUILDING ELEVATIONS



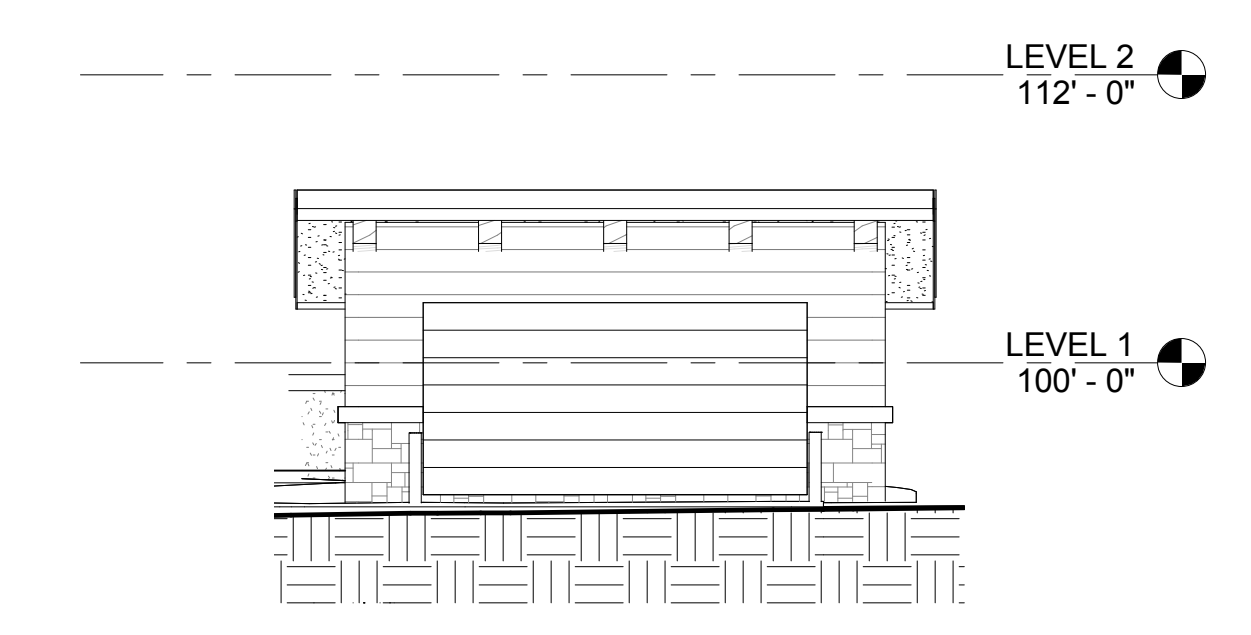
① SOUTH EAST ELEVATION
1/8" = 1'-0"



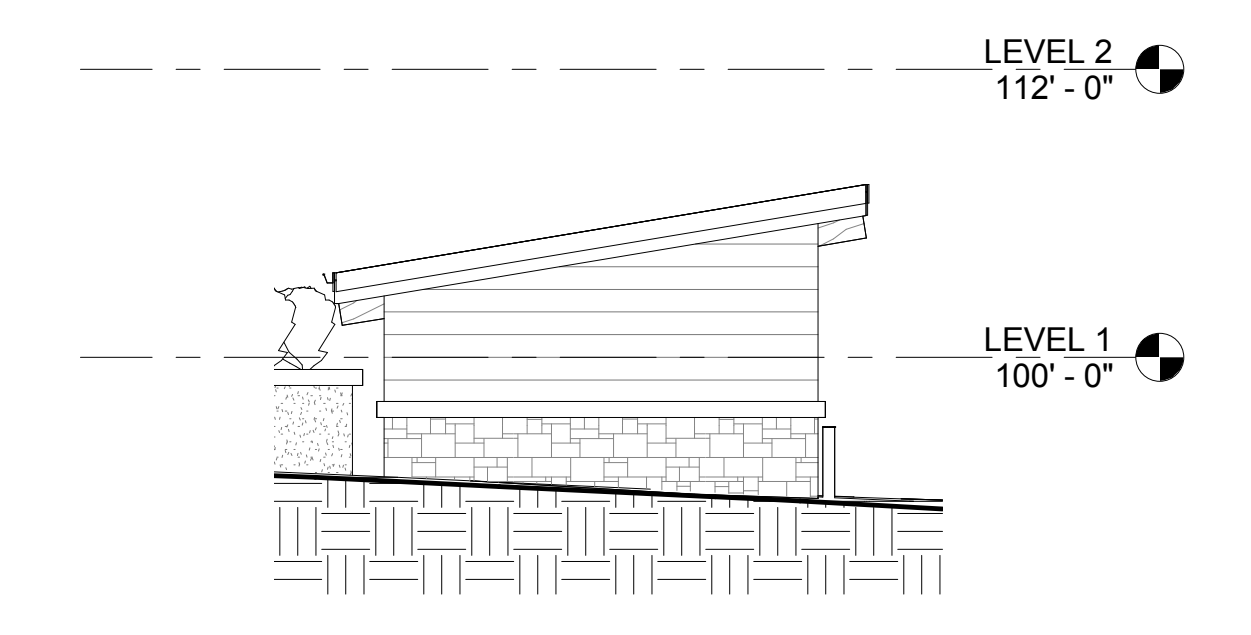
③ MONUMENT SIGN
1/8" = 1'-0"



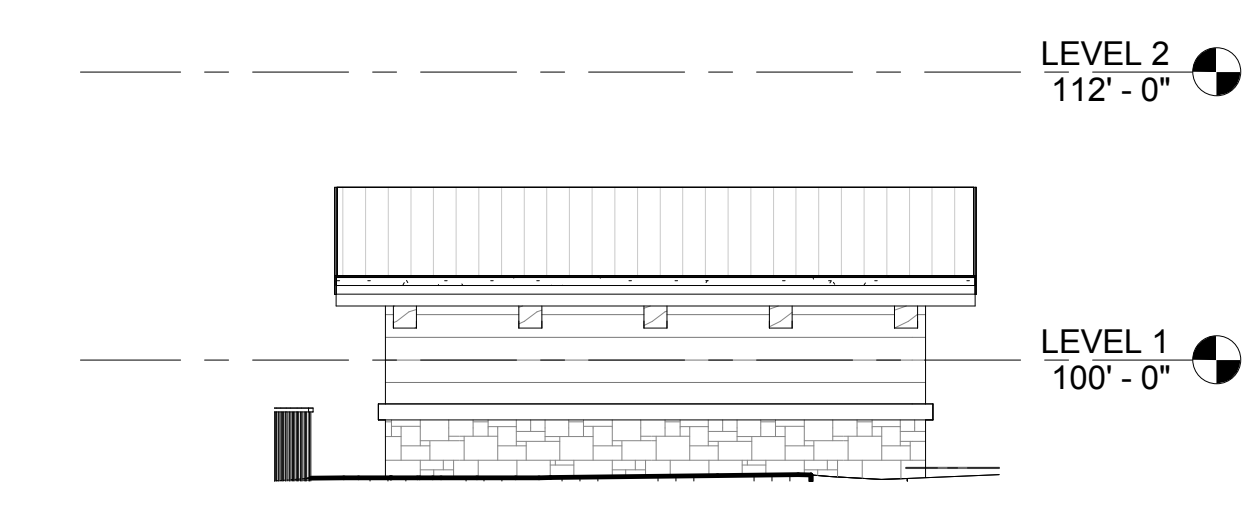
② NORTH WEST ELEVATION
1/8" = 1'-0"



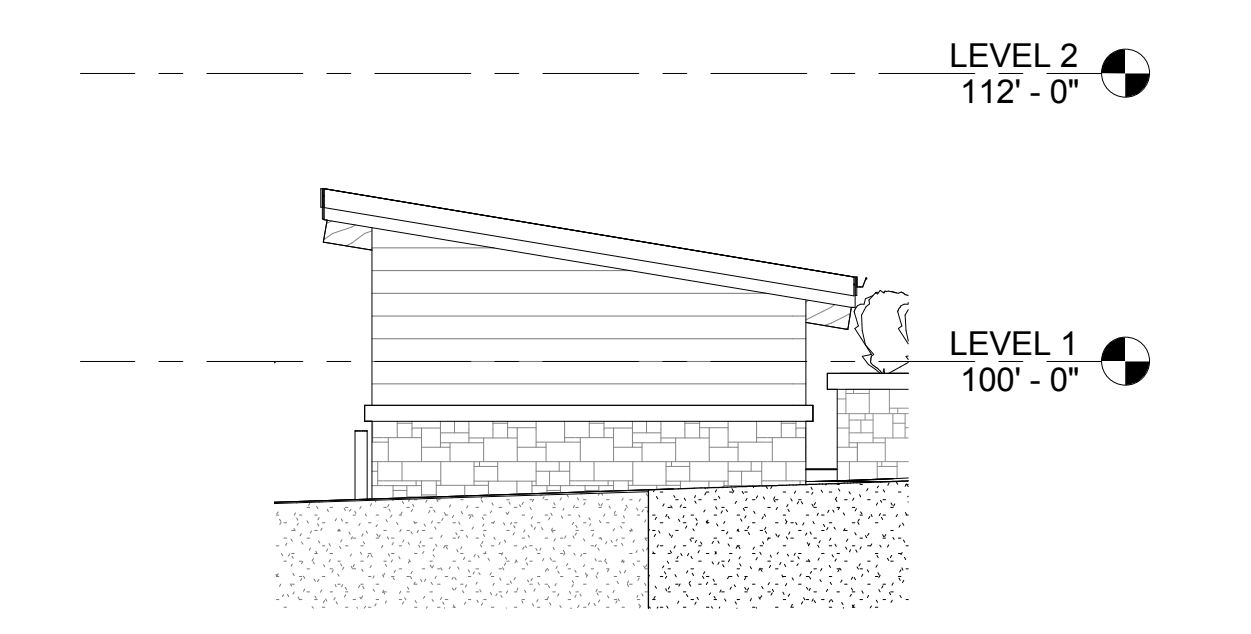
① TRASH ENCLOSURE - SOUTH
1/8" = 1'-0"



② TRASH ENCLOSURE - WEST
1/8" = 1'-0"



③ TRASH ENCLOSURE - NORTH
1/8" = 1'-0"



④ TRASH ENCLOSURE - EAST
1/8" = 1'-0"