

**HOMEWOOD SUITES**  
**SITE AND GRADING PLAN**

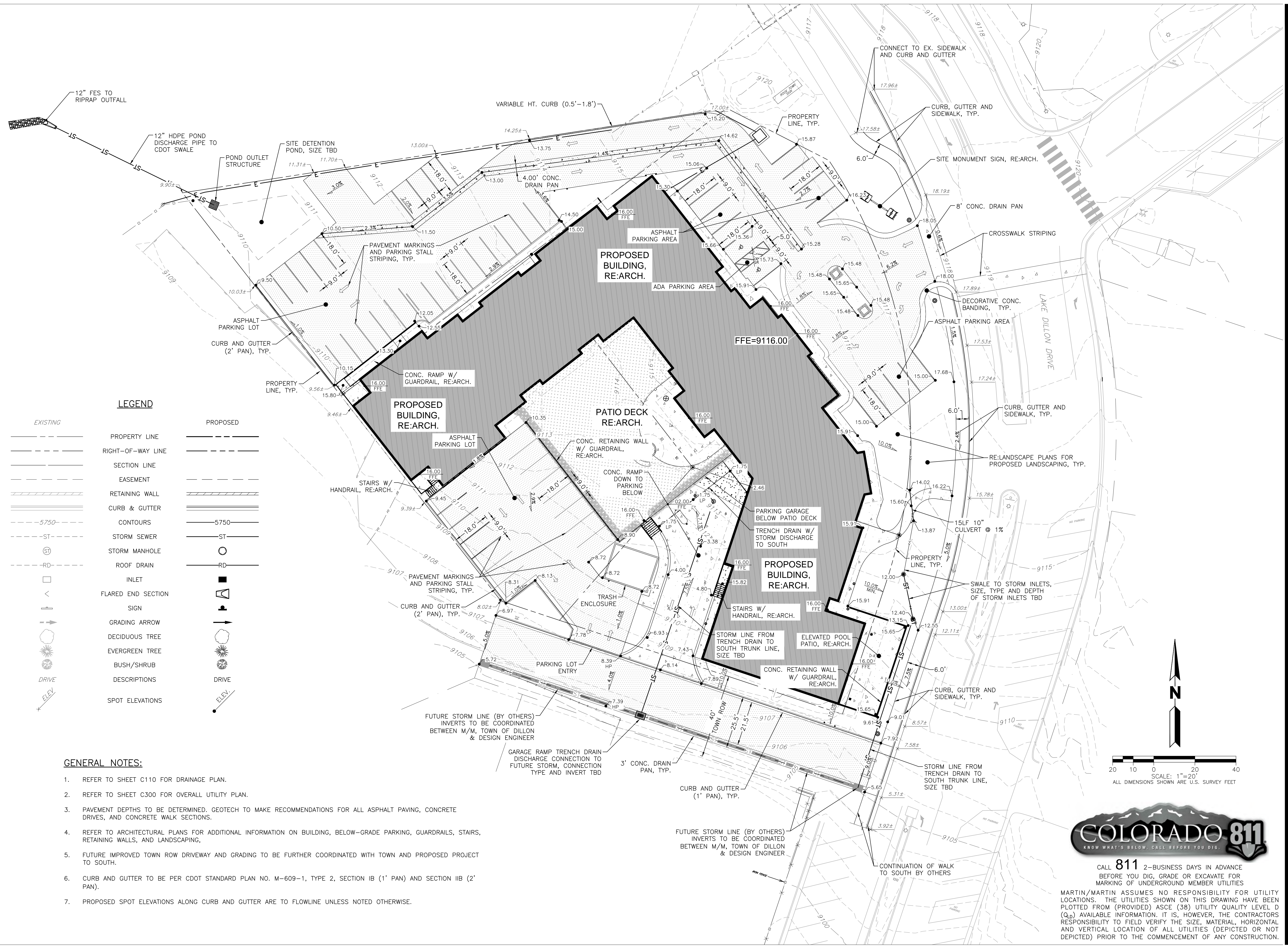
No.	Issue / Revision	Date	Name

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Job Number	MC18.0436
Project Manager	LML
Design By	MAT
Drawn By	MAT
Principal in Charge	LML

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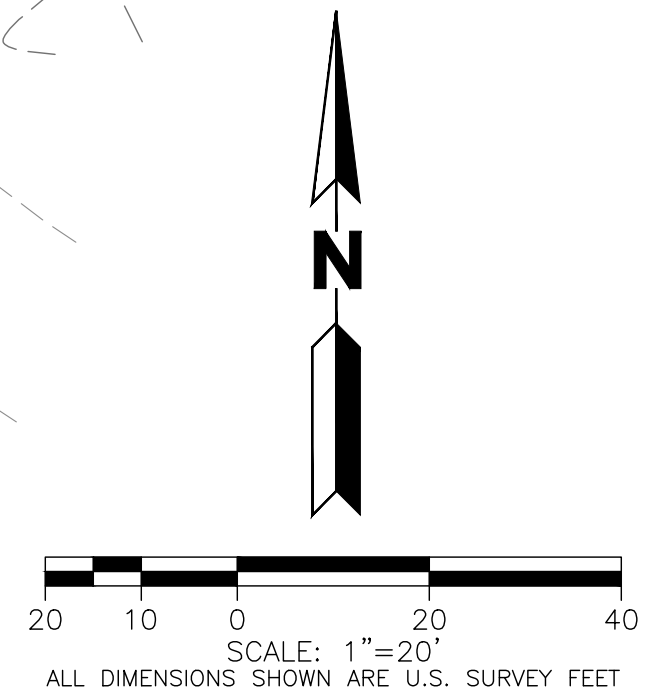


### LEGEND

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE, TYP.
RIGHT-OF-WAY LINE	RIGHT-OF-WAY LINE, TYP.
SECTION LINE	SECTION LINE, TYP.
EASEMENT	EASEMENT, TYP.
RETAINING WALL	RETAINING WALL, RE:ARCH.
CURB & GUTTER	CURB & GUTTER, TYP.
CONTOURS	CONTOURS, TYP.
STORM SEWER	STORM SEWER, TYP.
STORM MANHOLE	STORM MANHOLE, TYP.
ROOF DRAIN	ROOF DRAIN, TYP.
INLET	INLET, TYP.
FLARED END SECTION	FLARED END SECTION, TYP.
SIGN	SIGN, TYP.
GRADING ARROW	GRADING ARROW, TYP.
DECIDUOUS TREE	DECIDUOUS TREE, TYP.
EVERGREEN TREE	EVERGREEN TREE, TYP.
BUSH/SHRUB	BUSH/SHRUB, TYP.
DESCRIPTIONS	DESCRIPTIONS, TYP.
SPOT ELEVATIONS	SPOT ELEVATIONS, TYP.

#### GENERAL NOTES:

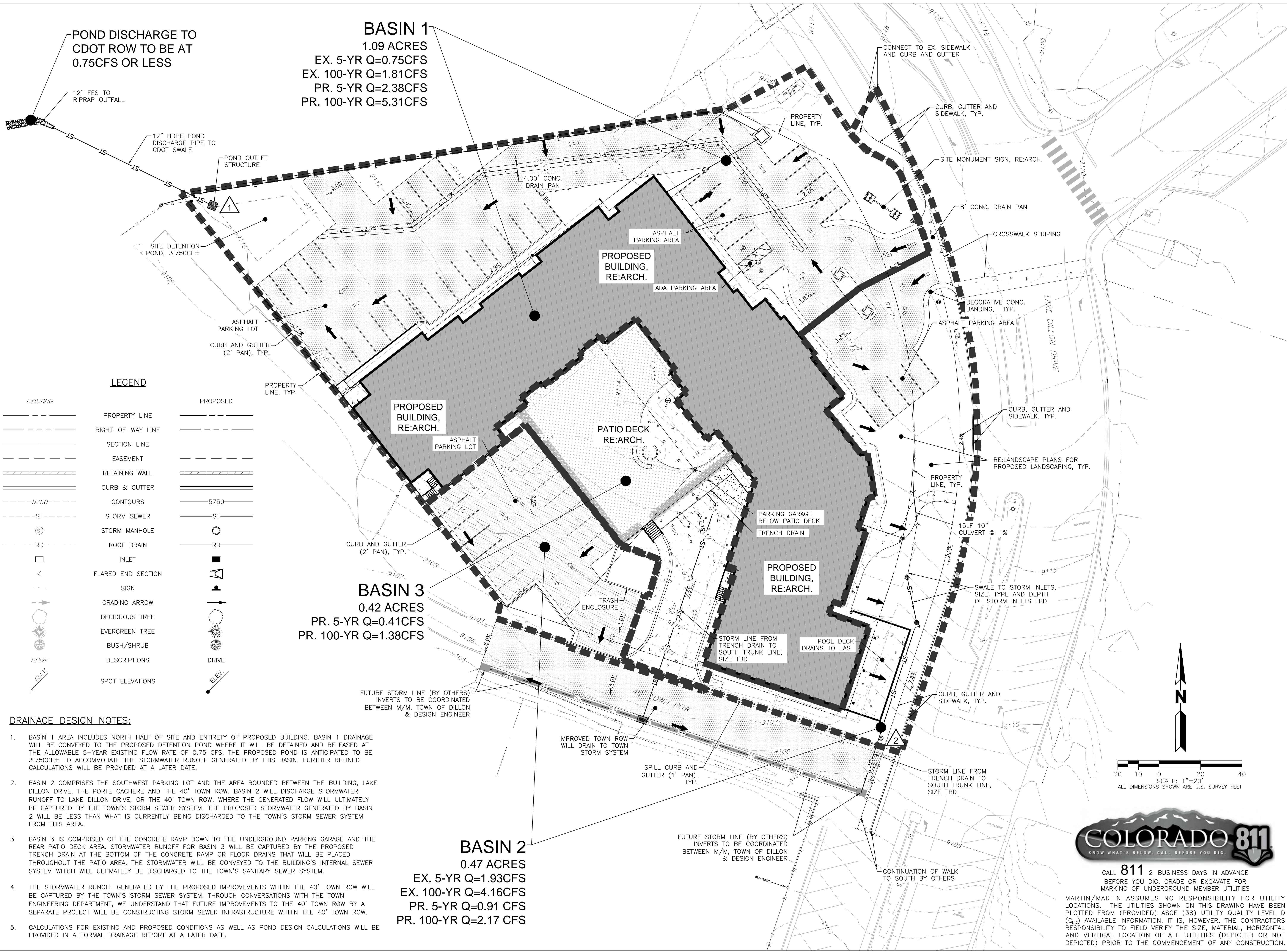
1. REFER TO SHEET C110 FOR DRAINAGE PLAN.
2. REFER TO SHEET C300 FOR OVERALL UTILITY PLAN.
3. PAVEMENT DEPTHS TO BE DETERMINED. GEOTECH TO MAKE RECOMMENDATIONS FOR ALL ASPHALT PAVING, CONCRETE DRIVES, AND CONCRETE WALK SECTIONS.
4. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION ON BUILDING, BELOW-GRADE PARKING, GUARDRAILS, STAIRS, RETAINING WALLS, AND LANDSCAPING.
5. FUTURE IMPROVED TOWN ROW DRIVEWAY AND GRADING TO BE FURTHER COORDINATED WITH TOWN AND PROPOSED PROJECT TO SOUTH.
6. CURB AND GUTTER TO BE PER CDOT STANDARD PLAN NO. M-609-1, TYPE 2, SECTION IB (1' PAN) AND SECTION IIB (2' PAN).
7. PROPOSED SPOT ELEVATIONS ALONG CURB AND GUTTER ARE TO FLOWLINE UNLESS NOTED OTHERWISE.



CALL **811** 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM (PROVIDED) ASCE (38) UTILITY QUALITY LEVEL D (Q<sub>4</sub>) AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES (DEPICTED OR NOT DEPICTED) PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

PLOT DATE: Wednesday, April 25, 2018 12:53 PM LAST SAVED BY: MTALKINGTON  
 DRAWING LOCATION: H:\MC18\0436-Dillon HomeWood Suites\PLANS\SD SUBMITTAL\DRAINAGE PLAN.dwg



**LEGEND**

	EXISTING		PROPOSED
	PROPERTY LINE		PROPERTY LINE, TYP.
	RIGHT-OF-WAY LINE		RIGHT-OF-WAY LINE
	SECTION LINE		SECTION LINE
	EASEMENT		EASEMENT
	RETAINING WALL		RETAINING WALL
	CURB & GUTTER		CURB & GUTTER
	CONTOURS		CONTOURS
	STORM SEWER		STORM SEWER
	STORM MANHOLE		STORM MANHOLE
	ROOF DRAIN		ROOF DRAIN
	INLET		INLET
	FLARED END SECTION		FLARED END SECTION
	SIGN		SIGN
	GRADING ARROW		GRADING ARROW
	DECIDUOUS TREE		DECIDUOUS TREE
	EVERGREEN TREE		EVERGREEN TREE
	BUSH/SHRUB		BUSH/SHRUB
	DESCRIPTIONS		DESCRIPTIONS
	SPOT ELEVATIONS		SPOT ELEVATIONS

**DRAINAGE DESIGN NOTES:**

- BASIN 1 AREA INCLUDES NORTH HALF OF SITE AND ENTIRETY OF PROPOSED BUILDING. BASIN 1 DRAINAGE WILL BE CONVEYED TO THE PROPOSED DETENTION POND WHERE IT WILL BE DETAINED AND RELEASED AT THE ALLOWABLE 5-YEAR EXISTING FLOW RATE OF 0.75 CFS. THE PROPOSED POND IS ANTICIPATED TO BE 3,750CF± TO ACCOMMODATE THE STORMWATER RUNOFF GENERATED BY THIS BASIN. FURTHER REFINED CALCULATIONS WILL BE PROVIDED AT A LATER DATE.
- BASIN 2 COMPRISES THE SOUTHWEST PARKING LOT AND THE AREA BOUNDED BETWEEN THE BUILDING, LAKE DILLON DRIVE, THE PORTE CACHERE AND THE 40' TOWN ROW. BASIN 2 WILL DISCHARGE STORMWATER RUNOFF TO LAKE DILLON DRIVE, OR THE 40' TOWN ROW, WHERE THE GENERATED FLOW WILL ULTIMATELY BE CAPTURED BY THE TOWN'S STORM SEWER SYSTEM. THE PROPOSED STORMWATER GENERATED BY BASIN 2 WILL BE LESS THAN WHAT IS CURRENTLY BEING DISCHARGED TO THE TOWN'S STORM SEWER SYSTEM FROM THIS AREA.
- BASIN 3 IS COMPRISED OF THE CONCRETE RAMP DOWN TO THE UNDERGROUND PARKING GARAGE AND THE REAR PATIO DECK AREA. STORMWATER RUNOFF FOR BASIN 3 WILL BE CAPTURED BY THE PROPOSED TRENCH DRAIN AT THE BOTTOM OF THE CONCRETE RAMP OR FLOOR DRAINS THAT WILL BE PLACED THROUGHOUT THE PATIO AREA. THE STORMWATER WILL BE CONVEYED TO THE BUILDING'S INTERNAL SEWER SYSTEM WHICH WILL ULTIMATELY BE DISCHARGED TO THE TOWN'S SANITARY SEWER SYSTEM.
- THE STORMWATER RUNOFF GENERATED BY THE PROPOSED IMPROVEMENTS WITHIN THE 40' TOWN ROW WILL BE CAPTURED BY THE TOWN'S STORM SEWER SYSTEM. THROUGH CONVERSATIONS WITH THE TOWN ENGINEERING DEPARTMENT, WE UNDERSTAND THAT FUTURE IMPROVEMENTS TO THE 40' TOWN ROW BY A SEPARATE PROJECT WILL BE CONSTRUCTING STORM SEWER INFRASTRUCTURE WITHIN THE 40' TOWN ROW.
- CALCULATIONS FOR EXISTING AND PROPOSED CONDITIONS AS WELL AS POND DESIGN CALCULATIONS WILL BE PROVIDED IN A FORMAL DRAINAGE REPORT AT A LATER DATE.

**BASIN 1**  
 1.09 ACRES  
 EX. 5-YR Q=0.75CFS  
 EX. 100-YR Q=1.81CFS  
 PR. 5-YR Q=2.38CFS  
 PR. 100-YR Q=5.31CFS

**BASIN 3**  
 0.42 ACRES  
 PR. 5-YR Q=0.41CFS  
 PR. 100-YR Q=1.38CFS

**BASIN 2**  
 0.47 ACRES  
 EX. 5-YR Q=1.93CFS  
 EX. 100-YR Q=4.16CFS  
 PR. 5-YR Q=0.91 CFS  
 PR. 100-YR Q=2.17 CFS

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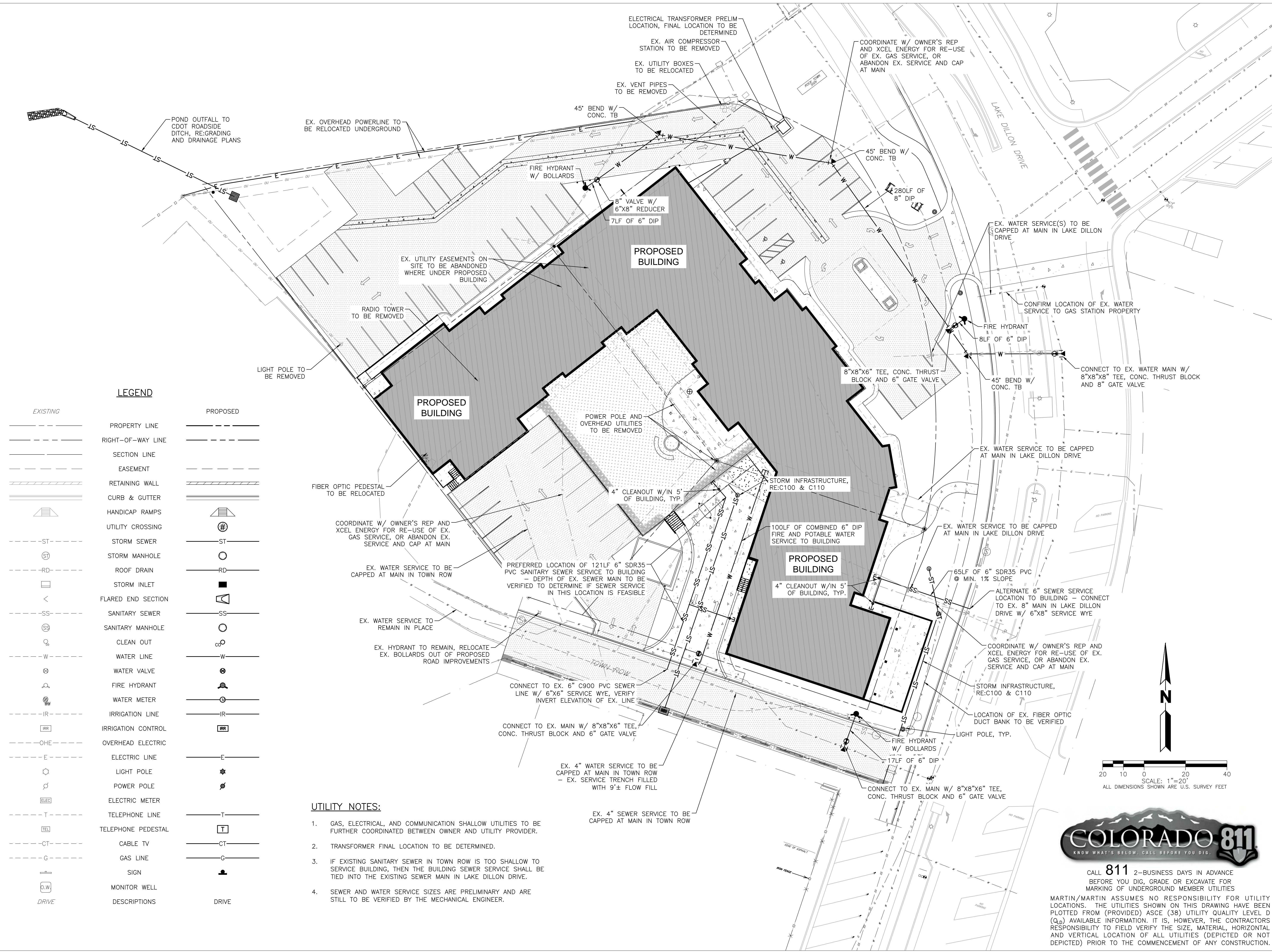
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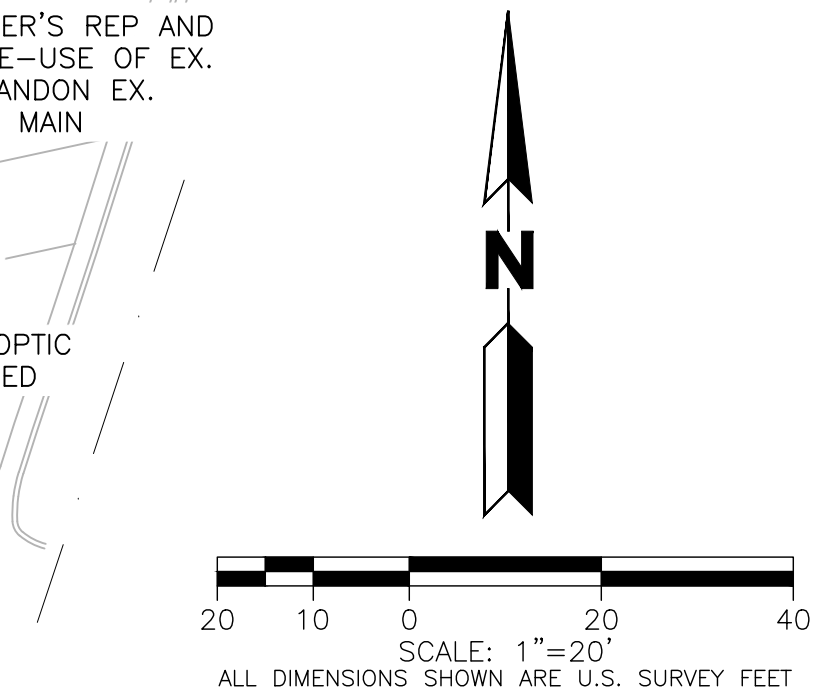


**LEGEND**

EXISTING	DESCRIPTIONS	PROPOSED	DESCRIPTIONS
---	PROPERTY LINE	---	PROPERTY LINE
---	RIGHT-OF-WAY LINE	---	RIGHT-OF-WAY LINE
---	SECTION LINE	---	SECTION LINE
---	EASEMENT	---	EASEMENT
---	RETAINING WALL	---	RETAINING WALL
---	CURB & GUTTER	---	CURB & GUTTER
---	HANDICAP RAMPS	---	HANDICAP RAMPS
---	UTILITY CROSSING	---	UTILITY CROSSING
ST---	STORM SEWER	ST---	STORM SEWER
ST	STORM MANHOLE	ST	STORM MANHOLE
RD---	ROOF DRAIN	RD---	ROOF DRAIN
---	STORM INLET	---	STORM INLET
---	FLARED END SECTION	---	FLARED END SECTION
SS---	SANITARY SEWER	SS---	SANITARY SEWER
SS	SANITARY MANHOLE	SS	SANITARY MANHOLE
CO	CLEAN OUT	CO	CLEAN OUT
W---	WATER LINE	W---	WATER LINE
W	WATER VALVE	W	WATER VALVE
FD	FIRE HYDRANT	FD	FIRE HYDRANT
WM	WATER METER	WM	WATER METER
IR---	IRRIGATION LINE	IR---	IRRIGATION LINE
IRR	IRRIGATION CONTROL	IRR	IRRIGATION CONTROL
OHE---	OVERHEAD ELECTRIC	OHE---	OVERHEAD ELECTRIC
E---	ELECTRIC LINE	E---	ELECTRIC LINE
LP	LIGHT POLE	LP	LIGHT POLE
PP	POWER POLE	PP	POWER POLE
EM	ELECTRIC METER	EM	ELECTRIC METER
T---	TELEPHONE LINE	T---	TELEPHONE LINE
TEL	TELEPHONE PEDESTAL	TEL	TELEPHONE PEDESTAL
CT---	CABLE TV	CT---	CABLE TV
G---	GAS LINE	G---	GAS LINE
---	SIGN	---	SIGN
DW	MONITOR WELL	DW	MONITOR WELL
---	DRIVE	---	DRIVE

**UTILITY NOTES:**

1. GAS, ELECTRICAL, AND COMMUNICATION SHALLOW UTILITIES TO BE FURTHER COORDINATED BETWEEN OWNER AND UTILITY PROVIDER.
2. TRANSFORMER FINAL LOCATION TO BE DETERMINED.
3. IF EXISTING SANITARY SEWER IN TOWN ROW IS TOO SHALLOW TO SERVICE BUILDING, THEN THE BUILDING SEWER SERVICE SHALL BE TIED INTO THE EXISTING SEWER MAIN IN LAKE DILLON DRIVE.
4. SEWER AND WATER SERVICE SIZES ARE PRELIMINARY AND ARE STILL TO BE VERIFIED BY THE MECHANICAL ENGINEER.



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**C300**