#### PLANNING AND ZONING COMMISSION ACTION ITEM STAFF SUMMARY JUNE 1, 2022 PLANNING AND ZONING COMMISSION MEETING

**DATE:** May 27, 2022

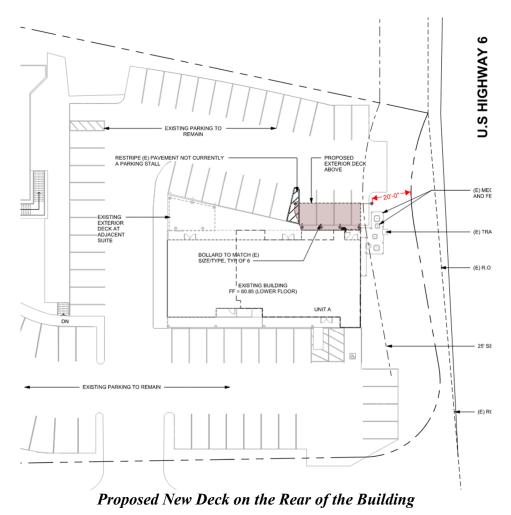
#### **AGENDA ITEM NUMBER: 5**

#### **ACTION TO BE CONSIDERED:**

#### Consideration of Resolution No. PZ 02-22, Series of 2022. (PUBLIC HEARING) A RESOLUTION APPROVING A LEVEL III DEVELOPMENT PERMIT FOR A NEW DECK ON A COMMERCIAL BUILDING LOCATED AT 765 W. ANEMONE TRAIL.

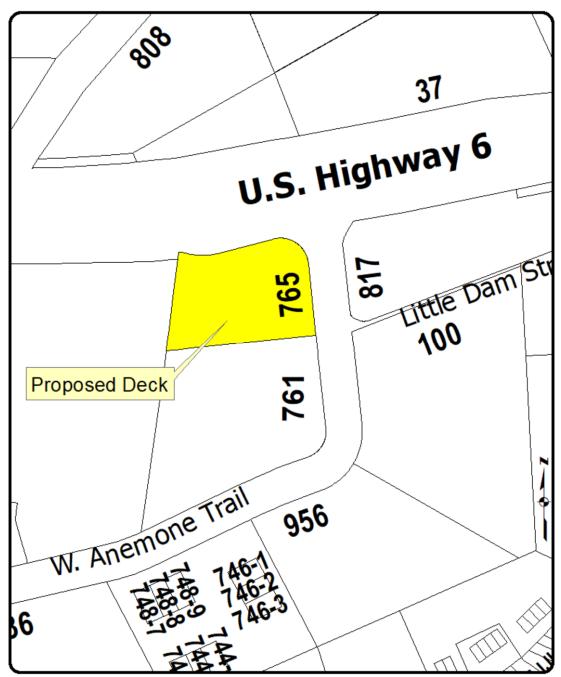
#### **SUMMARY:**

The Town has received a Level III Development Permit Application for a new deck on a commercial building to be located on the rear of the building located at 765 W. Anemone Trail. The new deck will provide the potential for outdoor seating associated with a restaurant use in the tenant space to which it is to be connected – the Snarf's Sandwiches restaurant. A new deck on a commercial building requires a Public Hearing and approval by the Planning and Zoning Commission.



#### **PUBLIC NOTICE:**

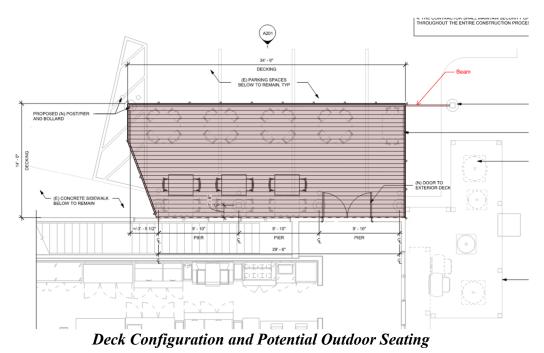
The Town posted a sign of the Public Hearing on the site on Tuesday, May 24<sup>th</sup>, 2022. A newspaper ad ran in the Summit Daily (Journal) on Friday, May 20<sup>th</sup>, 2022, and a mailing noticing the public hearing time and date was sent out on Wednesday, May 18<sup>th</sup>, 2022 to property owners within 300' of the site. The notices were provided within the required 7-day minimum and 14-day maximum notice period required by the Dillon Municipal Code (the "**Code**").

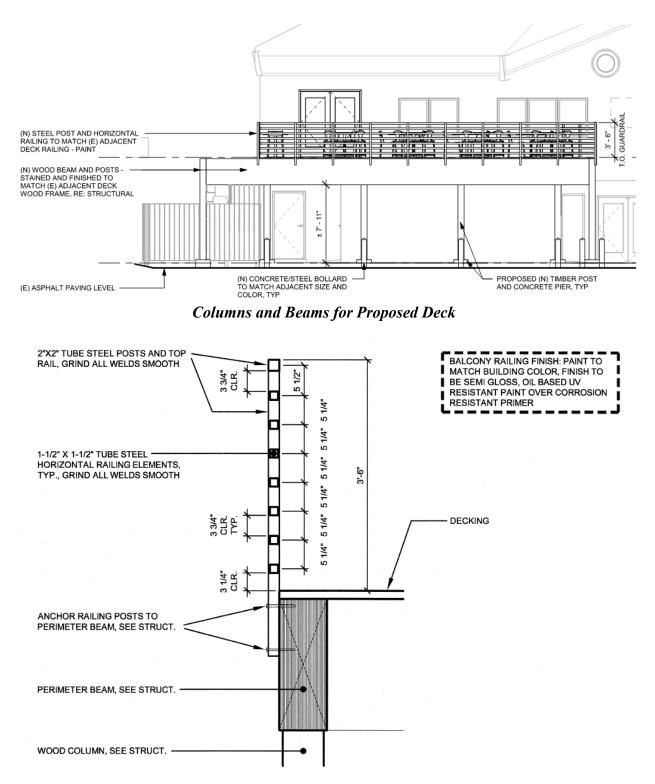


**Project Vicinity Map** 



Side & Rear of the Building Where the Deck is Proposed





Deck Railing Detail to Match Adjacent Deck

#### **CODE ANALYSIS:**

*Zoning District*: The Application is located in the Commercial (C) Zone. A deck is a permitted accessory use for a building; however, the Dillon Municipal Code (Code), requires a Level III

Development Permit review process and Public Hearing for a new deck on a commercial building. The tenant space with the proposed deck is in the process of changing use from retail to a restaurant use under a previously issued Tenant Finish Development Permit. Impacts to consider for a potential restaurant deck are noise and visual impacts to adjacent residential properties. It is anticipated that the potential outdoor seating will not have substantial negative impacts on adjacent properties, given the location of the proposed deck on the commercially facing rear of the building, the close proximity of the site to the major thoroughfares, U.S. Highway 6 and Interstate 70, and that residential properties are not immediately adjacent to the site.

<u>*Yards:*</u> Yards, or setbacks, are required in most zone districts from the side of a building to a property line. The Commercial zone requires the following yards (setbacks):

Front Yard: 25' Side Yard: 10' Street Side Yard: 25' \* Rear Yard: 20'

\* The Planning Commission approved a Variance for the U.S. Highway 6 setback on May 10, 1982 reducing the yard (setback) from 25 feet to 20 feet. See the attached project memorandum dated May 11, 2022 for details on the Variance approval.

The Application complies with the yard requirements of the Code.

Building Height: The Application does not increase the height of the building.

<u>Design Guidelines</u>: The architectural style, materials, and proposed colors are harmonious with the building.

Snow Storage: The Application does not impact snow storage on site.

<u>Off-Street Parking</u>: Parking is provided in the parking lot around the building. A shared parking agreement exists for this building and the adjacent building (761 W. Anemone Trail – Sun and Ski Sports). The outdoor deck space is not greater than 20% of the interior tenant space it is attached to, and therefore no additional parking is required for the outdoor seating. Based on the current uses in the complex of the shared parking and evaluation of the number of parking spaces provided, there is no surplus parking on the site. The Application complies with the parking requirements of the Code.

Landscaping: There are no landscaping requirements associated with this Application.

#### **STAFF RECOMMENDATION:**

Staff recommends approval of Resolution PZ 02-22, Series of 2022

#### **MOTION FOR APPROVAL:**

I move the approval of Resolution 02-22, Series of 2022 with conditions as presented.

**ACTION REQUESTED:** Motion, Second, Roll Call Vote. Resolutions require the affirmative vote of a majority of the members present.

STAFF MEMBER RESPONSIBLE: Ned West, AICP, Sr. Town Planner

#### <u>Exhibits</u>

#### May 3, 2022 Architectural Drawings

May 11, 2022 Project Memorandum – Setback Variance

OWNER **SNARF'S SANDWICHES** 2762 WALNUT STREET DENVER, CO 80205 t: 720.389.7920

ARCHITECT CHORD DESIGN STUDIO, P.C. 1425 MARKET STREET SUITE 220 DENVER, CO 80202 t: 303.694.2445



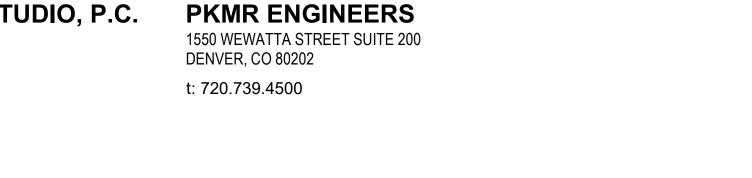
DILLON, COLORADO Project Number:210023

**PLANNING COMMISSION SET** 03 MAY 2022





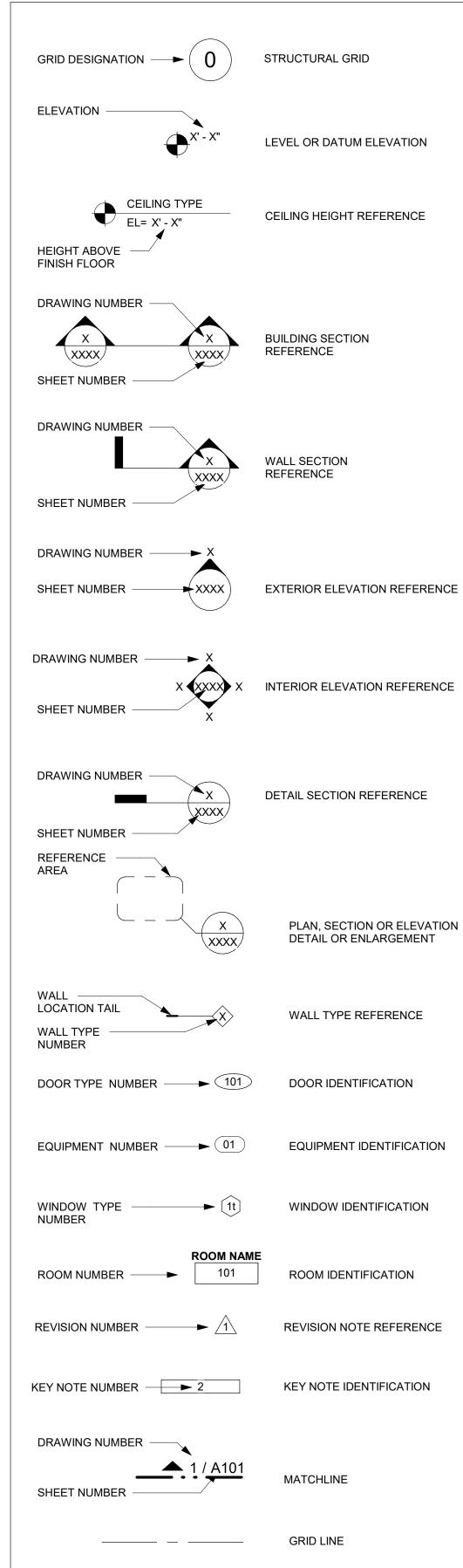




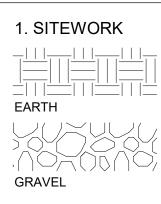
MEP

**chord** design studio

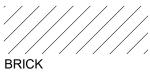
### DRAWING SYMBOLS



## MATERIAL SYMBOLS



#### 3. MASONRY



CMU



#### 5. WOOD

WOOD BLOCKING



**FINISH WOOD** +-

PLYWOOD

TILE

#### 6. THERMAL BATT INSULATION BOARD INSULATION FIRE SAFING

2. CONCRETE

CONCRETE

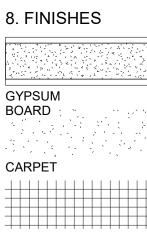
SAND / GROUT

4. METAL

ALUMINUM

STEEL

FOAMED-IN-PLACE INSULATION





(E) (N)

ACT

ADJ

AFF

AN

ARCH

ASPH B.O. BD BLDG

BLK BM BOT

BRG C.O. C.O.F. C.O.W.

CG CIP CJ CL

AFR AL ALT

EXISTING	CLG	CEILING	FEC	FIRE EXTINGUISHER CABINET	HPL	HIGH PRESSURE LAMINATE	MTL	METAL	RCP	REFLECTED CEILING PLAN	T.O.F.D.	TOP OF FLOOR DECK
NEW	CLR	CLEAR	FF	FINISH FLOOR	HR	HOUR	MWP	METAL WALL PANEL	RD	ROOF DRAIN	T.O.F.F.	TOP OF FINISH FLOOR
CENTER LINE	CMU	CONCRETE MASONRY UNIT	FH	FINISH HEIGHT	HRA	HOT RUBBERIZED ASPHALT	NA	NOT APPLICABLE	RE:	REFER TO	T.O.P.	TOP OF PARAPET
PLATE	COL	COLUMN	FHC	FIRE HOSE CABINET	HT	HEIGHT	NIC	NOT IN CONTRACT	REQ'D	REQUIRED	T.O.R.	TOP OF RAIL
AT	CONC	CONCRETE	FIN	FINISH(ED)	HTR	HEATER	NO / #	NUMBER	ROW	RIGHT OF WAY	T.O.R.D.	TOP OF ROOF DECK
AIR CONDITIONING	CONST	CONSTRUCTION	FLR	FLOOR	IAW	IN ACCORDANCE WITH	NOM	NOMINAL	RS	ROUGH SAWN	T.O.S.	TOP OF STRUCTURE
ACOUSTICAL CEILING TILE	CONT	CONTINUOUS	FND	FOUNDATION	IC	INSIDE CLEAR	NTS	NOT TO SCALE	SAT	SUSPENDED ACOUSTICAL	T.O.W.	TOP OF WALL
ADJUSTABLE	CPT	CARPET	FR	FIRE RESISTANT	ID	INTERIOR DESIGN	O.C.	ON CENTER		TILE	TEL	TELEPHONE
ABOVE FINISH FLOOR	СТ	CERAMIC TILE	FRP	FIBER REINFORCED PLASTIC	INSUL	INSULATION	OA	OVERALL	SC	SOLID CORE	TG	TEMPERED GLASS
ABOVE FINISH ROOF	DD	DESIGN DEVELOPMENT	FRT	FIRE RETARDANT TREATED	INT	INTERIOR	OD	OUTSIDE DIAMETER	SCHED	SCHEDULE	THK	THICKNESS
ALUMINUM	DIA	DIAMETER	FTG	FOOTING	ISS	ISSUE	OD	OVERFLOW DRAIN	SECT	SECTION	TOPO	TOPOGRAPHY
ALTERNATE	DJ	DEFLECTION JOINT	FV	FIELD VERIFY	JAN	JANITOR	ОН	OVERHEAD	SF	SQUARE FOOT OR FEET	TYP	TYPICAL
ANODIZED	DS	DOWNSPOUT	FVC	FIRE VALVE CABINET	JST	JOIST	OPG	OPENING	SHT	SHEET	U.N.O.	UNLESS NOTED OTHERWI
ARCHITECT(URAL)	DTL	DETAIL	FXT	FIXTURE	JT	JOINT	OPP	OPPOSITE HAND	SIM	SIMILAR	VAR	VARIES
ASPHAULT	DWG	DRAWING	GA	GAUGE	L	ANGLE	ORD	OVERFLOW ROOF DRAIN	SM	SHEET METAL	VCT	VINYL COMPOSITION TILE
BOTTOM OF	EA	EACH	GALV	GALVANIZED	LAM	LAMINATE	PART BRD	PARTICLE BOARD	SPEC	SPECIFICATION	VERT	VERTICAL
BOARD	EJ	EXPANSION JOINT	GC	GENERAL CONTRACTOR	LAV	LAVATORY	PC	PRECAST CONCRETE	SQ	SQUIRE	VEST	VESTIBULE
BUILDING	EL	ELEVATION	GEN	GENERAL	LP	LOW POINT	PERF	PERFORATION	SS	STAINLESS STEEL	VIF	VERIFY IN FIELD
BLOCK	ELEC	ELECTRICAL	GFRC	GLASS FIBER REINFORCED	LT	LIGHT	PL	PROPERTY LINE	ST	STAIN	VWC	VINYL WALLCOVERING
BEAM	ELEV	ELEVATOR		CONCRETE	MACH	MACHINED	PLAM	PLASTIC LAMINATE	STD	STANDARD	W.O.	WHERE OCCURS
ВОТТОМ	EPS	EXPANDED POLYSTYRENE	GL	GLASS	MATL	MATERIAL	PLUMB	PLUMBING	STL	STEEL	W/	WITH
BEARING	EQ	EQUAL	GND	GROUND	MAX	MAXIMUM	PLWD	PLYWOOD	STRUC	STRUCTURAL	W/O	WITHOUT
CENTER OF	EQUIP	EQUIPMENT	GR	GRADE	MCM	METAL COMPOSITE MATERIAL	PN	PROJECT NORTH	SYM	SYMETRICAL	WC	WATER CLOSET
CENTER OF FLUE	ETR	EXISTING TO REMAIN	GWB	GYPSUM WALL BOARD	MDF	MEDIUM DENSITY	PR	PAIR	Т	TRANSFORMER	WD	WOOD
CENTER OF WALL	EWC	ELECTRIC WATER COOLER	GYP	GYPSUM		FIBERBOARD	PT	PRESSURE TREATED	Т.О.	TOP OF	WH	WATER HEATER
CORNER GUARD	EXH	EXHAUST	HC	HANDICAPPED ACCESSIBLE	MECH	MECHANICAL	PT	PAINT	Т.О.В.	TOP OF BEAM	WP	WATERPROOFING
CAST-IN-PLACE	F.B.O.	FURNISHED BY OWNER	HDWR	HARDWARE	MFR	MANUFACTURER	PTN	PARTITION	T.O.C.	TOP OF CONCRETE	WWF	WELDED WIRE FABRIC
CONTROL JOINT	F.O.	FACE OF	НМ	HOLLOW METAL	MIN	MINIMUM	R.O.	ROUGH OPENING	T.O.D.	TOP OF DECK		-
CENTERLINE	F.O.W	FACE OF WALL	HORIZ	HORIZONTAL	MISC	MISCELANEOUS	RAD	RADIUS	T.O.F.	TOP OF FOOTING		
	FD	FLOOR DRAIN	HP	HIGH POINT	MR	MOISTURE RESISTANT	RB	RUBBER BASE				

#### GENERAL NOTES

ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, LOCAL AND ADOPTED CODES, ORDINANCES, REGULATIONS, LAWS, STATUTES, GUIDELINES AND REQUIREMENTS OF BUILDING AND FIRE AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR (HEREAFTER "THE CONTRACTOR") AND SUBCONTRACTORS SHALL CAREFULLY STUDY ALL CONTRACT DOCUMENTS AND ACQUIRE A THOROUGH UNDERSTANDING OF THE DESIGN INTENT OF THE PROJECT AND THE DETAILS REQUIRED TO ACHIEVE THE DESIGN INTENT. THE CONTRACTOR SHALL FORWARD REQUESTS FOR CLARIFICATION OR ADDITIONAL INFORMATION WITH REGARD TO ACHIEVING THE DESIGN INTENT OF THE PROJECT TO THE ARCHITECT IN WRITING FOR REVIEW AND WRITTEN RESPONSE. THE CONTRACTOR SHALL CHECK AND VERIFY THE CONTRACT DOCUMENTS WITH FIELD CONDITIONS, CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN, PRIOR TO PROCEEDING WITH THE WORK AND VERIFY ALL SPACE DIMENSIONS AS SHOWN WITH EXISTING JOB CONDITIONS BEFORE STARTING CONSTRUCTION. IF DISCREPANCIES EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF WORK. PRICING OF THESE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE DESIGN INTENT DESCRIBED THEREIN. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS AND SLEEVES THROUGH FLOORS, CEILINGS, ROOFS, WALLS, STRUCTURAL MEMBERS AND ARCHITECTURAL ELEMENTS WITH CIVIL, LANDSCAPE, ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL AND OTHER DISCIPLINES DRAWINGS, SPECIFICATIONS AND EXISTING CONDITIONS. THE CONTRACTOR SHALL PROTECT ALL IN-PLACE CONSTRUCTION, LANDSCAPING, PAVING, UTILITIES, ETC. FROM DAMAGE DURING CONSTRUCTION. ALL DAMAGED AREAS AND ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR OR SUBCONTRACTOR DAMAGING THE SAME. THE CONTRACTOR SHALL SUBMIT PROPOSED SUBSTITUTIONS OF SPECIFIED MATERIALS/ PRODUCTS TO THE ARCHITECT FOR REVIEW, IN ACCORDANCE WITH PROCEDURES DESCRIBED IN THE SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, CUT-SHEETS, AND SAMPLES WHEN REQUIRED BY THE SPECIFICATIONS, FOR REVIEW BY THE ARCHITECT, PRIOR TO COMMENCING WITH RELATED WORK. 10 ALL WORK SHALL BE ERECTED PLUMB, LEVEL AND TRUE-TO-LINE IN ACCORDANCE WITH BEST PRACTICES OF THE TRADE, MANUFACTURER'S INSTRUCTIONS FOR THE PARTICULAR PRODUCT, AND IN ACCORDANCE WITH THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE LOCAL GOVERNMENTAL AGENCIES WHEN THERE IS A NEED FOR AN INSPECTION REQUIRED BY THE APPLICABLE CODE, OR BY THE AUTHORITY HAVING JURISDICTION. 12 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ALL PERSONNEL AND OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE OSHA REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED TO THE OWNER. 13 DO NOT SCALE DRAWINGS. 14 INTERIOR PARTITIONS ARE DIMENSIONED TO FACE OF GYPSUM BOARD, UNLESS INDICATED OTHERWISE. 15 THE INSIDE FACE OF DOOR JAMBS SHALL BE 4" FROM ADJACENT WALL OR FINISHED COLUMN, UNLESS INDICATED OTHERWISE. WHERE NEW WORK HAS DISTURBED PREVIOUSLY INSTALLED OR EXISTING WORK OR FINISHES, SUCH AREAS SHALL BE REWORKED AND/OR REFINISHED AS REQUIRED TO MATCH THE ORIGINAL CONDITION OF THE AREA PRIOR TO THE DISTURBANCE. EACH MISCELLANEOUS ITEM OF CUTTING, PATCHING OR FITTING IS NOT NECESSARILY INDIVIDUALLY DESCRIBED IN THE DOCUMENTS. THE ABSENCE OF SPECIFIC DESCRIPTIONS OF CUTTING, PATCHING, OR FITTING REQUIRED TO PROPERLY ACCOMMODATE THE SCOPE OF WORK SHALL NOT RELIEVE THE CONTRACTOR OR SUBCONTRACTOR FROM THE RESPONSIBILITY TO PERFORM SUCH WORK AS REQUIRED TO ACHIEVE THE DESIGN INTENT OF THE PROJECT. NOTES APPEAR ON DIFFERENT SHEETS FOR DIFFERENT SYSTEMS AND CONSTRUCTION MATERIAL. ALL SHEETS ARE TO BE REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO ALL RELATED DRAWINGS AND DETAILS. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER AND QUALITY TO THOSE DETAILED. WHERE SPECIFIED DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION, PRIOR TO PROCEEDING WITH WORK. 20 ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC ACTION. 21 A FINISH OR FIRE RATING ON A WALL SHALL MEAN THE ENTIRE LENGTH AND HEIGHT OF WALL TO BE FINISHED OR FIRE RATED, AS INDICATED. 22 THE HEAD AND BASE CONDITIONS OF ALL FIRE RATED WALLS SHALL BE TERMINATED WITH UL-APPROVED DESIGNS AND MATERIALS. SCOPES OF WORK ON THE DRAWINGS NOTED AS "NIC" ARE" NOT INCLUDED IN CONTRACT. 24 ALL FLOOR ELEVATIONS ARE TO TOP OF STRUCTURAL CONCRETE OR TOPPING SLAB UNLESS INDICATED OTHERWISE. 25 PROVIDE BLOCKING OR OTHER SUPPORT AS REQUIRED FOR ALL WALL, FLOOR, CEILING AND ROOF MOUNTED ITEMS. BLOCKING SHALL BE FIRE RESISTIVE TREATED AS REQUIRED AND PERMITTED BY CODE. SHOULD ANY CONFLICT OCCUR BETWEEN THE ARCHITECTURAL DRAWINGS AND THE ARCHITECT'S CONSULTANTS' DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

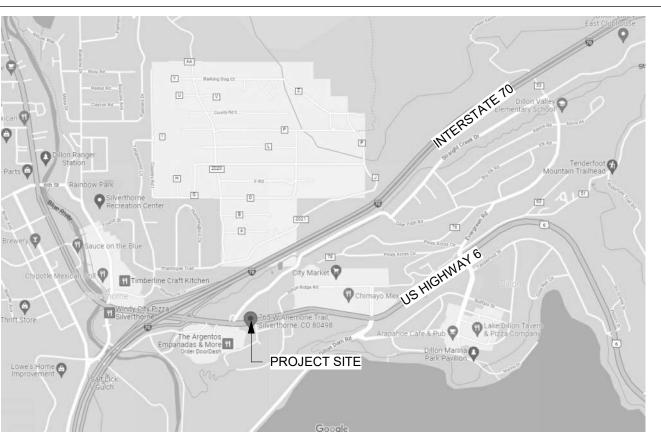
COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, EQUIPMENT AND OTHER INSTALLERS. WHERE

DISCREPANCIES EXIST BETWEEN DRAWINGS AND FIELD CONDITIONS, CONSULT THE ARCHITECT PRIOR TO PROCEEDING WITH INSTALLATION. 28 REFER TO PLUMBING DRAWINGS FOR LOCATIONS OF ALL FLOOR DRAINS, TRENCH DRAINS, SUMPS AND SUBSOIL DRAINAGE, UNLESS INDICATED OTHERWISE. IF LOCATIONS CONFLICT WITH ARCHITECTURAL DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. 29 ALL PENETRATIONS OF DUCTWORK, CONDUIT, PIPING AND OTHER WORK THROUGH FIRE RATED ASSEMBLIES SHALL BE SEALED WITH UL-APPROVED DESIGNS AND MATERIALS TO MAINTAIN THE RATING OF THE ASSEMBLY.

30 ALL EQUIPMENT INSTALLED IN RETURN AIR PLENUMS SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION AGENCY FOR COMPLIANCE WITH CODE. 31 THE CONTRACTOR SHALL COORDINATE ALL EQUIPMENT BASE AND HOUSEKEEPING PADS WITH MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS. EQUIPMENT BASE AND HOUSEKEEPING PADS TO BE MINIMUM 4" HIGH AND TO BE INSTALLED BENEATH THE PROJECTED AREA OF THE EQUIPMENT, AND IN ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

32 ALL ROOF-TOP EQUIPMENT SHALL BE LOCATED SUCH THAT FALL PROTECTION SYSTEMS ARE NOT REQUIRED FOR EQUIPMENT MAINTENANCE. U.N.O. 33 GRAPHICS ARE NOT NECESSARILY AN INDICATOR OF DESIGN INTENT. IF DESCREPANCIES EXIST BETWEEN NOTES/SPECIFICATIONS AND GRAPHICS CONSULT ARCHITECT PRIOR TO PRIOR TO PROCEEDING.

#### LOCATION MAP



#### SHEET NUMBER

00	SKETCH
	LL 01
01	GENERA
	G0
	G011
	G201
02	DEMOLIT
	AD101
03	ARCHITE
	A100
	A101

A201

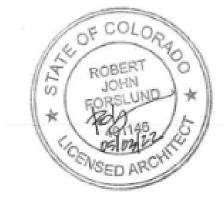
BUILDING.

#### SHEET INDEX

SHEET NAME

	LIQUOR LICENSE PLAN
	COVER
	GENERAL INFORMATION
	OCCUPANT LOADS, EGRESS & TRAVEL DISTANCE
ON	
	DEMOLITION PLAN
CTU	IRE
	SITE PLAN
	FLOOR PLAN
	BUILDING ELEVATIONS
	·





#### OWNER **SNARF'S SANDWICHES** 2762 WALNUT STREET **DENVER, CO 80205** t: 720.389.7920

ARCHITECT CHORD DESIGN STUDIO, P.C. 1425 MARKET STREET SUITE 220 **DENVER, CO 80202** 

t: 303.694.2445

#### MFP

PKMR ENGINEERS 1550 WEWATTA STREET SUITE 200 **DENVER, CO 80202** t: 720.739.4500

#### SCOPE OF WORK

EXTERIOR DECK ADDITION AS PART OF A SANDWICH SHOP IN A SUITE OF AN EXISTING

#### COPYRIGHT: 2021

THIS DOCUMENT AND THE DESIGNS INCORPORATED HEREIN CAN ONLY BE USED FOR THIS PROJECT. NO OTHER USE OF THIS DOCUMENT OR THE DESIGNS, IN WHOLE OR PART ARE PERMITTED WITHOUT THE WRITTEN AUTHORIZATION OF CHORD DESIGN STUDIO, P.C

#	DESCRIPTION	DATE
	PLANNING COMMISSION SET	03 MAY 2022

#### SNARF'S SANDWICHES

765 W ANEMONE TRAIL, UNIT A

DILLON, COLORADO 80498

Project Number:

**GENERAL INFORMATION** 

G011

210023

The General Contractor and all Subcontractors shall read the following General Conditions, and project notes as responsibilities affecting all trades are described herein. The General Contractor is responsible for the overall quality and scheduling of the work and the coordination of the various trades.

1.0 The reference to 'Owner' throughout these documents shall refer to the Landlord's and/or Tenant's representatives. Reference to the 'Contractor' shall mean the General Contractor in charge of and supervising the work of the project. The reference to 'CDS' or 'Architect' throughout these documents shall refer to Chord Design Studio, P.C.

1.1 The Contractor shall coordinate all aspects of the project with the Owner and Building Manager. Areas of coordination include, but are not limited to:

- Insurance Requirements - Hours and Methods of Access
- Project Safety
- Building Security and Emergency Procedures
- Materials Staging Areas - Hazardous Materials
- Access to Trash Facilities
- Use and Protection of Elevators and Common Areas - Parking for Supervision and Trades
- Deliveries
- Other Applicable Contract Provisions and Requirements

1.2 Before performing any work or ordering any materials, the Contractor shall be responsible for verifying all project conditions and his subcontractors, for verifying that actual field conditions are not in conflict with the dimensional relationships and design intent as shown on the drawings. The Contractor shall immediately advise the Architect of any discrepancies and/or conflicts between the existing conditions and the Construction Documents prior to proceeding with the and other ceiling components. Salvageable implies that the component is refurbishable, so as to be reasonably work in question or related work.

1.3 As a minimum standard, all materials and workmanship shall be equal or superior to prevailing industry practices, and carpeting. all work performed and materials installed shall be in strict accordance with all applicable codes, regulations and ordinances of the governing jurisdiction. Contractor shall obtain all permits required for construction and occupancy of the project.

1.4 Install all manufactured items, materials and equipment in strict accordance with the manufacturer's recommended specifications, unless otherwise specifically noted or approved by the Architect or interior designer in advance of the installation. Where applicable and available from Owner or building management, refer to Building Standard Information for 1.2 All switches, outlets, etc. to be removed or relocated shall be completely removed, with abandoned details, assemblies, and typical finish specifications. Notify Architect of any conflicts between building standards and the Contract Documents prior to starting work.

1.5 The Contractor shall be responsible for familiarizing himself with the Owner's requirements for occupancy, and shall, prior to the start of work, submit a Project Schedule indicating milestone dates, and delivery dates for long lead time items. The schedule shall be updated as necessary throughout the duration of the project. All proposed changes are to be approved by the Owner and Architect.

1.6 All Contractor or Supplier requests for substitutions of specified items shall be submitted to the Architect in writing and be accompanied by proposed alternative product information. A substitution will be considered only if it does not sacrifice quality, appearance and function. Under no circumstances will the Architect be required to prove that a product proposed for substitution is or is not of equal quality to the product specified.

1.7 Installation of all selected materials and assemblies shall be complete and functioning in all respects prior to final acceptance. Any miscellaneous items or materials not specifically noted, but required for proper installation shall be furnished by the Contractor. The Contractor shall furnish to the Owner all warranties and guarantees required at the conclusion of the work. The Contractor is responsible for the inspection, acceptance, storage, installation and continuous protection of all new materials delivered to the project.

1.8 The Contractor shall submit shop drawings, schedules and cut sheets for items prior to order or fabrication. When submitting, the Contractor shall notify the Architect, in writing, of any proposed deviations from the Contract Documents, along with the reason for the proposed deviation. Any fabrication carried out prior to the review of the shop drawings by the dimensioned from centerline of single outlet or device or group of outlets or devices. Where two or more Architect shall be at the Contractor's risk. CDS will review shop drawings and submittals within ten business days in most devices are indicated, each device in a group is to be located immediately adjacent to the next device. cases. Review of these items by the Architect and the Architect's consultants, shall be for general conformance to the design intent of the project and with the information within the contract documents. Review of a separate item shall not indicate a review of an assembly in which the item functions. Shop drawings that are incomplete or contain excessive errors will be returned unchecked with any resulting delay being the responsibility of the Contractor. The Contractor shall submit and resubmit the required number of copies of corrected shop drawings. Review of shop drawings, submittals and/or samples by the Architect or the Architect's consultants shall not relieve the Contractor of responsibility for errors and omissions in the items submitted.

1.9 The Contractor shall guarantee that the materials and workmanship shall be of the guality specified or referenced standards, and that any defect due to improper workmanship or defective material discovered and made known within one 1.3 Replace any building thermal or acoustical insulation altered in the course of performing the work of the year from the date of substantial completion of the installation, shall be repaired or replaced with reasonable promptness without additional expense to the Owner. The Owner shall give notice of such observed defects with reasonable promptness.

1.10 Bid all materials as if being purchased new. Provide Owner credit for materials proposed to be reused or available from Owner's existing stock.

1.11 Contractor shall perform high quality professional work. Join materials to uniform accurate fits so they meet with neat, straight lines, free of smears or overlaps. Install exposed materials appropriately level, plumb and at accurate right angles, or flush with adjoining materials. Work of each trade shall meet all national standards published by the trade, except regarding the compatibility of any finish specified and the preparation or condition of the related substrate. in the case where contract documents are more stringent.

not in the general contractor's contract.

1.13 The General Contractor shall be responsible for the protection of existing and newly installed materials, millwork, built-ins and finishes.

1.14 The General Contractor shall provide blocking in partitions as required for all items attached to walls. All blocking shim materials shall be fire resistant in accordance with all applicable codes and requirements.

1.15 Provide necessary outlet boxes, conduit and plastic rings as needed (with pulls) for all telephone/cable/data outlets finishes and floor base. indicated unless noted otherwise.

1.16 When electrical work is specified in conjunction with millwork items, all raceways, pre-wiring, and fixtures shall be provided and installed by Electrical Contractor. Cut-outs for outlets, switches, etc., as required are by Millwork Contractor and shall be coordinated with Electrical Contractor.

- 1.17 Details are typical for a similar condition throughout, unless otherwise noted.
- <u>Typical</u> implies typical for all similar conditions, unless otherwise noted. Align implies align other similar components of construction, i.e., face of walls, millwork, etc.

1.18 The Contractor is responsible for continuous and final cleaning and debris removal. The Contractor shall protect and maintain areas outside the project area including paths of travel throughout the building. The Contractor shall construct below ceiling; these are to be coordinated with the air conditioning engineer's and mechanical contractor's dust proof partitions to protect common areas, building occupants, building systems, and building finishes.

Clean and/or polish surfaces as necessary and appropriate to the material or finish being cleaned. Items to be cleaned include but are not limited to: - SAC Tile and Grid

- Switches, Outlets, Devices, Diffusers, Grilles, Louvers, etc.
- Light Fixtures (including lamps, lenses, diffusers and trim)
- Plumbing Fixtures & Trim - Appliances and Accessories
- Sprinkler, Detection, and Life Safety System Components and Trims
- Painted or Stained Surfaces
- Wall Coverings
- Floor Coverings & Floor Base - Glass and Glazing Systems (all sides)
- Laminates, Solid Surface Materials
- Stone and Ceramic Surfaces (including grout joints) - Millwork, Casework & Cabinetry (including cabinet interiors)

Remove all labels, dirt, dust, debris, grease, adhesives, paint drips/overspray, and stains, etc. from all surfaces

1.19 Contractor shall at all times, take necessary measures to minimize interruption to Owner or Tenant operations. Schedule any work involving excessive noise, fumes construction traffic or debris for off-hours, coordinate with Owner and building management. Avoid any disruption of utilities or services to occupied areas. Coordinate demolition and construction schedules with Owner and building management.

1.20 The presence of a representative of CDS on the job site does not imply concurrence or approval of the work. The Contractor shall call specific items to the attention of the CDS representative if he wishes to obtain CDS approval. The Contractor shall document all field approvals with a separate field report or in weekly project minutes.

1.21 If the Contractor, Owner or Tenant substitute a material, revise a construction detail, method of attachment or in any way alter the work so that it does not conform with these documents without CDS written approval, such action will relieve the Architect of any responsibility of liability as to the functionality, aesthetic effect, subsequent failure, property damage or personal liability.

1.22 Contractor shall provide to the Architect a set marked-up Contract Documents indicating the final "asbuilt" conditions of the project. All architectural, mechanical, electrical, plumbing, and fire protection changes and/or additions shall be legibly shown.

1.23 Verify existing fire extinguishers are updated, and provide new as required by drawings. All new fire extinguishers are to be installed in recessed or semi-recessed cabinets. Submit cut sheets.

#### **DEMOLITION NOTES**

1.0 Salvageable items to be removed are the property of the Owner and shall be protected and stored at a location determined by the Owner or Property Manager. Typical salvageable materials include doors, frames, hardware, glazing, HVAC components, plumbing fixtures, electrical/lighting/life safety components, ceiling tile indistinguishable from new items. Existing materials approved to be reused shall be refurbished so as to be comparable, matching, and reasonably indistinguishable to similar to new materials. Recycle removed

1.1 Remove and store, or protect in place, all building standard window coverings and re-install after completion of construction. Protect all millwork, doors, frames, glazing, fixtures, devices, & accessories, etc., during demolition & construction.

conduit and wiring stripped back to the source. Patch and finish as indicated on drawings.

1.3 The General Contractor and Sub-contractors are required to refer to the Engineer's plans for additional demolition, relocation and final design requirements, and field verify all reasonably accessible conditions to assess the work required for conformance to the final construction documents and design intents. While not necessarily indicated by the drawings, existing conditions may require additional mechanical, electrical, plumbing, sprinkler, and architectural demolition in areas of the project work. The Contractor is responsible for this additional demolition.

1.4 For demolition in areas with or adjacent to wall covering to remain, consult with wall covering contractor regarding preservation of materials to remain and extent of materials to be removed. For floor covering demolition, completely remove all materials, tack strips, leveling materials, grout and/or adhesives, patch surfaces as necessary, and prepare for new floor covering installation per manufacturer's specifications.

#### CONSTRUCTION AND MILLWORK NOTES

1.0 Do not scale drawings. Dimensions govern; enlarged plans and details govern over smaller scale. New drywall partitions are dimensioned from face of wall to face of wall unless otherwise noted. Existing partitions are dimensioned from finish to finish. Window walls are dimensioned from centerline of mullion or joint to centerline of mullion or joint. Glazing sizes are shown as nominal, actual sizes shall be field verified after glazing system or finished opening is constructed. Electrical and communications outlets or devices are

construction contract unless otherwise noted.

1.2 Replace any firestopping altered in the course of performing the work of the project. For new installation of firestopping, provide product data and certificates certifying compliance with UL and ASTM E 84 and ASTM E 814 requirements. Installation of firestopping to comply with manufacturer's specifications and with testing agency's specifications for the required fire-resistance rating.

project. For new installation of insulation, provide product data and certificates certifying compliance with UL and ASTM E 84 and ASTM C 665 requirements. Materials and installation of insulation materials to comply with manufacturer's specifications and with testing agency's requirements for performance (R-value, STC rating, etc.) and flame spread (maximum 25) and smoke-developed (max 50) surface burning characteristics.

1.4 Do not proceed with gypsum drywall installation over inadequately spaced or poorly aligned framing. It is the General Contractor's responsibility to coordinate the work of sub-contractors in order to ensure that one sub-contractor does not perform work or install materials over inappropriately finished, damaged, or otherwise poorly prepared work. Notify the architect or designer immediately regarding any concerns or conflicts

Unless otherwise specified, all gypsum drywall shall receive a Level 4 (GA-214-96) or higher finish. All joints 1.12 The General Contractor shall at all times cooperate with others who may be performing work at the job site which is and interior angles have tape embedded in joint compound and two separate coats of joint compound applied over all flat joints and one separate coat of joint compound applied over interior angles. Fastener heads and accessories are covered with three separate coats of joint compound. All joint compound to be smooth and free of tool marks and ridges. Finished surfaces shall be coated with a drywall primer prior to the application of final finishes. Wallboard edges and inside and outside corners shall be crisp and straight or plumb. Reveals, when present, shall be uniform (parallel) and aligned vertically or horizontally unless otherwise specified. Flat surfaces will be free of gouges, trowel marks, and pitting. No corner or edge material, joints or joint tape or tape edges, mud, or screws or screw locations shall be visible or 'telegraph' through applied finish materials. Joints shall be taped and joint compound applied to within 3/4" above floor, and finished smooth for installation of final

> 1.5 Within the project area, including the outside faces of perimeter and exterior limits, the Contractor shall seal all penetrations in structure to structure partitions or other existing rated assemblies (floors, chases, etc.), whether caused by the work of the Contractor or existing. All penetrations shall be sealed in a manner that maintains requirements for rated separations between areas.

1.6 The Contractor shall provide slip joints at all wall connections to building envelope or structure, and bracing for all walls below structure. Slip joint construction shall maintain fire rated separation, where applicable.

1.7 Contractor shall provide sufficient framing of all openings for duct work return air grill openings above and shop drawings. All openings shall be properly sealed for soundproofing and vibration control.

1.8 Walls shown aligned with base building structure, shall be flush and smooth with the base building structure, unless otherwise indicated. All existing corner beads shall be removed, taped and spackled properly

1.9 The Contractor shall provide and install all plumbing rough-ins, fixture accessories and equipment required to complete the installation as shown and noted.

1.10 The Contractor shall coordinate the drywall rough openings and dimensions with the requirements of

any millwork. 1.11 Where STC rated assemblies are specified, provide materials and assemblies identical to UL or ASTM tested assemblies of the specified rating. Submit testing agency rating for assemblies utilized.

adjacent partition.

1.13 All hardware required but not specified in these drawings is to be selected by the Contractor and submitted to the Architect for review before orders are placed.

1.1 Furnishings, fixtures and equipment may be shown for reference purposes, and are not a part of the

1.12 Unless otherwise dimensioned doors shall be set 4" from clear opening of frame to immediate

1.14 Door/Frame System to match building standard unless otherwise noted. Submit product data, finish samples, and door schedule.

Doors and Frames shall be rated in accordance with A.S.T.M. procedure for use in fire rated wall assemblies. Comply with ANSI/SDI 100 and NFPA 80 for fire rated door assemblies. All new or modified components shall be labeled by UL or acceptable rating agency.

Frames shall encompass the specified finished wall thickness and attach to the wall with all fasteners concealed. Frames shall accommodate 1-3/4" thick doors and surface mounted closers. Jambs shall be over-length to permit custom fitting to the floor. Jamb design shall permit jamb removal and replacement without disturbing the stud fasteners and without damage to the wall finish. Fixed throat jambs shall be adaptable to receive standard flush glazing snap-in sections where sidelites are used. All frame and sidelite units shall be furnished with steel attachment clips for extrusion intersections so as to facilitate fast, precise installation. Assembled glass frames shall and performance requirements. If discrepancies between the engineering and architectural drawings occur, provide 5/16" minimum glass coverage at head, sill and jambs, or 5/8" total coverage. All glazing extrusions shall accommodate 1/4" thick glass as specified.

Finished doors shall be trimmed and beveled to fit frame opening with standard clearances as follows: 1/8" at hinge 'Design-Build' edge, 1/8" at lock edge, 1/8" at top, 1/4" at bottom, stiles beveled 1/8" in 2". In order to ensure proper fit to uneven floors, doors shall be ordered with sufficient over-length at bottom to permit custom fitting to floor by the door installer. Doors shall be completely prefinished and machined for all hardware as specified. Match veneer species, Architect. Devices include switches, power/data outlets, thermostats, wall stops, Life Safety components, stain, and grain patterns of existing doors in project area. Door edge finishes shall match face finishes.

#### **FINISH NOTES**

1.0 Do not install or apply finishes over poorly constructed or prepared substrates. Immediately notify the Contractor of conditions affecting the quality or appearance of a specified finish. Advise the Architect if there are unforeseen conditions or other concerns or circumstances preventing any specified material from fulfilling the intent and attached with matching hardware. of the design for safe and proper function and a pleasing appearance, compatible with other existing and new materials. Repair and touch up any items when damaged during demolition or construction when item intended to 1.3 Provide fire dampers in all ducts penetrating fire rated or demising partitions. remain

1.1 All drywall finishes shall be Level 4 or higher unless otherwise noted. High color accent walls and lighted walls (wall washers, spot lights, etc.) and writeable walls shall be finished to Level 5 standards. Provide overlay or skim coat if required to meet appearance standards of specified finish. Extend preparation and finish in project area to nearest surface break. Finish drywall to within on half inch of floor. Completely remove wall coverings and provide overlay or new skim coat where new painted surfaces are indicated.

1.2 All surfaces shall be properly cleaned and prepared prior to installation of all paint, wall coverings, and base. Paint shall be roller-applied to non-metallic surfaces using short-nap (1/2" or less), lint-free roller covers or as recommended by the paint manufacturer. Utilize a three coat system (primer plus two finish coats) on all newly painted surfaces unless otherwise noted. Provide stain killers and additional coatings where required for even, non- at 1'-6" above the same witch on centerline, with switch and thermostat aligned vertically on the same transparent coverage over substrate and/or existing colors.

1.3 Unless otherwise noted, all paints shall be premium commercial grade, low v.o.c. acrylic latex, low-sheen eggshell finish (other than flat) not susceptible to burnishing under normal office and commercial wear. All metal 1.6 Mechanical, Plumbing, Electrical, Data/Communications and Life Safety subcontractors shall provide components (access panels, door frames, metal doors, grilles, diffusers, etc.) to be painted shall be semi-gloss latex as-built drawings of final circuiting, switching, lighting and HVAC/plumbing diagram. enamel. All new items shall be shop finished. Unless otherwise noted, contractor shall patch, prepare and repaint all existing partitions shown to remain. Remove all existing device covers, fixtures, furnishings, signage, etc., prior to 1.7 Electrical Contractor shall clearly and accurately label all new panel boxes, circuits, and outlet covers installing new finishes. Clean and replace/reinstall all items removed prior to painting.

1.4 All HVAC ceiling diffusers and registers shall be prefinished to match building standard devices, unless otherwise noted. Caulk around all door frames, glazing systems, running trim (base and crown mold), millwork (built- proceeding with the work. ins, cabinets & countertops), grilles, registers, louvers, access panels, and other ceiling and/or wall mounted devices. Caulk color to match device finish.

SYSTEMS NOTES

1.0 The Mechanical, Plumbing, Electrical, Data/Communications and Fire Protection contractors shall field verify all existing conditions and shall familiarize themselves with all work and dimensions. The Contractor shall notify the Architect of any conditions or discrepancies adversely affecting the design and installation prior to proceeding with the work. This shall include conflicts with mechanical ducts, piping and structure. Immediately notify Architect if existing M/P/E /C/LS systems are in conflict with the intents of the architectural or engineering design.

1.1 Locations of M/P/E/C/LS and life safety components, fixtures, devices, etc., shall be as shown on architectural plans. Refer to Engineering drawings and specifications for system or component integration notify Architect prior to bidding or installation for clarification. The Contractor shall be responsible for costs of reinstallation of wiring and components when no clarification of discrepancies is requested. The contractor shall be responsible for engineered and code conforming installation of systems provided as

components to be reused in the project area are functioning and adjusted properly. Clean all new and reused components. Remove all labels unless required to remain by code or manufacturer. All new devices shall be consistent with respect to finish or color and mounting heights. All trim shall be secure, flush to wall

1.4 The Contractor and Subcontractors shall provide for uninterrupted building utilities and life safety systems operation, unless coordinated with the Owner.

1.5 All dimensions to the centerline of an outlet or pair of outlets, unless otherwise noted. All outlets shown back-to-back shall be offset 6" minimum. Provide necessary studwork supports needed for installation. All cover plates to be building standard, unless otherwise noted. Where more than one switch occurs in the same location, they shall be installed in a gang-like box under one cover plate, unless otherwise noted. All partition.

associated with the project area.

1.8 Verify telephone /IT-data requirements and telephone equipment board location with the Owner before

PERMIT SET IS FOR BUILDING DEPARTMENT REVIEW. FINAL

PRICING SHOULD INCLUDE ALL DRAWINGS ISSUED AS ADDENDA FOR PERMIT APPROVAL.

# Project Number:

DATE

SPECIFICATIONS

210023

**SNARF'S SANDWICHES** 

765 W ANEMONE TRAIL, UNIT A

**DILLON, COLORADO 80498** 

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PLANNING COMMISSION SET 03 MAY 2022

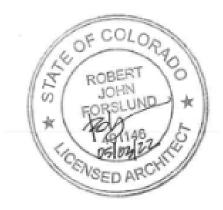
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existing outlets not utilized by a tenant for electrical, telephone or CRT shall be capped with a blank cover plate - see finish. All thermostats shall be at building standard height unless otherwise noted, and located as shown on mechanical drawings. When thermostats and light switches occur together, install thermostat



#### OWNER **SNARF'S SANDWICHES** 2762 WALNUT STREET **DENVER, CO 80205** t: 720.389.7920

ARCHITECT CHORD DESIGN STUDIO, P.C.

1425 MARKET STREET SUITE 220

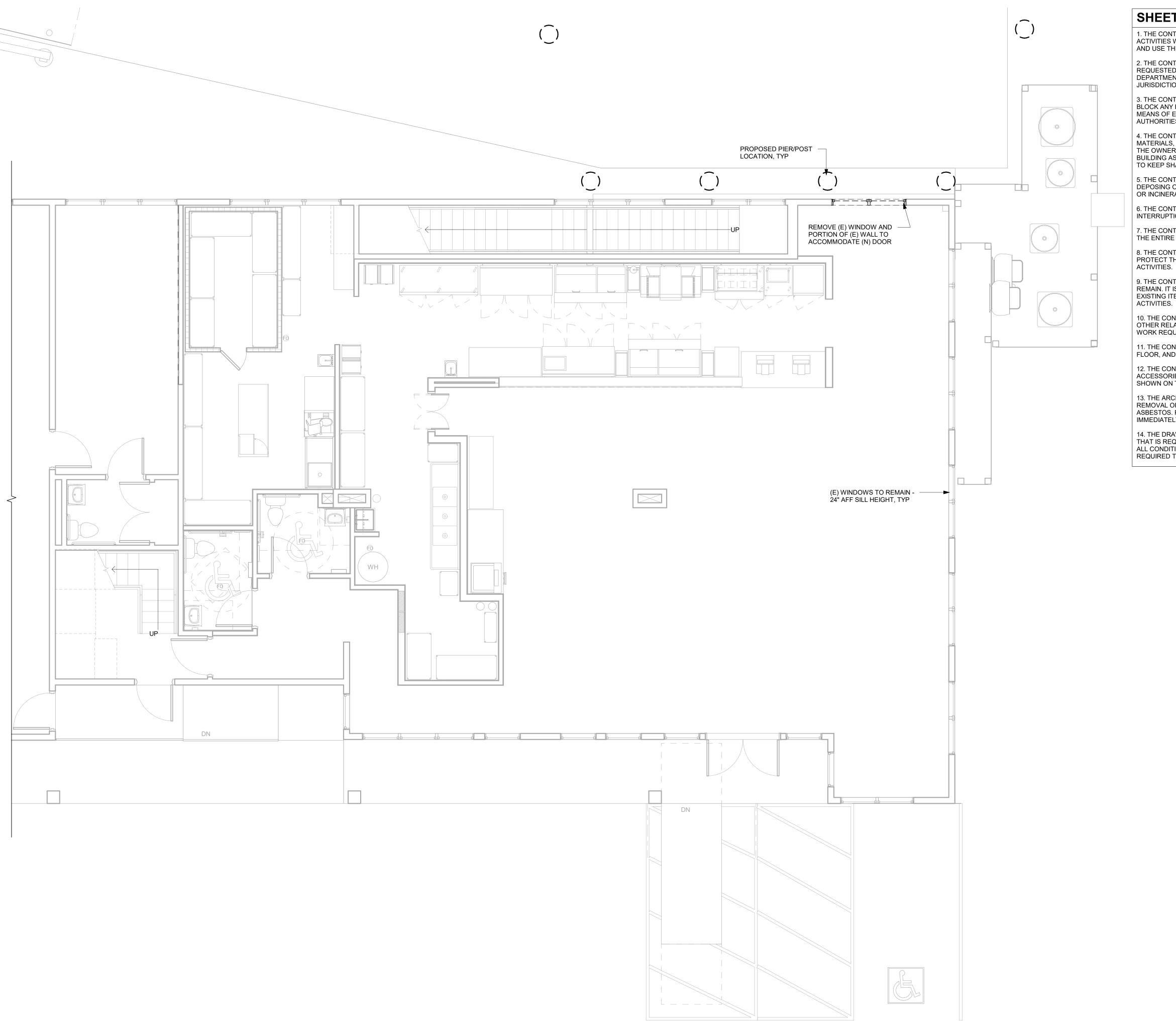
**DENVER, CO 80202** t: 303.694.2445

#### MFP

**PKMR ENGINEERS** 1550 WEWATTA STREET SUITE 200 **DENVER, CO 80202** t: 720.739.4500

MECHANICAL, PLUMBING, ELECTRICAL, DATA/COMMUNICATIONS & LIFE SAFETY (M/P/E/C/LS)

1.2 No component, fixture or device substitutions shall be permitted without written confirmation from the access panels, grilles, diffusers, light fixtures, speakers, etc. If a new component, fixture, or device is not specified, use building standard components, or exactly match components existing within the project area. Seek clarifications where specifications conflict with existing conditions. Verify that all M/P/E/C/LS





#### SHEET NOTES

1. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL CONSTRUCTION ACTIVITIES WITH THE OWNER TO ALLOW THE OWNER TO CONTINUE TO OCCUPY AND USE THE FACILITY WHILE CONSTRUCTION ACTIVITIES ARE OCCURRING.

2. THE CONTRACTOR SHALL COORDINATE AND IMPLEMENT ALL SAFETY MEASURES REQUESTED AND/OR REQUIRED BY THE LOCAL FIRE MARSHAL, HEALTH DEPARTMENT, BUILDING OFFICIALS, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

3. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EXIT WAYS AND SHALL NOT BLOCK ANY EXIT PATHS. IF AN EXIT PATH MUST BE BLOCKED, AN ALTERNATIVE MEANS OF EGRESS SHALL BE PROVIDED AS APPROVED BY THE LOCAL GOVERNING AUTHORITIES HAVING JURISDICTION.

4. THE CONTRACTOR SHALL COORDINATE THE SALVAGE OF ALL EXISTING MATERIALS, EQUIPMENT, FIXTURES AND OTHER BUILDING ITEMS WITH THE OWNER. THE OWNER RETAINS SALVAGE RIGHTS TO ALL ITEMS REMOVED FROM THE BUILDING AS PART OF THE PROJECT. ITEMS WHICH THE OWNER DOES NOT WISH TO KEEP SHALL BECOME THE PROPERTY OF THE CONTRACTOR.

5. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY REMOVING AND LEGALLY DEPOSING OF ALL DEMOLISHED ITEMS FROM THE SITE. ON SITE SALE, DISPOSAL, OR INCINERATION OF DEMOLISHED ITEMS IS NOT PERMITTED.

6. THE CONTRACTOR SHALL NOTIFY THE OWNER IN ADVANCE OF ANY INTERRUPTIONS TO UTILITIES PER THE OWNERS REQUIRED TIMELINE.

7. THE CONTRACTOR SHALL MAINTAIN THE SECURITY OF THE SITE THROUGHOUT THE ENTIRE CONSTRUCTION SCHEDULE.

8. THE CONTRACTOR SHALL CONSTRUCT DUST PARTITIONS AS REQUIRED TO PROTECT THE EXISTING BUILDING AND CONTENTS DURING CONSTRUCTION

9. THE CONTRACTOR SHALL PROTECT ALL BUILDING ITEMS AND CONDITIONS TO REMAIN. IT IS THE CONTRACTORS RESPONSIBILITY TO REPAIR AND REPLACE ANY EXISTING ITEMS OR CONDITIONS THAT ARE DAMAGED DURING CONSTRUCTION ACTIVITIES.

10. THE CONTRACTOR SHALL REVIEW THE MECHANICAL, ELECTRICAL, AND ALL OTHER RELATED DRAWINGS AND DOCUMENTS FOR ANY ADDITIONAL DEMOLITION WORK REQUIRED.

11. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF EXISTING WALL, FLOOR, AND CEILING FINISHES WITH THE ROOM FINISH SCHEDULE.

12. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL SUPPORTS, ACCESSORIES, AND CONVEYANCES RELATED TO EQUIPMENT AND FIXTURES SHOWN ON THE CONSTRUCTION DOCUMENTS.

13. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE DETECTION OR REMOVAL OF ANY HAZARDOUS MATERIAL INCLUDING BUT NOT LIMITED TO ASBESTOS. PARTIES RESPONSIBLE FOR DEMOLITION SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY SUSPECTED HAZARDOUS MATERIALS.

14. THE DRAWINGS ARE DIAGRAMMATIC AND MAY NOT SHOW ALL DEMOLITION THAT IS REQUIRED. THE CONTRACTOR SHALL VISIT THE BUILDING TO DOCUMENT ALL CONDITIONS AND DETERMINE THE EXTENT OF DEMOLITION THAT WILL BE REQUIRED TO CONSTRUCT THE PROJECT AS IT IS DOCUMENTED.

# chord.



#### OWNER SNARF'S SANDWICHES 2762 WALNUT STREET DENVER, CO 80205 t: 720.389.7920

ARCHITECT CHORD DESIGN STUDIO, P.C. 1425 MARKET STREET SUITE 220

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#	DESCRIPTION	DATE
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#### SNARF'S SANDWICHES

765 W ANEMONE TRAIL, UNIT A

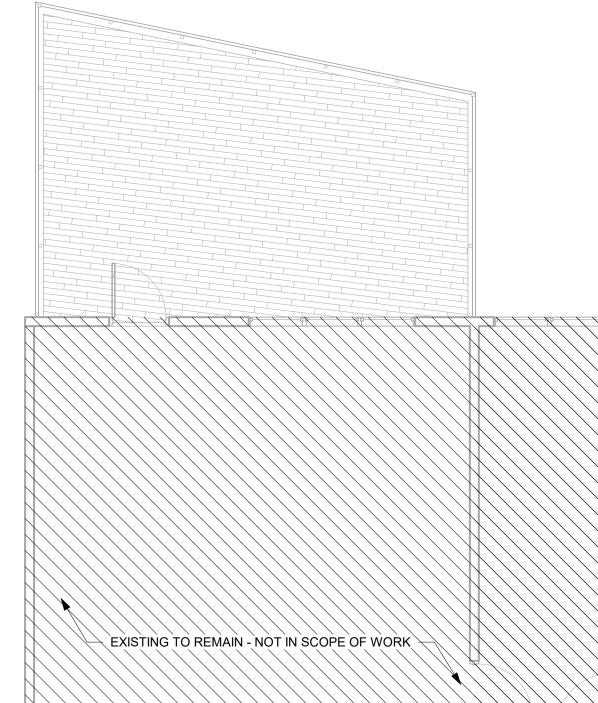
## DILLON, COLORADO 80498

Project Number:

DEMOLITION PLAN

**AD101** 

210023



-UÞ

#### FIRE EXTINGUISHER LEGEND

TEMP	TEMPORARY
FEC	FIRE EXTINGUISHER CABINET
FE	FIRE EXTINGUISHER
A	CLASS A FIRE EXTINGUISHER
B	CLASS B FIRE EXTINGUISHER
C	

CLASS B FIRE EXTINGUISHER	(S)
CLASS C FIRE EXTINGUISHER	(SF
CLASS D FIRE EXTINGUISHER	(R)
CLASS K FIRE EXTINGUISHER	( )

#### NOTES:

1.FIRE EXTINGUISHER CLASS AND DISTANCES ARE WITHIN THE NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHER 2002 EDITION 2. PROVIDE FIRE EXTINGUISHER CABINETS AS SHOWN IN PLANS UNLESS PROVIDED BY TENANT.

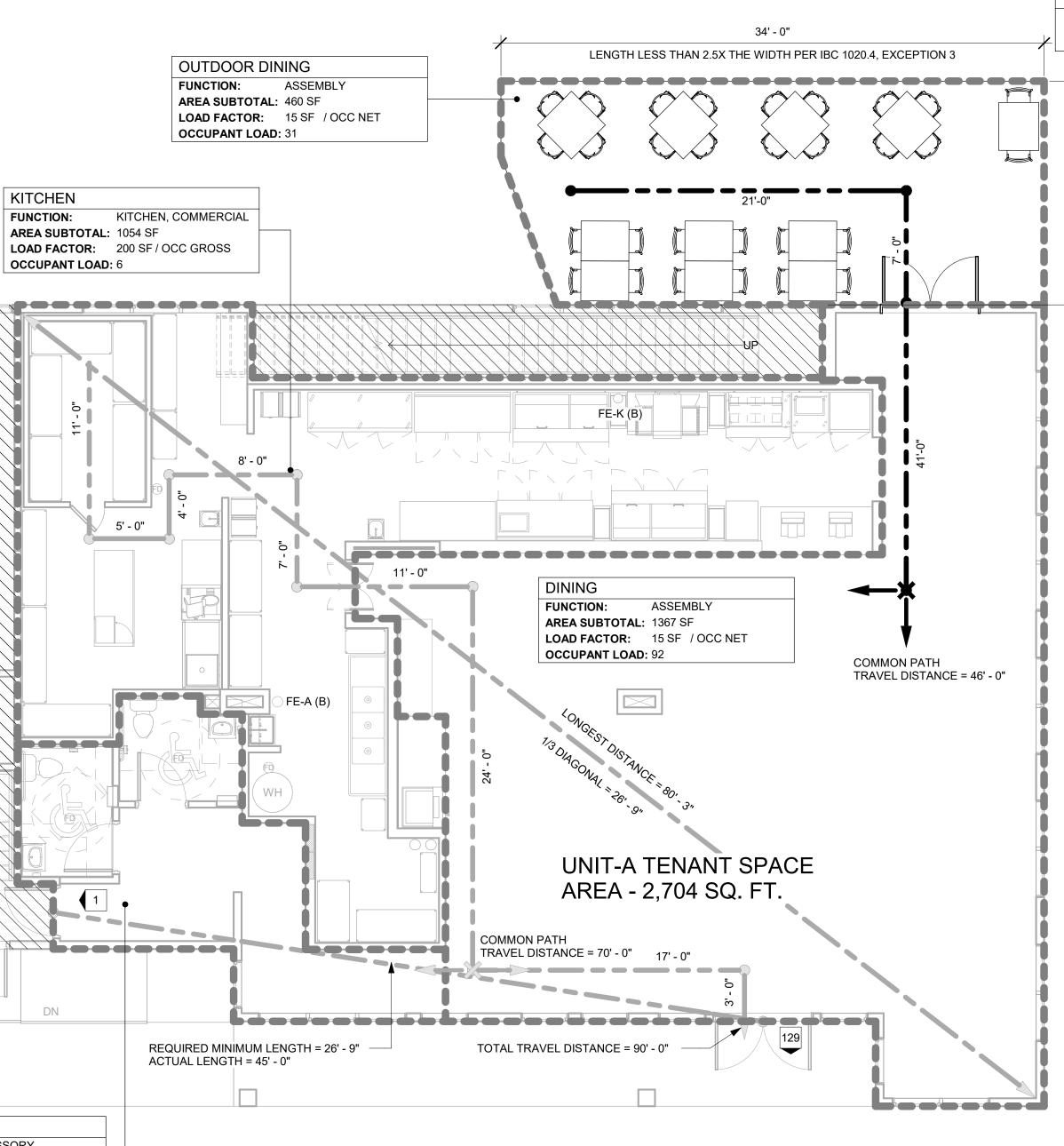
(B)

BRACKET MOUNTED SURFACE MOUNTED

SEMI-RECESSED RECESSED

#### CODE ANALYSIS 2018 INTERNATIONAL BUILDING CODE (IBC)

2018 INTERNATIONAL MECHANICAL CODE (IMC)			
2018 INTERNATIONAL PLUMBING CODE (IPC) 2018 INTERNATIONAL FIRE CODE, AS REFEREED BY IBC (IFC) 2018 INTERNATIONAL FUEL GAS CODE (IFGC)	SYMBOL	DESCRI	PTION
2000 ICC ELECTRICAL CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)		COMMON PATH OF TRAVE	<u>L:</u>
IECC PRESCRIPTIVE PATH, REFER TO MECHANICAL AND ELECTRICAL CODE AND DESIGN CRITERIA	×	75' MAX (TYPICAL OCCUPA	NCY)
ICC/ANSI A117.1 - 2009 AND ALL CURRENT DENVER AMENDMENTS		25' MAX (H OCCUPANCY)	
CONSTRUCTION TYPE: V-B		100' MAX (FULLY SPRINKLE	RED B, F & S OCCUPANCY)
OCCUPANCY CLASSIFICATION - A-2 (SECTION 303.3, IBC) BUILDING HEIGHT: 3 STORIES		COMMON PATH OF TRAVE	<u>L:</u>
PROJECT AREA: 2,704 G.S.F.		2 SEPARATE PATHS OF EG EXITS	RESS TO SEPARATE
TOTAL OCCUPANT LOAD: 135 (SEE EGRESS PLAN)			
FIXTURE COUNTS 135/2 = 68 PERSONS PER GENDER WATER CLOSETS REQUIRED: 2 PER IBC 2902.1	<b>~~~</b>	OVERALL DIAGONAL DIME	NSION
PROVIDED: 2 LAVATORIES: REQUIRED: 1 PER IBC 2902.1 PROVIDED: 2 SERVICE SINK	••	DISTANCE BETWEEN EXITS DIAGONAL DIMENSION)	S (< 1/3 OVERALL
REQUIRED: 1 - PROVIDED: 1 DRINKING FOUNTAINS REQUIRED: 0 PROVIDED: 0	• <b>&gt;</b>	TRAVEL DISTANCE	
FIRE ALARM: EXISTING TO REMAIN* SPRINKLER SYSTEM: EXISTING TO REMAIN*		MAXIMUM EXIT ACCES	S TRAVEL DISTANCE
*GC RESPONSIBLE FOR REVISING CURRENT SYSTEM FOR COMPLIANCE WITH CURRENT CODES AND RECONFIGURED SPACES AND CEILINGS	OCCUPANCY	NON-SPRINKLERED	SPRINKLERED
	A, E, F-1, M, R, S-1	200'	250'
THE OUTDOOR SEATING AREA SHALL NOT TO EXCEED 20% OF THE SIZE OF THE RESTAURANT SPACE (540 SQ. FT.); THEREFORE, ADDITIONAL PARKING IS	В	200'	300'
NOT REQUIRED FOR THE DECK ADDITION	OCCUPANCY	2 EXITS REQ'D WHEN OCCUPANT LOAD > THAN	
	A, B, E, F, M, U	49	)
	NOTES: SEE CODE SUMMARY FO	R ADDITIONAL EGRESS INFOR	MATION



 $\left( \right)$ 

#### EGRESS LEGEND

#### OCCUPANT LOAD & EXITING LEGEND

OCCUPANT LOAD

# chord.



#### OWNER SNARF'S SANDWICHES 2762 WALNUT STREET DENVER, CO 80205 t: 720.389.7920

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#### SNARF'S SANDWICHES

765 W ANEMONE TRAIL, UNIT A

OCCUPANT LOADS, EGRESS &

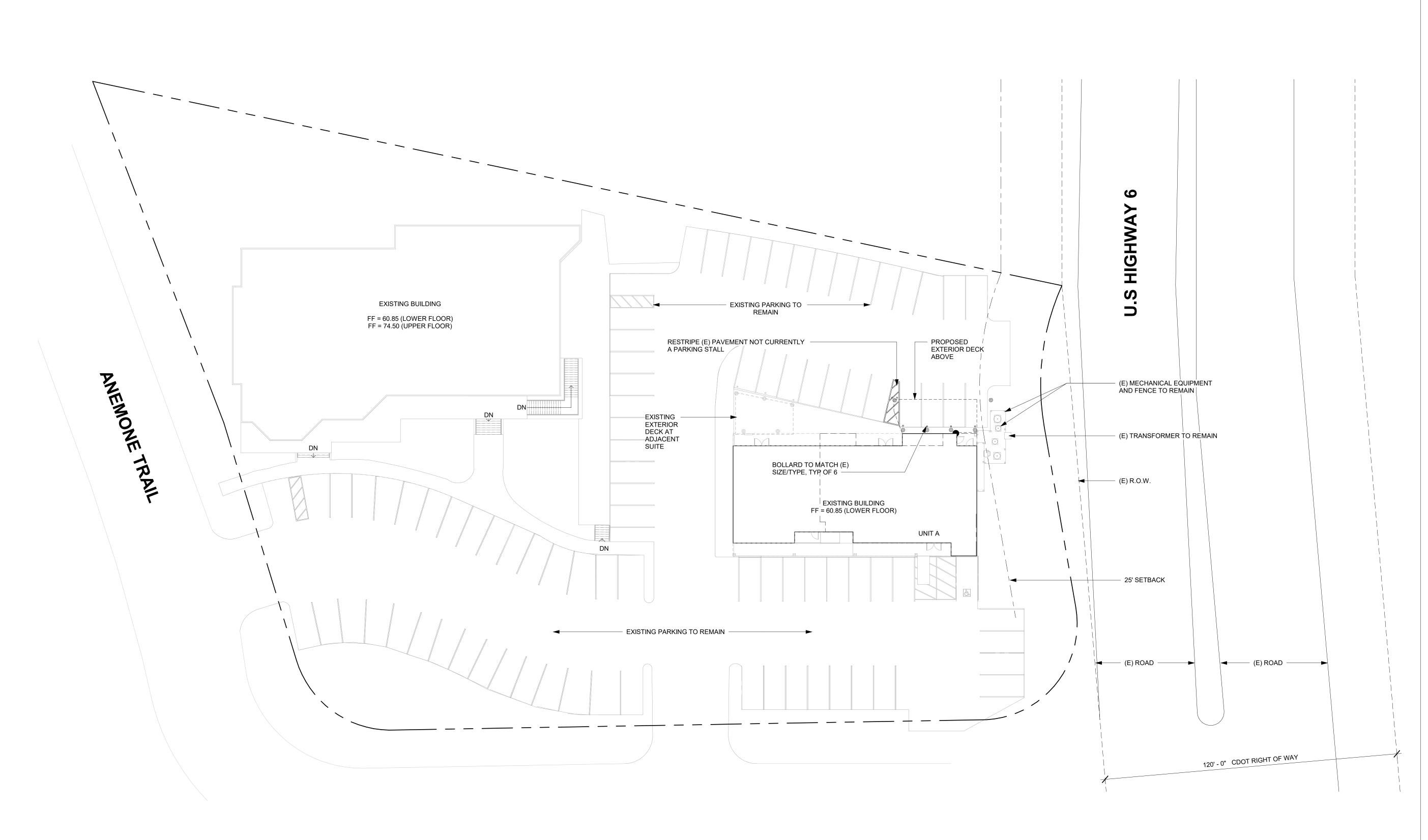
TRAVEL DISTANCE

G201

210023

# DILLON, COLORADO 80498

Project Number:





# A100

#### SITE PLAN

Project Number:

210023

#### 765 W ANEMONE TRAIL, UNIT A DILLON, COLORADO 80498

#### SNARF'S SANDWICHES

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ARCHITECT CHORD DESIGN STUDIO, P.C.

t: 720.389.7920

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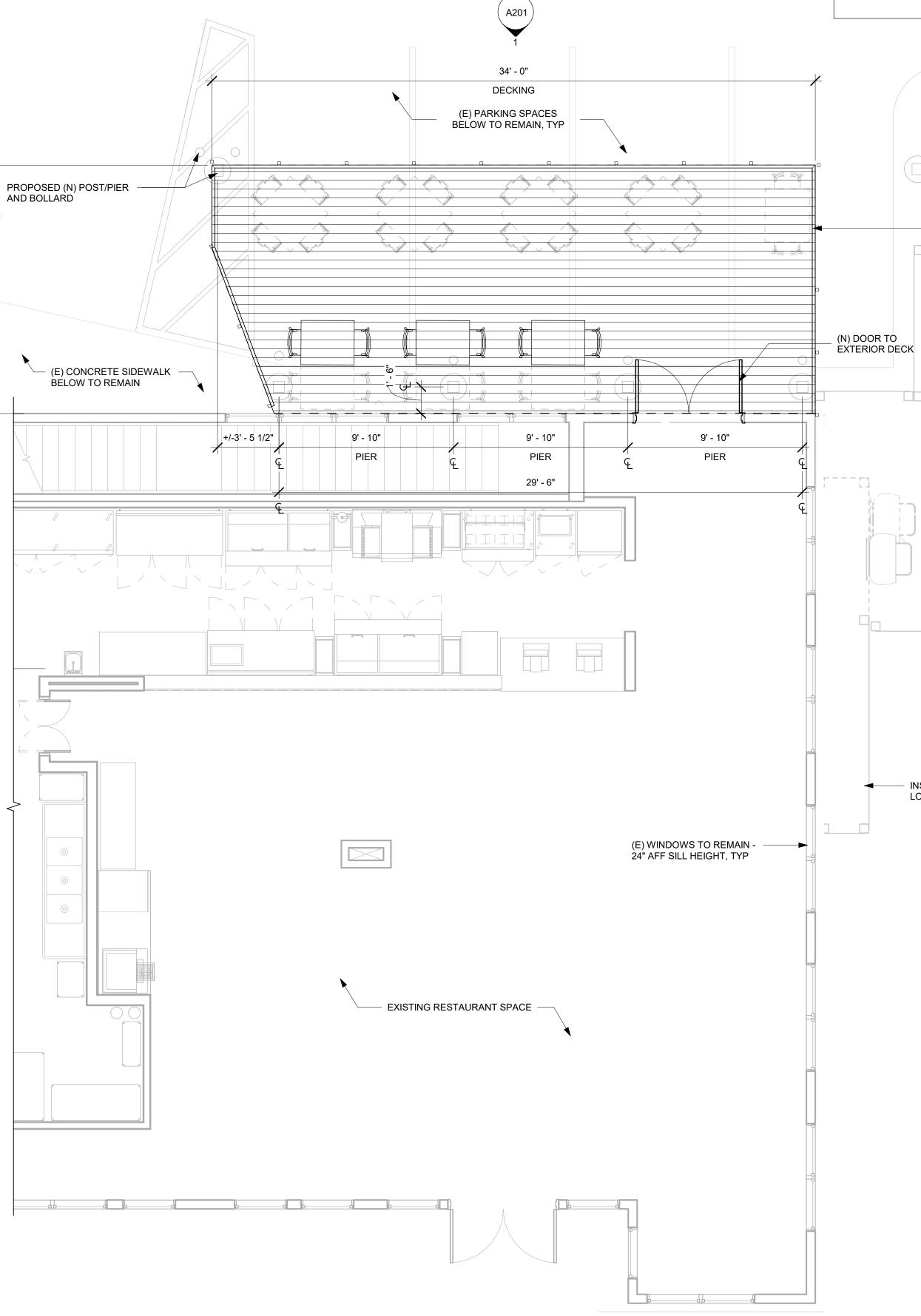
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CONSTRUCTION. 2. ALL DIMENSIONS ON THE DRAWINGS ARE TO THE FACE OF SHEATHING, U.N.O.

3. THE CONTRACTOR SHALL COORDINATE AND IMPLEMENT ALL SAFETY MEASURES REQUESTED AND/OR REQUIRED BY THE LOCAL FIRE MARSHAL, HEALTH DEPARTMENT, BUILDING OFFICIALS, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

4. THE CONTRACTOR SHALL MAINTAIN SECURITY OF THE CONSTRUCTION SITE THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.



## **1** EXTERIOR DECK PLAN SCALE: 1/4" = 1'-0"

# A101

#### FLOOR PLAN

210023

765 W ANEMONE TRAIL, UNIT A DILLON, COLORADO 80498

Project Number:

SNARF'S SANDWICHES

# DESCRIPTION DATE # PLANNING COMMISSION SET 03 MAY 2022

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CHORD DESIGN STUDIO, P.C. 1425 MARKET STREET SUITE 220 DENVER, CO 80202 t: 303.694.2445 MEP (E) HVAC EQUIPMENT BELOW TO REMAIN - TYP PKMR ENGINEERS 1550 WEWATTA STREET SUITE 200 DENVER, CO 80202

ARCHITECT

t: 720.739.4500

## INSTALL (N) FENCE W/ SAME POST LOCATIONS UNDER (N) DECK FRAMING

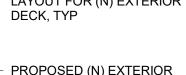
PROPOSED (N) POST/PIER LAYOUT FOR (N) EXTERIOR

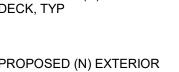
DECK PERIMETER - 460 SQ. FT.

(NOT TO EXCEED 540 SQ. FT.)

PROPOSED (N) EXTERIOR

(E) WOOD FENCE BELOW TO REMAIN

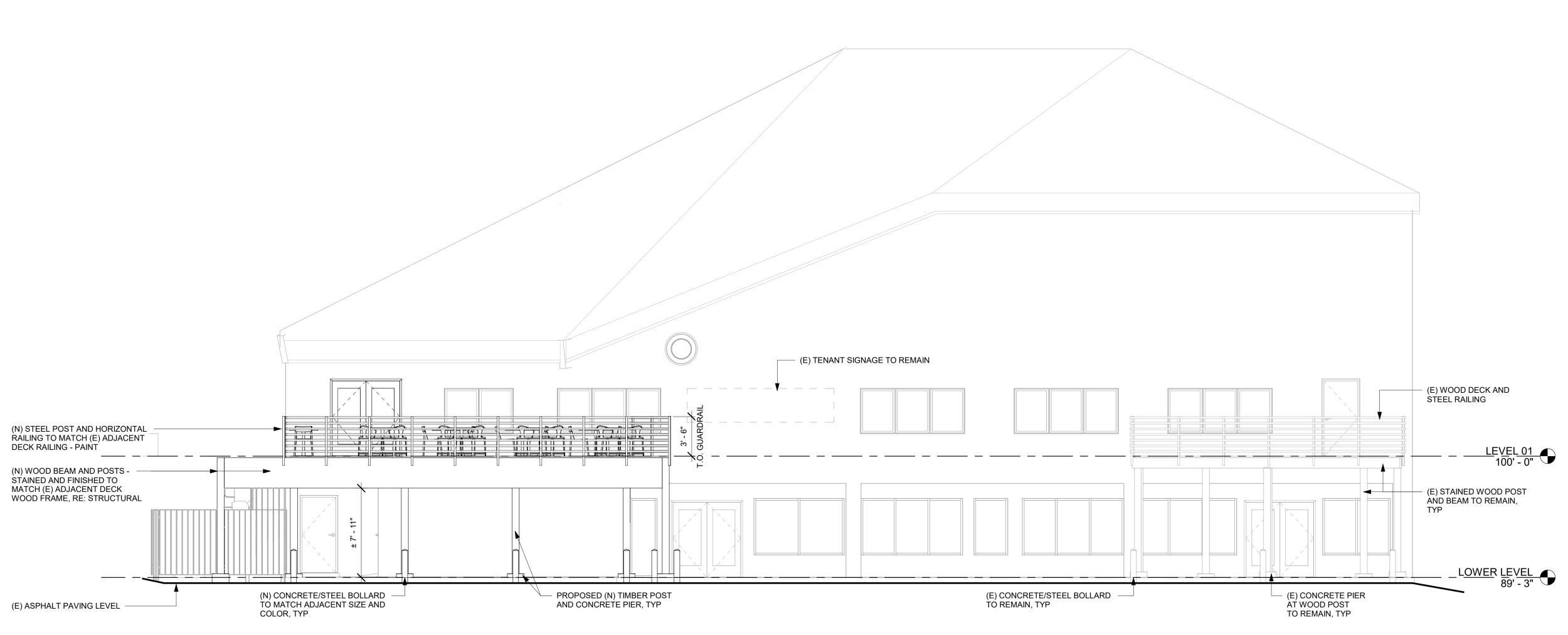








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# **1** EXTERIOR DECK WEST ELEVATION SCALE: 3/16" = 1'-0"

# A201

**BUILDING ELEVATIONS** 

210023

765 W ANEMONE TRAIL, UNIT A DILLON, COLORADO 80498

Project Number:

#### SNARF'S SANDWICHES

AUTH	ORIZATION OF CHORD DESIGN	STUDIO, P.C.
#	DESCRIPTION	DATE
	PLANNING COMMISSION SET	03 MAY 2022

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MEP PKMR ENGINEERS 1550 WEWATTA STREET SUITE 200 DENVER, CO 80202 t: 720.739.4500

1425 MARKET STREET SUITE 220

DENVER, CO 80205 t: 720.389.7920

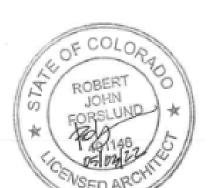
DENVER, CO 80202

t: 303.694.2445

ARCHITECT

OWNER SNARF'S SANDWICHES 2762 WALNUT STREET

CHORD DESIGN STUDIO, P.C.







#### MEMORANDUM

TO:ROB FORSLUND, CHORD DESIGN STUDIOSFROM:NED WEST, SR. TOWN PLANNERSUBJECT:COMMERCIAL DECK – SNARF'S SANDWICHES – 765 W. ANEMONE TRAILDATE:MAY 11, 2022

Mr. Forslund,

The Town of Dillon Development Review Committee has reviewed the commercial deck application for the Snarf's Sandwiches and has determined that the plans submitted on May 3<sup>rd</sup>, 2022 are acceptable to move forward to the Planning and Zoning Commission for their review in a public hearing.

Critical to this determination were the following:

- 1. The Proposed deck support caisson / foundation is located twenty (20) feet from the northern property line as shown on page A100 of the plans dated May 3, 2022.
- 2. Review of meeting minutes, plans, memoranda, and notes from 1982 indicate that a Variance was applied for and granted for a twenty (20) foot setback from the northern lot line. At the time, the subject lot line was referred to as the "front" of the property as shown on the Gore Range Plaza plans dated April 26, 1982. The application was reviewed and approved by the Dillon and Planning & Zoning Commission May 10, 1982, and said approval is further detailed in a memorandum from the Town Planner, Stephen Hanson, to the Town Administrator, Anna Lenahan dated July 6, 1982.
- 3. The trash enclosure and ground-based mechanical equipment encroach into the street side yard to a degree greater than the proposed deck column support.

Although the Dillon Municipal Code (DMC) stipulates, "Front yards and street side yards shall be a minimum of twenty-five (25) feet" (DMC § 16-3-160), the findings indicate that the building was approved with twenty (20) foot setbacks. Noteworthy, is that the Town would interpret the front yard as being that fronting the primary access and from which the property is addressed (W. Anemone Trail), and thus the Town would currently consider the subject yard as the street side yard. Regardless of that fact, the resulting determination of a prior variance remains in force.

We therefore determine that the application may move forward to the June 1, 2022 Planning and Zoning Commission. The Town will provide the required public notice and prepare materials for said meeting. Please see the attached documents referenced in this memorandum in support of this determination. Should you have any questions, please do not hesitate to contact me.

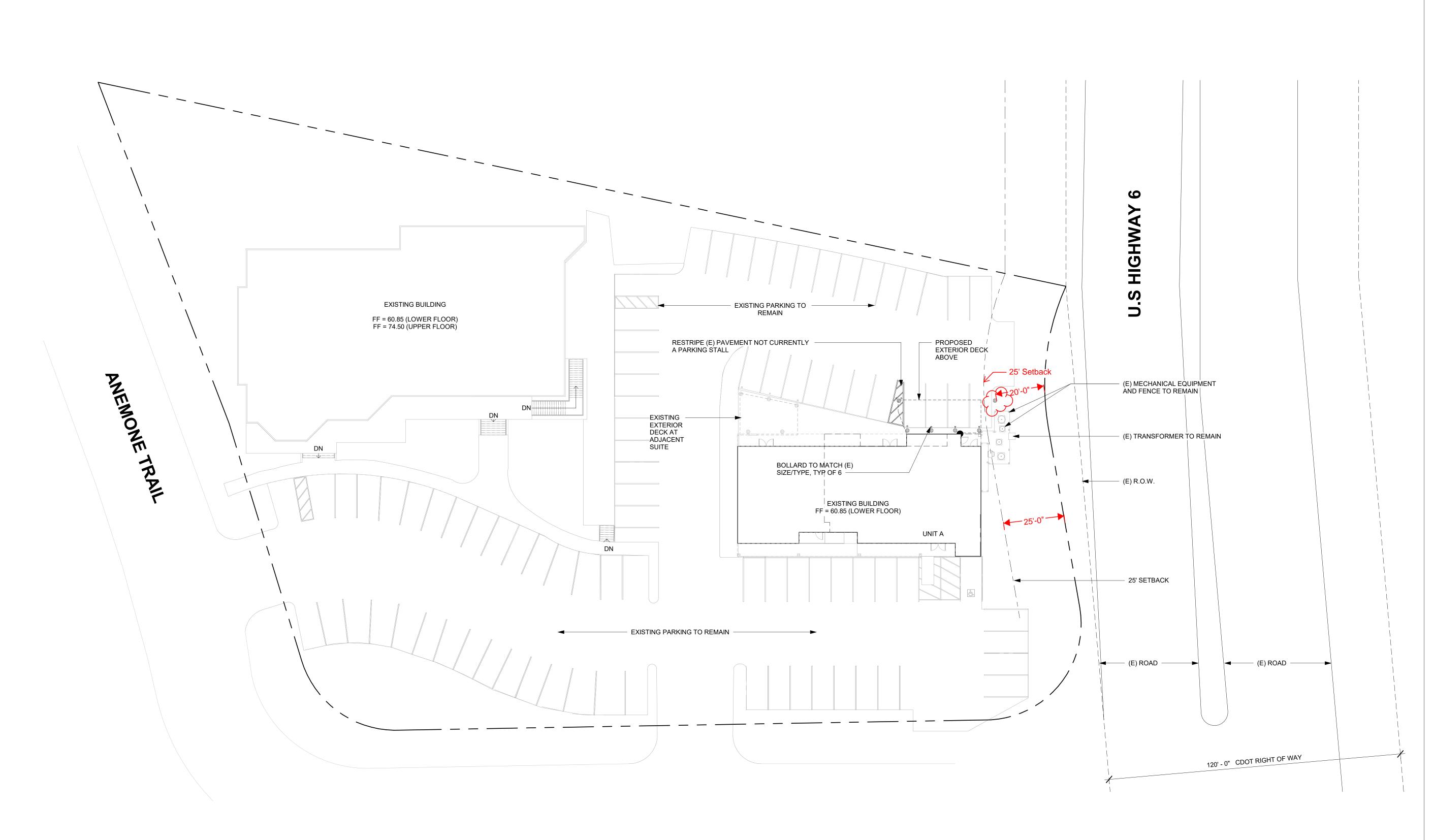
#### Supporting Materials:

2 Sheets Proposed Deck – Dated 05-03-2022

<u>3 Pages Record of Proceedings – Item 9 – Dated May 10, 1982</u>

<u> 1 Sheet Gore Range Plaza – April 26, 1982</u>

<u>3 Pages Memorandum Town Planner to Town Administrator – July 6, 1982</u>





# A100

#### SITE PLAN

Project Number:

210023

#### 765 W ANEMONE TRAIL, UNIT A DILLON, COLORADO 80498

#### SNARF'S SANDWICHES

#	DESCRIPTION	DATE
	PLANNING COMMISSION SET	03 MAY 2022

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t: 720.389.7920

OWNER SNARF'S SANDWICHES 2762 WALNUT STREET DENVER, CO 80205

chord.

CONSTRUCTION. 2. ALL DIMENSIONS ON THE DRAWINGS ARE TO THE FACE OF SHEATHING, U.N.O. 3. THE CONTRACTOR SHALL COORDINATE AND IMPLEMENT ALL SAFETY MEASURES REQUESTED AND/OR REQUIRED BY THE LOCAL FIRE MARSHAL, HEALTH DEPARTMENT, BUILDING OFFICIALS, AND ALL OTHER AUTHORITIES HAVING JURISDICTION. 4. THE CONTRACTOR SHALL MAINTAIN SECURITY OF THE CONSTRUCTION SITE THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. A201 34' - 0" DECKING Beam (E) PARKING SPACES BELOW TO REMAIN, TYP 1 😽 ( PROPOSED (N) POST/PIER AND BOLLARD (N) DOOR TO EXTERIOR DECK 7 = 5 — (E) CONCRETE SIDEWALK — BELOW TO REMAIN ╶╤╶╝┙╲╅ \_\_\_\_ \_\_\_\_\_ +/-3' - 5 1/2" 9' - 10" 9' - 10" 9' - 10" PIER PIER PIER -----29' - 6" ( <sub>î</sub> ) INSTALL (N) FENCE W/ SAME POST LOCATIONS UNDER (N) DECK FRAMING (E) WINDOWS TO REMAIN -24" AFF SILL HEIGHT, TYP — EXISTING RESTAURANT SPACE -\_\_\_\_\_\_ \_\_\_\_\_b \_\_d\_\_\_\_b\_\_

## **1** EXTERIOR DECK PLAN SCALE: 1/4" = 1'-0"

 $\left( + \right)$ 

# A101

#### FLOOR PLAN

Project Number:

210023

765 W ANEMONE TRAIL, UNIT A DILLON, COLORADO 80498

SNARF'S SANDWICHES

# DESCRIPTION DATE # PLANNING COMMISSION SET 03 MAY 2022

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(E) WOOD FENCE BELOW TO REMAIN

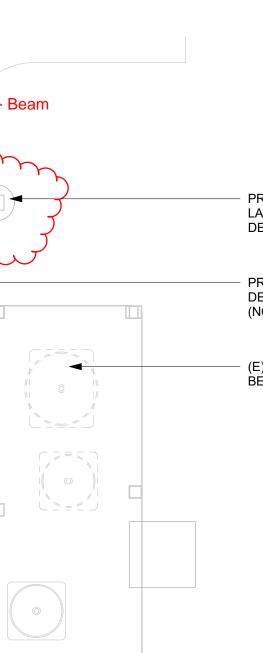
- PROPOSED (N) POST/PIER LAYOUT FOR (N) EXTERIOR DECK, TYP

DECK PERIMETER - 460 SQ. FT.

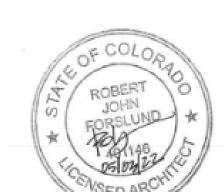
PROPOSED (N) EXTERIOR

(NOT TO EXCEED 540 SQ. FT.)

(E) HVAC EQUIPMENT BELOW TO REMAIN - TYP



# COL ROBERT JOHN



SNARF'S SANDWICHES

CHORD DESIGN STUDIO, P.C.

OWNER

ARCHITECT

DENVER, CO 80202

DENVER, CO 80202

t: 720.739.4500

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MEP

2762 WALNUT STREET DENVER, CO 80205 t: 720.389.7920

1425 MARKET STREET SUITE 220

PKMR ENGINEERS

1550 WEWATTA STREET SUITE 200

# chord.

1. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE

SHEET NOTES



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#### AGENDA

#### Dillon Planning and Zoning Commission Dillon Architectural Review Board May 10, 1982

- 1. Call to Order
- 2. Approval of Minutes
- 3. Sign Application: Robillard and Associates
- 4. Sign Application: Anchorage Joint Ventures
- 5. Sign Application: Van Schaack and Company
- 6. Sign Application: Mountain Environmental Inc.
- 7. Sign Application: Gregory Jungman D.D.S.
- 8. Fence Application: Coeur de Lac Condominiums
- 9. Plan Review: Gore Range Inn Addition Variance Request
- 10. Plan Review: Gore Range Plaza Variance Request
- 11. Old Business
- 12. New Business
- 13. Adjournment

:WORKSESSION:

BRADFORD PUBLISHING CO.

#### **RECORD OF PROCEEDINGS**

#### MINUTES

DILLON PLANNING AND ZONING COMMISSION DILLON ARCHITECTURAL REVIEW BOARD May 10, 1982

- 1. Call to Order: The meeting was officially called to order at 7:53 P.M. Present: Burris, Collard, Keller, Shafer
- 2. Approval of Minutes: Collard made a motion to approve the minutes of the April 12, 1982 meeting. The motion was seconded by Keller and the vote was unanimous in favor.
- 3. Robillard Sign Application: Robillard and Associates have requested approval for their sign application. The sign will hang under the soffit of the Snow Bank Building and will be up indefinitely. The sign will not be illuminated and will be made of sand blasted redwood. Collard made a motion to approve the sign, seconded by Keller. The vote was three in favor of approval with Shafer abstaining.
- 4. Anchorage Joint Venture Sign Application: A decision was not made by the P&Z at the April 12, 1982 meeting in regard to this application. It was tabled so more information could be gathered about the lighting of the sign and the materials it is to be made of. Alan Clausen was on hand to represent Anchorage and answer any questions. The lighting will be indirect and the material is a durable plastic. As all necessary information was given and all ordinances abided by Shafer made a motion to approve the sign. This was seconded by Collard and the following vote was three in favor of approval with Shafer abstaining.
- 5. Van Schaack and Co. Sign Application: The decision on this sign was also tabled at the April 12, 1982 meeting due to lack of all necessary information. P&Z wanted to know the distances the sign is from the highway. The real estate sign is about 65 feet from the street line of the highway and approximately 200 feet from the corner of the lot. Keller made a motion to approve the sign until December 31, 1982. Collard seconded the motion and the following vote was three in favor with Shafer abstaining.
- 6. Mountain Environments Inc. Sign Application: This sign was tabled due to lack of information at the April 12, 1982 meeting. After reviewing the proper information that was submitted, Shafer stated that he thought the sign was more of a miniature billboard than a real estate sign. The sign only stated the name of the company on it's face and nothing about sale of the lot in question. For this reason, Shafer made a motion to deny the apllication and because the sign is already up, it must be taken down. This motion was seconded by Collard and the following vote was unanimous in favor of the motion carrying. The Planner was instructed to inform the owners of the sign of the decision and to have them take the sign down in ten days or less. If the sign is not taken down the police are to issue a citation to the owners.
- 7. Gregory Jungman D.D.S. Sign Application: Dr. Jungman was on hand to answer any questions regarding his sign for his dentist office in the Dillon Plaza Building on the third floor. The sign is to be redwood sandblasted with a picture of a family in the center. There will be two oval sign of this type and one "DENTIST" sign with raised letters to be attached to the building side. As all fees are paid and all the ordinances are adhered to, Keller made a motion to approve the sign application. Collard seconded the motion and the following vote was three in favor of approval with Shafer abstaining.

BRADFORD PUBLISHING CO.

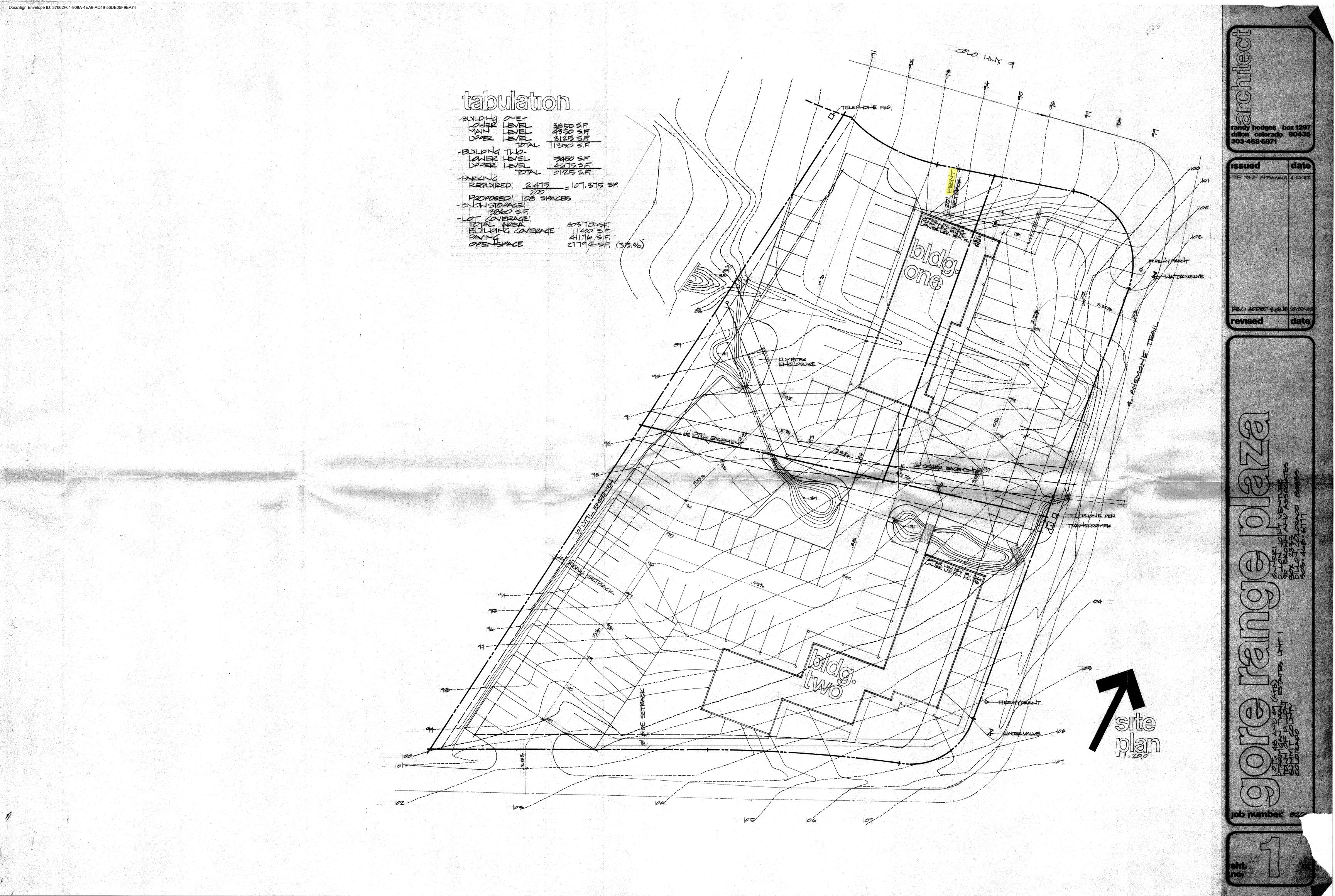
#### RECORD OF PROCEEDINGS

MINUTES: P&Z/DARB May 10, 1982

8. Coeur de Lac Fence Application: The managers of the Coeur de Lac condominiums have requested approval for a fence to be built around their outdoor swimming pool. As this is mandatory in Dillon now there were few questions regarding it. The only problems were the possible safety hazards that exist due to the extended vertical fence parts. Collard stated that he would like to see these either trimmed off or the horizontal rail placed at the top so the vertical pieces don't stick up. Shafer also stated that in the drawings of the fence it was stated the fence posts would be made of galvanized steel. Shafer thought the collr should blend with everything around and he didn't think that shiny steel would be appropriate. Shafer then made amotion to approve the sign on the contingencies that extended tops be made safe and that the color of the fence be compatible. Collard seconded the motion and the following vote was unanimous in favor of this motion.

page 2

- 9. Gore Range Plaza Pln Review/Variance Request: Randy Hodges, the architect on the project, and Sam Brown, the owner, were on hand to answer any questions concerning the proposed project. Hodges first explained the variance requests. A variance is requested for the handicap access on the third floor of Building One. Due to high water on the site and the added cost of installing an elevator in the building it is felt that it's not necessary for only 15% of the total area of the project. Second, a variance is requested for 3 feet 6 inches in heightdue to high ground water and because Anemone Trail is built up about 4 feet higher than the site. Thsi will allow more safety on the grades around the project. The last variance requested is for a 20 foot front line setback instead of the normal 25 foot. It was stated that the setback instead of the normal 25 feet. It was stated that the rea-son for this is to allow handicap access to both floors of building Two and for reasons of drainage. Hodges also stated that the lot line between lots 49a and 49b will be vacated. After review of the plans Collard made a motion to approve the plans wiath the variances requested also being approved. Keller seconded the motion and the following vote was three in favor with Shafer abstaining.
- 10. Gore Range Inn Addition Plan Review: Randy Hodges, the architect of the addition, was on hand to answer any questions about the addition. A variance is requested for four parking spaces on site. The addition will be about 800 square feet in area. Hodges explained that in the strict sense of the word, there is no physical hardship involved. The problem is that the restaurant can not function on the two floor plan the way it is set up now. This addition would allow for more visibility from the street and also it will allow for a one floor operation. Hodges stated that at this time the top floor will be made into office space. Shafer staed that he was concerned with the future of the building if they granted a variance for parking spaces. He said that if the use of the building changed than there would not be enough parking. Collard said he understood that but that at this time -the lot is never full even in the busiest months and that if the town had a chance to help out a business in the town than it also has an obligation to do this. Cellard then made a motion to appro Collard then made a motion to approve the plans for the addition on the Gore Range Inn. Keller seconded the motion and the following vote was three in favor and Shafer The motion carrys 3 to 1. -against approval.
  - 11.01d Business: Burris read a thank you note from the Younger family for the flowers sent. It was also reminded that there is a joint meeting between the P&Z and the Board to hear consultants give a presentation for the master plan.
- 12. New Business: Shafer stated his resignation from the P&Z due to a change in residency.
- Adjournment: Collard made a motion to adjourn the meeting and was seconded by Keller. The vote was unanimous ing favor to adjourn at 9:45 P.M.



FORE RANGE RUSZA

10/5/07

PZZ APPROVAL 5/10/82 CONDITIONS = 1) VARIANCES - GRANITED 2) RESUBDIVICION TO REMOVE LOT LINE 49 A \$495.

> WOULD ALSO MAKE SENSE TO DELETE 48 ALDO-AS IMAROUEMENTS. DON'T POLLOW LOT LINES AND THE AREA IS UNDER SINGLE CUNTERSHIP. IF NOT RESUBDINDED WE SHOULD HAVE AGREEMENTS DEAWN ACCESS UP TO PROVIDE POR EASEMENTS, PARKING USCAGE BETWEEN PARCELS.

3, PAAGING PLAN.

4. LANDEGAPING PLAN - DETAILED PLAN W/ MATERIALS, QUANTITIES, SIZES - (COST EST. + QUARANTED) 5. SPECIFICS ON IMPROVEMENTS TO PARKING LOT J ACCEGE DRIVES

REGARDING REVENUE BOUDS - NOTTHING 14A5 35EEN ROYD- IN RESPONSE TO ITEMS MENTIONED IN MEMO OF SULT 6,1982 - ATTACHET

I DON'T BELIEVE ANY THING WAS DELETED FROM THE MEMO OF 7/6/82 AND & FEEL THE ERARD SHOULD REQUIRE THESE ITEMS AT LEAST PRIOK TO ISSUMALE OF BENDS AS WE STILL HAVE NO IDEA IF THE FIGURES MENTIONED TO THE BOARD ARE BASED ON ANY REALISTIC BID.S.

ALSO GAM BROWN SHOULD BE ADVISED THAT NO SIGNS HAVE BEEN APPROVED FOR THE FROSECT

#### TOWN OF DILLON

Box 8

Dillon, Colorado 80435



MEMORANDUM

To: Anna Lenahan, Town Administrator From: Stephen Hanson, Town Planner Date: July 6, 1982 Re: Gore Range Plaza

The Town Board will be considering a request to issue Industrial Revenue Bonds to Dillon Joint Ventures for the construction of Gore Range Plaza. A review of the information available in the files regarding the project indicates the project was approved by the Planning and Zoning Commission on May 10, 1982. The following is our summary of the conditions of the approval:

1. Approval of variances for handicap access to the 3rd Floor of Building #1, a height variance of 3'-6", and a 5' variance to the 25' setback for Building #2.

2. A request be submitted to vacate the lot line between 49A and 49B. This requires a re-subdivision of the lots.

3. Exterior building materials were not specified, however, a review of the elevations indicates the siding to be horizontal wood siding and the roof to be shake shingles. The Zoning Ordinance specifies the exterior surfaces to be of natural wood which may have a clear finish or stained, but not painted.

4. No phasing was indicated on the plans, however, we assume the project is to be built in two phases. The phasing should be indicated on the plans and the items to be constructed in each phase itemized.

5. A schematic landscaping plan was included in the submittal, however, the plan lacks specifics on the materials. The plan should include quantities, method of planting, sizes and delineate areas to be grass, groundcover, shrubs and/or rock. In addition, landscaping should be guaranteed for a complete growing season.

6. There is no indication on plans whether curbing will be used in the parking areas. It is assumed the parking will be an asphalt surface and that appropriate base material will be installed. No improvement to the public rights-of-way were indicated other than two (2) access drives.

Regarding the issuance of revenue bonds. It is unclear whether the bond money will cover the entire project or only a portion. Detailed cost estimates for all improvements should be reviewed. The following is a list of the items which should be included: L

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1. Construction plans and costs for the following.

2. Grading and drainage improvements.

3. Landscaping materials, installation and maintenance.

4. Parking lot surface, base, striping and sidewalks.

5. Utility lines and dumpster.

6. Public improvements, if any.

7. Possible inclusion of other improvements not specific in plans, ie: bikeway, paving Anemone adjacent to the project, street lights, additional landscaping and sign to identify the Town limits.

Lastly, we would recommend the Town Board consider the cost benefit aspects of issuing bonds for this project and similar requests which may be presented in the future. This should include a review of the viability of the project and specifically the criteria for issuing the industrial revenue bonds.

The plans submitted, originally, were referred to the Town of Silverthorne at thich time they had three (3) concerns, as noted in their letter of February 11, 1981. Since that time, the plans were revised and two (2) of their concerns remain relavent. A review of the file indicated the revised plans were not referred to Silverthorne for their review. Silverthornes previous concerns dealt with the drainage as follows:

1. Historical drainage leaving property not be increased.

2. Drainage exit property at same location where it presently leaves.

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