RESOLUTION NO. PZ 05-23 Series of 2023

A RESOLUTION RECOMMENDING APPROVAL OF A LEVEL IV DEVELOPMENT APPLICATION FOR A PUD DEVELOPMENT PLAN FOR 780 LITTLE BEAVER TRAIL.

WHEREAS, the Planning and Zoning Commission of the Town of Dillon ("Planning Commission") has received a Level IV Development Application from Summit County government ("Applicant") for a PUD for the one hundred percent (100%) residential use in the existing structure on the Mixed Use zoned property ("Application") located at 780 Little Beaver Trail ("Development"); and

WHEREAS, a Statutory Exemption pursuant to § 31-23-301, C.R.S. (the "Statute"), was granted the Applicant on July 7, 2021 by Resolution PZ 11-21, Series of 2021 exempting the Development from certain provisions of the Dillon Land Development Code permitting the continued use of the three (3) residential units in the existing Development without a mixed-use commercial component; and

WHEREAS, a Statutory Exemption Amendment was granted the Applicant on September 12, 2022 by Resolution PZ 05-22, Series of 2022 to enable an increase in the number of dwelling units in the Development; and

WHEREAS, Resolution PZ 05-22, Series of 2022 conditioned the approval of the Statutory Exemption Amendment with the requirement that the Applicant submit the Application; and

WHEREAS, the Planning Commission has determined that the Application is complete; and

WHEREAS, following the required notice, a public hearing on the Application was held on May 3, 2023, before the Planning Commission; and

WHEREAS, following the public hearing the Planning Commission has made certain findings of fact regarding the Application and has determined that certain conditions which are reasonable and necessary to and relate to impacts created by the development should attach to the Town Council's approval of the Application.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, AS FOLLOWS:

<u>Section 1</u>. That on May 3, 2023, following the required notice, the Planning Commission held a public hearing on the Application, and following said public hearing makes the following findings of fact:

- A. That the Application is complete.
- B. That the Applicant satisfies the conditions of approval of the Statutory Exemption Amendment as set forth in Resolution PZ 05-22, Series of 2022.
- C. That the Application is in substantial conformance with the Town of Dillon Comprehensive Plan.
- D. That the Application meets the applicable Dillon Municipal Code ("**DMC**" or "**Code**") requirements.
- E. That the Application is compatible with the existing structure and the surrounding area.
- F. That the Application meets the criteria set forth in the Mixed Use zone district criteria set forth in the Code.
- G. The Application will not have an adverse impact on the surrounding area, and is compatible with the scale, intensity, and type of land uses located on adjacent properties.
- H. The proposed benefits of the Application offset the proposed exceptions to the underlying zone district and such exceptions are in the best interest of the public health, safety and welfare.

<u>Section 2</u>. That the Planning Commission hereby recommends that the Town Council approve the Application for a PUD, with the following conditions:

- A. The Town Manager may approve additional minor changes to the Application that do not change the character or intent of the Application as approved by this resolution.
- B. The applicant shall apply for a Level II Development Permit with the Town for the remodel of a residential building containing greater than one (1) dwelling unit. The Planning Commission recommends that, in view of the community benefits of the project, the application for Level II Development Permit be treated as part of the PUD application, and thus recommends that the Council authorize the Town Manager to waive the fee for Level II Development application in the spirit of DMC § 16-2-80.
- C. The applicant shall apply for a Building Permit with the Summit County Building Inspection Department.
- D. The applicant shall execute such agreements with the Town as required by the Town to preserve the workforce housing component of the project in perpetuity,

including, but not limited to, a Restrictive Covenant and Agreement for Workforce Housing.

- E. Pay water and sewer tap fees (EQRs) including the surcharge for tying the sanitary sewer into the Dillon Valley District system.
- F. Enter into an agreement with the Town assuring the continual management of snow and ice on site and the removal of snow and ice from the site via hauling to an acceptable receiving site.
- G. Permit the Town to install a sidewalk on Little Beaver Trail on or adjacent to the property and provide a sidewalk easement to the Town if requested.
- H. Pave the parking area within one (1) year of receiving the Certificate of Occupancy.
- I. Provide a copy of the Certificate of Occupancy to the Town upon issuance by the Summit County Building Inspection Department.
- J. Offer tenant space for lease to Town of Dillon employees should the County not need to house Summit Stage transit employees or Summit County government employees prior to offering the tenant space for lease to other community workforce.
- K. Obtain a Grading and Excavation Permit from the Town prior to commencing site disturbing activity.
- L. Ensure wetland areas are protected from sedimentation or concentrations of runoff during construction, and with detained runoff at all times upon complete stabilization of the site. The wetlands shall be maintained in their native state and shall not be improved with manmade features without approval by the Town.
- M. Maintain the water quality and detention facility. Remove accumulated sediment and maintain the design volume. The controlled stormwater release orifice shall be maintained as designed.
- N. Spread a minimum of three (3) inches of topsoil over all disturbed areas in preparation for revegetation.
- O. Revegetate all disturbed areas with landscaping including trees, native shrubs, and native grasses.
- P. Mitigate noxious weeds on site.

- Q. Provide waste containers on site within a containment system that screens the waste receptacles in a manner acceptable to the Town. The system shall prevent wildlife access to the waste. Recycling containers are encouraged.
- R. The nonconforming yards shall not be increased in nonconformity and redevelopment of the site setbacks shall conform to the underlying zone requirements for yards, subject to the Town's approval of an amendment to this PUD or a new PUD.
- S. The Applicant shall work with the project traffic engineer to determine which trees cited in the traffic impact study present a safety concern and determine the recommended mitigation to address the safety concern. This may require working with adjacent property owners to resolve the safety concern.

APPROVED AND ADOPTED THIS 3RD DAY OF MAY, 2023, BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO.

PLANNING AND ZONING COMMISSION, TOWN OF DILLON

By: ____

Alison Johnston, Chairperson

ATTEST:

By: _

Elizabeth Muzi, Secretary to the Commission

Resolution PZ 05-23, Series of 2023

EXHIBIT 'A'

780 Little Beaver Trail PUD

Development Plan



[RENDERING NOT FOR CONSTRUCTION]

SHEET	NDEX			
CS	COVER SHEET		A111	SITE PLAN, AREA CALC
1	SURVEY		A210	EXISTING/DEMO LOWE
			A211	EXISTING/DEMO GROU
A001	CODE DATA, NOTES & CALC	S	A212	EXISTING/DEMO UPPER
			A213	EXISTING/DEMO FLOOI
C-100	EXISTING CONDITIONS PLA	N	A220	PROPOSED LOWER FL
C-101	DEMOLITION AND EROSION	CONTROL PLAN	A221	PROPOSED GROUND F
C-102	CIVIL SITE PLAN		A222	PROPOSED UPPER FLO
C-103	GRADING AND DRAINAGE P	LAN	A223	PROPOSED FLOOR PL
PROJEC	CT TEAM			
OWNER	:	PROJECT MANAGEMENT:		ARCHITECT:
SUMMIT	COUNTY	ARTAIC GROUP		STAIS ARCHITECTU
208 LINCO		2650 18TH STREET, SUITE #301		PO BOX 4175
BRECKEN	RIDGE . CO 80424	DENVER . CO 80211 303.253.4417		FRISCO . CO 80443 970.453.044

LITTLE BEAVER TRAIL HOUSING

780 LITTLE BEAVER TRAIL DILLON . COLORADO

PUD SUBMITTAL

A301

NOTES

OOR PLAN FLOOR PLAN OOR PLAN ANS @ STORAGE & DECK R PLAN OR PLAN R PLAN

A302 A303 A304 A305 A306 A311

EXISTING EXTERIOR ELEVATIONS EXISTING EXTERIOR ELEVATIONS EXISTING EXTERIOR ELEVATIONS PROPOSED EXTERIOR ELEVATIONS PROPOSED EXTERIOR ELEVATIONS PROPOSED EXTERIOR ELEVATIONS PROPOSED EXTERIOR PERSPECTIVES

A411

@ STORAGE & DECK

SURVEYOR:

& INTERIORS

NV5 GEOSPATIAL 10033 MLK STREET N, SUITE 200 ST. PETERSBERG . FL 33716 722.643.6339

STRUCTURAL ENGINEER:

ENGINEERING DESIGNWORKS, INC SKI TIME SQUARE, UNIT E2C PO BOX 775729 STEAMBOAT SPRINGS . CO 80487 970.879.4890

CIVIL ENGINEER:

TETRA TECH 130 SKI HILL ROAD BRECKENRIDGE . CO 80424 970.453.3420



409 east main street p o box 4175 frisco . colorado 80443 970 453 0444

STAIS ARCHITECTS.COM

little beaver trail housing

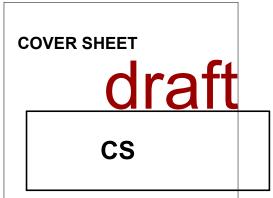
lot 3 . ptarmigan trail estates sub #1 filing 1 dillon . colorado

PROJECT # 2225

C COPYRIGHT AS AN UNPUBLISHED WORK; ANY REPRODUCTION OR REUSE WITHOUT WRITTEN CONSENT IS PROHIBITED.

ISSUE:

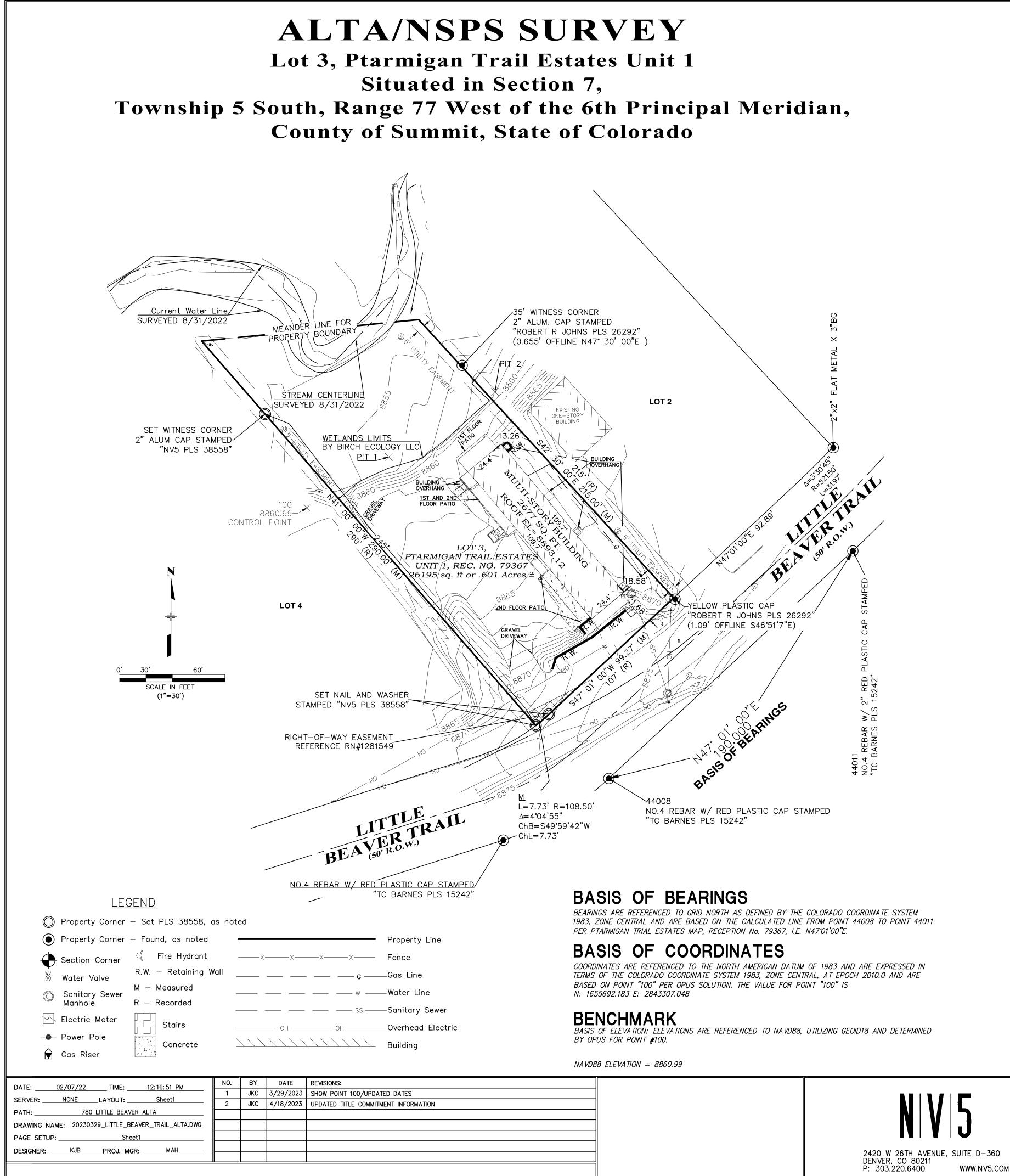
prelim PUD sub	24 mar 2023
PUD submittal	31 mar 2023
PUD revised	28 apr 2023



BUILDING SECTIONS

GENERAL CONTRACTOR:

MW GOLDEN 1700 PARK STREET CASTLE ROCK CO 80109 303.688.9848



NOTES

PARCEL DESCRIPTION:

(FROM TITLE COMMITMENT ORDER NO. MRG20205705-4 DATED MAY 6, 2021, PREPARED BY: LAND TITLE GUARANTEE COMPANY, INC.)

LOT 3, PTARMIGAN TRAIL ESTATES UNIT 1, RECEPTION No. 79367, COUNTY OF SUMMIT, STATE OF COLORADO.

GENERAL NOTES:

- 1. THIS SURVEY PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY NV5, INC. OR THE SURVEYOR-OF-RECORD. NV5. INC. AND THE SURVEYOR-OF-RECORD RELIED ENTIRELY UPON THE TITLE COMMITMENT PREPARED BY LAND TITLE GUARANTEE COMPANY, INC., ORDER NO. MRG20205705-4, DATED MAY 6, 2021, FOR RECORDED INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES IN THE PREPARATION OF THIS SURVEY
- 2. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON
- 3. NV5, INC. AND THE SURVEYOR-OF-RECORD PREPARED THIS ALTA/NSPS LAND TITLE SURVEY FOR THE EXCLUSIVE USE OF:

BOARD OF COUNTY COMMISSIONERS OF SUMMIT COUNTY, COLORADO

AS NAMED IN THE SURVEYOR'S CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITY WITHOUT AN EXPRESS STATEMENT BY THE SURVEYOR-OF-RECORD.

- 4. THIS SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR-OF-RECORD.
- 5. UNIT OF MEASURE: U.S. SURVEY FEET
- 6. DATES OF FIELD SURVEY: AUGUST 23, 30, 31, AND SEPTEMBER 1, 2022.
- 7. ZONING INFO NOT PROVIDED BY CLIENT, OBTAINED FROM TOWN OF DILLON MUNICIPAL CODE SEC. 16-3-170-MIXED USE ZONE.

ZONE: MU

FLOOR SPACE RESTRICTIONS: MULTI-FAMILY RESIDENTIAL USES ARE ONLY ALLOWED AS A PERMITTED USE IF DEVELOPED IN CONJUNCTION WITH A RETAIL STORE, ENTERTAINMENT USE, MEDICAL OR DENTAL CLINIC, RESTAURANT OR OFFICE USE, OR SIMILAR USE. THE MULTI-FAMILY RESIDENTIAL USE SHALL NOT EXCEED EIGHTY PERCENT (80%) OF THE TOTAL GROSS SQUARE FOOTAGE OF A BUILDING, OR A COMBINATION OF BUILDINGS ON ANY ONE (1) LOT AT ANY ONE (1) TIME. EXCEPT AS PROVIDED IN SUBSECTION 16-3-170(5)C.3. A PROJECT DEVELOPED THROUGH THE PUD PROCESS WITH UP TO ONE HUNDRED PERCENT (100%) MULTI-FAMILY RESIDENTIAL USE MAY BE APPROVED, PROVIDED THAT THE PUD DEVELOPMENT PLAN FURTHERS THE OBJECTIVES OF THE TOWN, THE PUD IS IN GENERAL CONFORMITY WITH THE ADOPTED COMPREHENSIVE PLAN, AND IS DESIGNED TO COMPLEMENT THE SURROUNDING AREAS, BLEND INTO THE ARCHITECTURAL CHARACTER OF THE COMMUNITY, AND MEET THE CRITERIA SET FORTH IN ARTICLE V OF THIS CHAPTER AND THE MULTI-FAMILY RESIDENTIAL STANDARDS OF THIS SECTION.

PARKING: PARKING FOR THE MULTIFAMILY RESIDENTIAL USES SHALL BE DISTINCT FROM ANY OTHER PARKING ON-SITE, SHALL BE IN A SEPARATE AREA (SEPARATE FROM THE RETAIL/OFFICE/ETC. PARKING) WHENEVER POSSIBLE AND SHALL BE SIGNED FOR THE EXCLUSIVE USE OF THE RESIDENTS.

LOT SIZE: 10,000 SQ. FT. MIN LOT WIDTH: 80' MIN

BUILDING SETBACKS: FRONT: SIDE YARD: STREET SIDE YARD: REAR YARD:

FRONT:	25' MIN		
SIDE YARD:	10' MIN		
STREET SIDE YARD:	20' MIN		
REAR YARD:	20' MIN		13.
YARD ABUT RESIDENTIAL:	25' MIN		
BUILDING HEIGHT:	35' MAX	CURRENT HEIGHT: 29.7'	

8. THE PROPERTY SHOWN HEREON APPEARS TO LIE WITHIN ZONE "AE" (AREAS WITHIN 100-YR FLOODPLAIN) AND ZONE "X" (AREAS OUTSIDE 200-YR FLOODPLAIN) PER FLOOD INSURANCE RATE MAP, COMMÚNITY PANEL NO. 08117C0243F DATED NOVEMBER 16, 2018. NO FLOOD HAZARD ANALYSIS HAS BEEN CONDUCTED.

- 9. THE LOCATIONS OF UTILITIES AS SHOWN HEREON ARE BASED ON VISIBLE SURFACE EVIDENCE AND MARKOUT PER RECONN UTILITY SERVICES. NV5 AND THE SURVEYOR-OF-RECORD MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. NV5 AND THE SURVEYOR-OF-RECORD FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED. FOR EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES, THE UTILITY SHOULD BE FIELD LOCATED BY THE APPROPRIATE UTILITY COMPANY AND EXCAVATION OR POT-HOLING IS RECOMMENDED. PRIOR TO FUTURE GRADING OR CONSTRUCTION, AN INDEPENDENT SITE VERIFICATION SHOULD BE PERFORMED.
- 10. THE SUBJECT PROPERTY HAS ACCESS TO DEDICATED PUBLIC ROADS KNOWN AS: LITTLE BEAVER TRAIL.
- 11. THE DIMENSIONS SHOWN HEREON RELATIVE TO EACH OBJECT OF CULTURE ARE BETWEEN THE PROPERTY LINE AND THE EDGE OF THAT OBJECT CLOSEST TO THE PROPERTY LINE.
- 12. BUILDING DIMENSIONS AND FOOTPRINT AREAS WERE DERIVED FROM CONVENTIONAL FIELD SURVEY AND VISUAL INSPECTION. BUILDING MAX. HEIGHT = 8893.12'

RECORDER'S CERTIFICATION:

This plat was filed for record in the office of Adams County clerk and recorder in the state of Colorado, at _____ on the _____ day of _____, A.D. 2023

File No Map No Reception	on I
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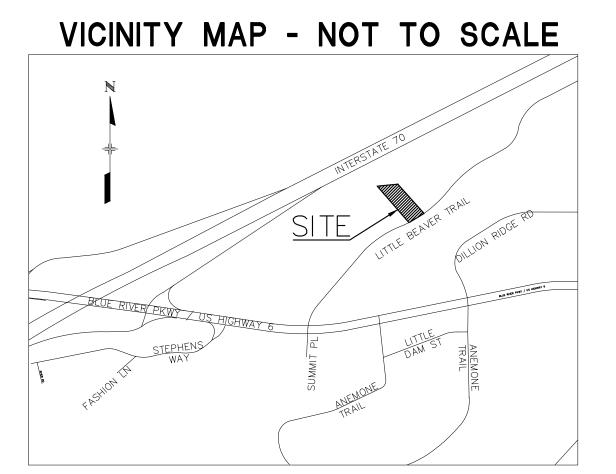
County	/ Clerk	and	Recorder	
			A.L.T.A.	

14.

-15. 16.



Deputy



TITLE COMMITMENT / SCHEDULE B PART 2 EXCEPTIONS

COMMENT ITEM

1-7. STANDARD EXCEPTIONS

RIGHT OF THE PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM. SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES HEREBY GRANTED. AND A RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES. AS RESERVED IN UNITED STATES PATENT RECORDED JULY 10, 1901 IN BOOK 81 AT PAGE 246. AFFECTS SUBJECT PROPERTY, NOTHING TO PLOT

NOTES, DEDICATIONS AND EASEMENTS SET FORTH ON THE PLAT FOR PTARMIGAN TRAIL ESTATES, UNIT 1 RECORDED JULY 8, 1958 UNDER RECEPTION NO. 79367. AFFECTS SUBJECT PROPERTY AND PLOTTED AS SHOWN.

RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE, AS CONTAINED IN INSTRUMENT RECORDED JULY 17, 1958, IN BOOK 152 AT PAGE 428 AND AS AMENDED IN INSTRUMENT RECORDED DECEMBER 28, 1978 UNDER RECEPTION NO. 185980 AFFECTS SUBJECT PROPERTY

- #3 & 5 SHOWN AS PLOTTED
- #1,2,4,6-8 NOTHING TO PLOT.
- TERMS, CONDITIONS AND PROVISIONS OF WETLANDS PERMIT RECORDED JUNE 21, 1982 AT RECEPTION NO. 241312. AFFECTED SUBJECT PROPERTY AT TIME OF FILING, HOWEVER THE UNDERSIGNED IS
- UNABLE TO DETERMINE ANY VARIATION OF EFFECTS DUE TO AGE OF PROJECT.
- TERMS, CONDITIONS AND PROVISIONS OF ORDINANCE RECORDED JUNE 17, 1981 AT RECEPTION NO. 224854. AFFECTS SUBJECT PROPERTY:

IN AS THE RELOCATION OF LITTLE BEAVER TRAIL FOR INGRESS/EGRESS ALONG AND IN FRONT OF LOT 12 OF SUBJECT PLATTED SUBDIVISION.

- THE EFFECT OF ORDER EXCLUDING SUBJECT PROPERTY FROM THE SILVERTHORNE FIRE PROTECTION DISTRICT RECORDED MAY 07, 1985, UNDER RECEPTION NO. 296372. AFFECTS SUBJECT PROPERTY, NOTHING TO PLOT.
- TERMS, CONDITIONS AND PROVISIONS OF ORDER OF CONSOLIDATION RECORDED DECEMBER 18, 1998 AT RECEPTION NO. 584192. AFFECTS SUBJECT PROPERTY, NOTHING TO PLOT
- EXISTING LEASES AND TENANCIES, IF ANY. AFFECTS SUBJECT PROPERTY, NOTHING TO PLOT.

ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING FACTS SHOWN ON IMPROVEMENT LOCATION CERTIFICATE CERTIFIED MAY 24, 2021 PREPARED BY SCHMIDT LAND SURVEYING, INC., JOB NO. 2578: ANY AND ALL MATTERS RELATED TO GRAVEL PARKING ENCROACHING INTO ADJACENT LOT 4; LITTLE BEAVER TRAIL LOCATED OUTSIDE OF RIGHT OF WAY AND ENCROACHING INTO LOT. (IMAGE 37058297)

AFFECTS SUBJECT PROPERTY, SHOWN AS PLOTTED.

SURVEYOR'S STATEMENT

TO HERITAGE TITLE COMPANY, INC., TRICYCLE LANE TEXAS, LLC, A TEXAS LIMITED LIABILITY COMPANY, HUNT BROTHERS PROPERTIES, INC., A COLORADO CORPORATION, HERITAGE TITLE COMPANY, HERITAGE TITLE COMPANY, HERITAGE TITLE COMPANY, FOLEY & LARDNER, LLP:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 5, 6, 7(A), 7(B1), 7(C), 8, 10, 11(A)(B), 12, 14, 18 AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON SEPTEMBER 1, 2022.

DATE OF PLAT OR MAP: SEPTEMBER 7, 2022

Steven J. Hyde Digitally signed by Steven J. Hyde ADO Date: 2023.04.18 14:38:52 -0450 38558 FOR AND ON BEHALF OF NV5, INC. STEVEN J. HYDE , P.L.S. 38558 NV5, INC. 2420 W 26TH AVENUE, SUITE D-360 DENVER, CO 80211 STEVEN.HYDE@NV5.COM



303.220.6400

227622-0001371.00

SHEETS

BUILDING CODE DATA
1) This project is governed by the 2018 Internatio code amendments as adopted by this municipalit applicable codes, regulations, and restrictions, wi contractor and subcontractors shall be responsib approvals.
2) Occupancy: a. main floor:
i. Residential: R-2 (310.3); 5,339 sf / 200 3) Type of Construction: Type VB construction (6 i. Max allowed for R-2 occupancy:
a. Building height (table 504.3): 40 feet n b. Number of stories (table 504.4): 2 stor c. Building area (table 506.2): 7,000 sf m
4) Occupancy Separations: a. One hour separation (fire partitions) requir
5) Stairs a. max riser height: 7" (per section 1011.5.2) b. min tread depth: 11" (per section 1011.5.2 c. within dewlling units in R-2 occupancy: 7-3
6) Guards: shall be provided in accordance with s a. R-2 Occupancy:
7) Handrails: shall be provided in accordance with a. height: 34-38" (per section 1014.2). b. provide type 1 handrail (per 1014.3.1) unle
8) Accessibility: shall be provided in accordance a. Type B units per 1107.6.2 - 1107.6.2.3
 9) Energy Efficiency: a. This project will be subject to 2018 IECC results b. This project is located in climate zone 7.

Value of the start of the first own o		VICINITY MAP	
An intervention of the sequence	icipality. All work performed under this contract shall conform to ons, whether included in the text of this code study, or not. The general		
Windows of Windows Windows of Windows Window	f / 200 sf per occupant (table 1004.5) = 27 occupants		
- # dres manume is preproved.	tion (602.5), non-sprinklered.	1-70	
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1123 (Privatigen entities 1011:12, 2 exception 3). read/framework in 014. 10 units otherees in told on charges. interme with elaption 11. r2.		IGHT OREEK	PROJECT SITE
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1. BUILDING FOUNDATION 2. BUILDING FOOTRINT 3. PAUNG 4. SNOW STACK BELOW ENCLAREAS (1)+ DECKS AND PORCHES 3.702.39 SF 11.2% 11.2% 3.702.39 SF 4. SNOW STACK @ DRIVES, WALKS 4. SNOW STACK @ DRIVES, WALKS 6. TOTAL 26.219.71 SF (60) 5. TOTAL 26.219.71 SF (60) 100% BUILDING CALCS: FIN UNFIN TOT EXISTING (SF) FIN UNFIN TOT NOTE CHANGE (SF) FIN UNFIN TOT 1. LOWER FLOOR 2. GROUND FLOOR 887 553 1.240 1.99 2.003 29 - 29 59 2.003 - 2.003 716 524 1.240 2.003 3. TOTAL 4.432 1.474 5.908 907 - 907 5.339 567 5.908 2.003 2.003 NOTES: 1. BUILDING AREAS CALCD BASED ON GROSS SF PER MASSIDENSITY REQUIREMENTS OF THE TOB 2. UNFINISHED AREA INCLUDES MECHANICAL & EXTERIOR STORAGE (WITH OVER 5-0" HEADROOM).			
2. BUILDING FOOTERINT 1. BUILDING FOOTERINT 11 + DECKS AND PORCHES 3.702 39 SF 14.1% 3. PAVING 4. SNOW STACK 20 DRIVES, WALKS, & DECKS 1.595 00 SF 6.1% 4. SNOW STACK 5. ISDISGAPE/OPEN SPACE 0 DRIVES, WALKS, & DECKS 1.595 00 SF 6.1% 6. TOTAL 26,219.71 SF (.60) 100% BUILDING CALCS: EXISTING (SF) NET CHANGE (SF) TOTAL (SF) FIN_UNFIN TOT FIN_UNFIN TOT 1. LOWER FLOOR 687 553 1.240 29 -29 716 524 1.240 2. GROUND FLOOR 1.801 862 2.663 319 -819 2.603 -2003		SITE CALCS:	DESCRIPTION AREA (ACRES) % OF SITE
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BUILDING CALCS: FIN UNFIN TOT FIN UNFIN FIN UNFIN TOT 1. LOWER FLOOR 687 553 1.240 29 -29 716 524 1.240 2. GROUND FLOOR 1.801 862 2.663 819 -819 2.620 43 2.663 3. UPPER FLOOR 1.944 59 2.003 59 -59 2.003		6. TOTAL	
BUILDING CALCS: FIN UNFIN TOT FIN UNFIN FIN UNFIN TOT 1. LOWER FLOOR 687 553 1.240 29 -29 716 524 1.240 2. GROUND FLOOR 1.801 862 2.663 819 -819 2.620 43 2.663 3. UPPER FLOOR 1.944 59 2.003 59 -59 2.003			
2. GROUND FLOOR 1,801 862 2,663 819 -819 2,620 43 2,663 3. UPPER FLOOR 1,944 59 2,003 59 -59 2,003 2,003 3. TOTAL 4,432 1,474 5,906 907 -907 5,339 567 5,906 NOTES: 1. BUILDING AREAS CALC'D BASED ON GROSS SF PER MASS/DENSITY REQUIREMENTS OF THE TOB 2. UNFINISHED AREA INCLUDES MECHANICAL & EXTERIOR STORAGE (WITH OVER 5'-0" HEADROOM).		BUILDING CALCS:	
NOTES: 1. BUILDING AREAS CALC'D BASED ON GROSS SF PER MASS/DENSITY REQUIREMENTS OF THE TOB 2. UNFINISHED AREA INCLUDES MECHANICAL & EXTERIOR STORAGE (WITH OVER 5'-0" HEADROOM).		2. GROUND FLOOR	1,801 862 2,663 819 -819 2,620 43 2,663
OF THE TOB 2. UNFINISHED AREA INCLUDES MECHANICAL & EXTERIOR STORAGE (WITH OVER 5'-0" HEADROOM).		3. TOTAL	4,432 1,474 5,906 907 -907 5,339 567 5,906
(WITH OVER 5'-0" HEADROOM).			AREAS CALC'D BASED ON GROSS SF PER MASS/DENSITY REQUIREMENTS
3. STAIRS & LANDINGS NOT COUNTED WITH UPPERMOST FLOOR SQUARE FOOTAGES.			
		3. STAIRS & L	ANDINGS NOT COUNTED WITH UPPERMOST FLOOR SQUARE FOOTAGES.



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little beaver trail housing

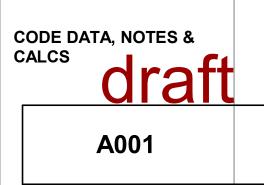
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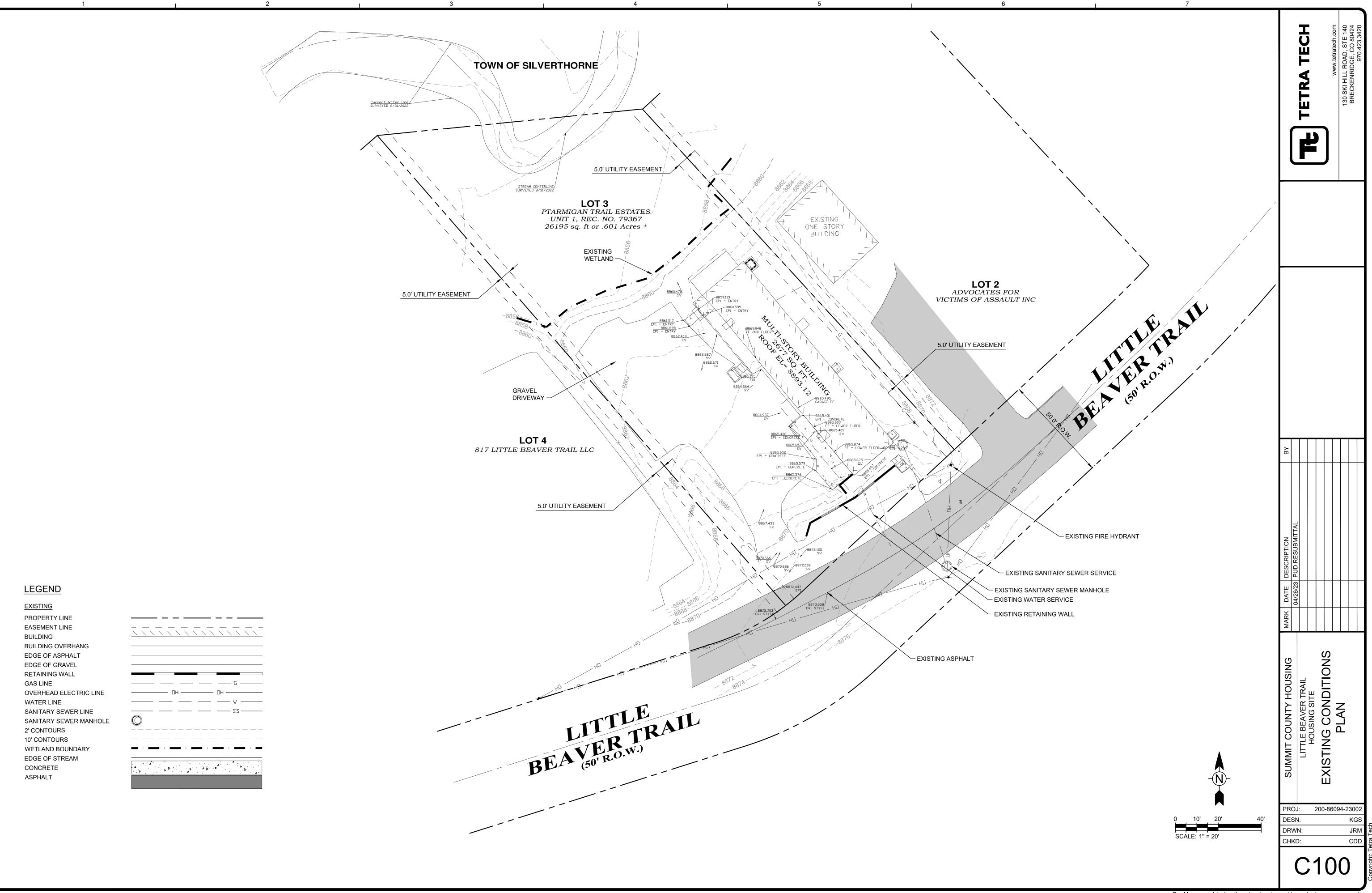
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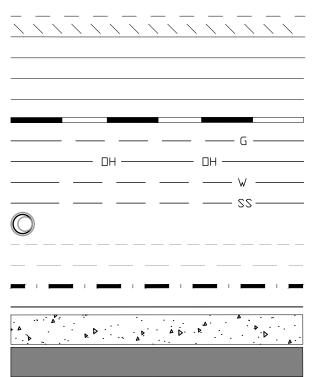


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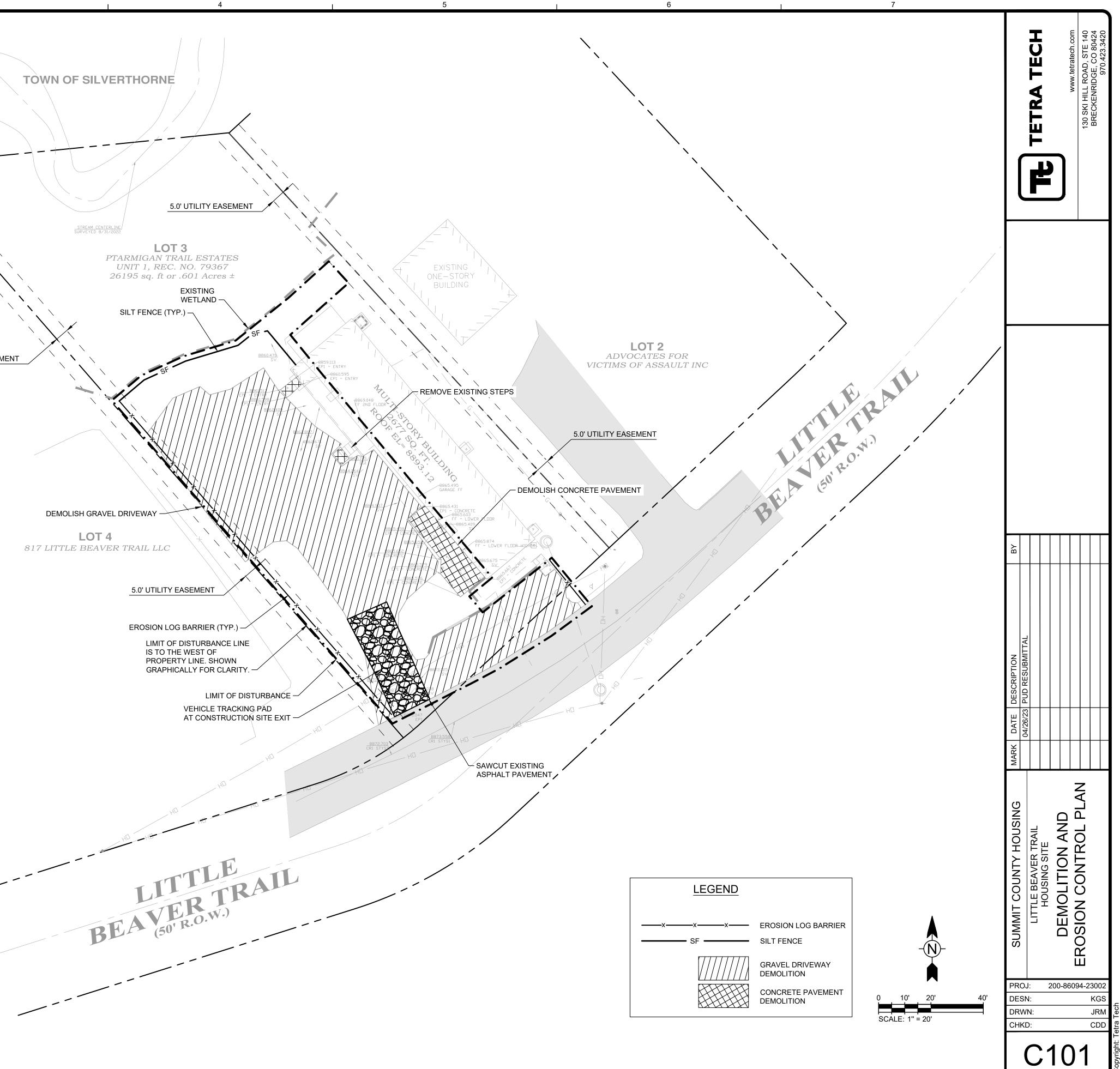


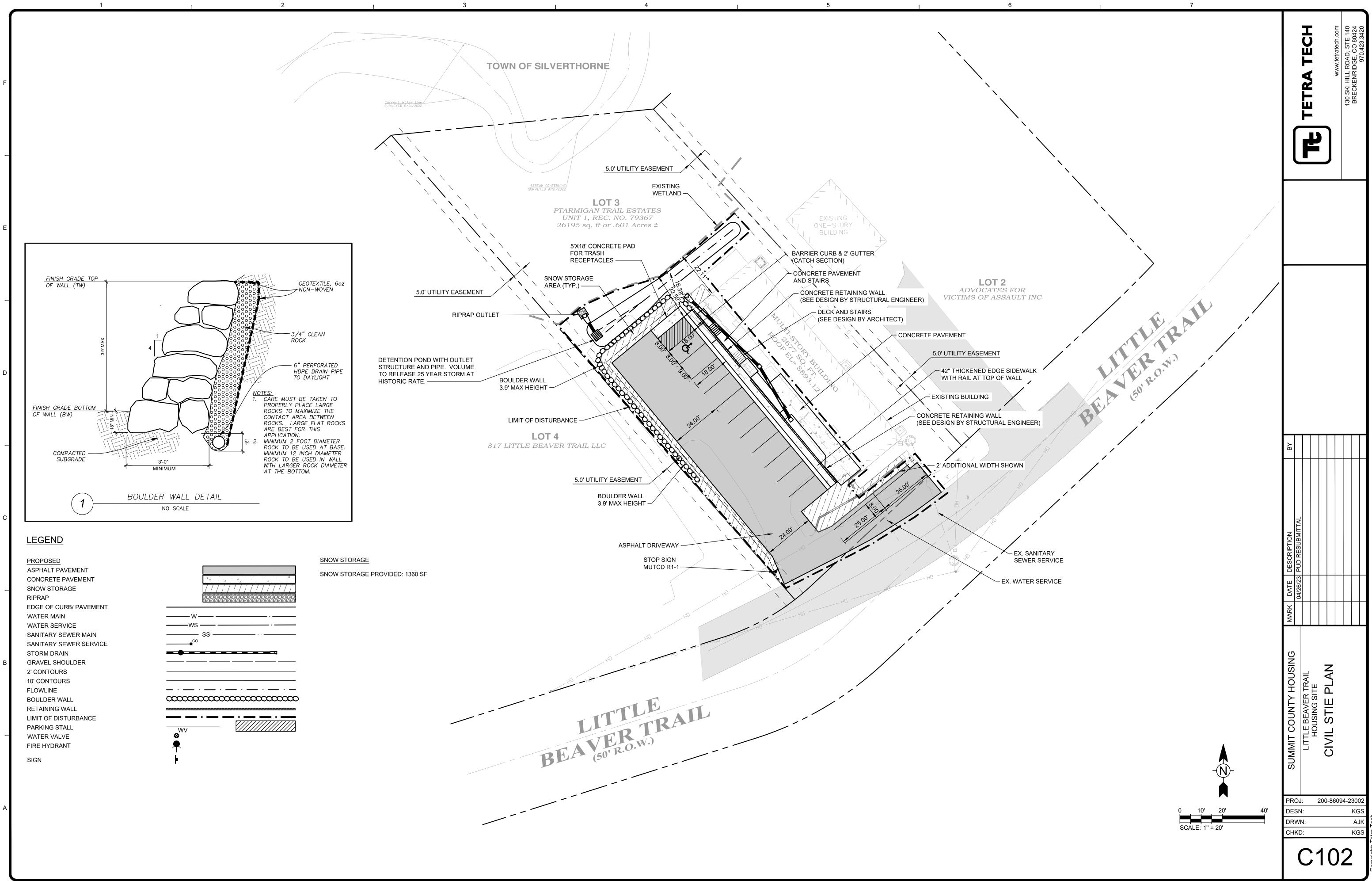


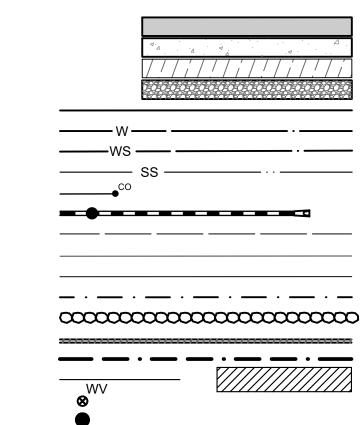


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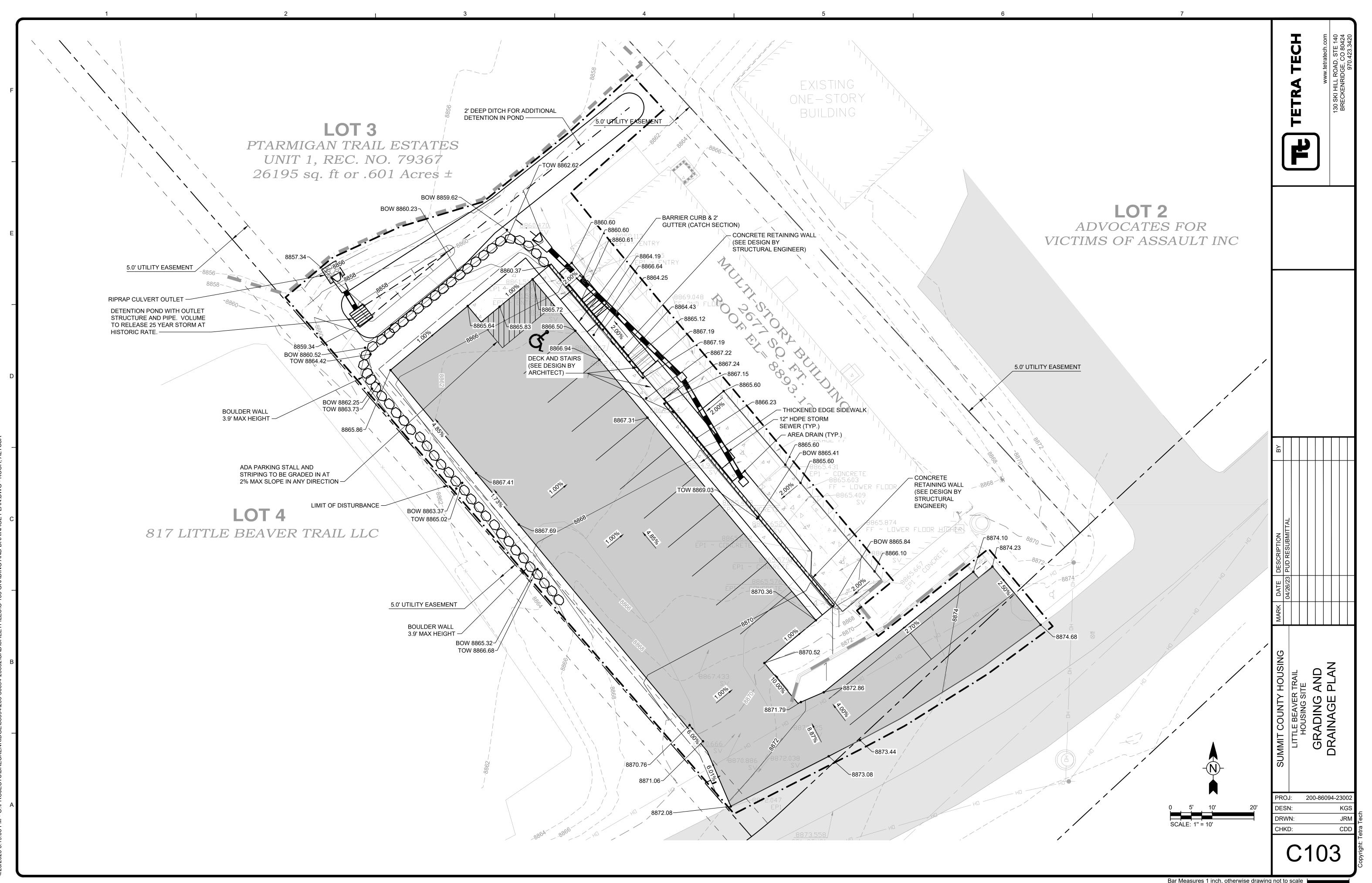
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E 5.0 UTILITY EASEM					Current Water Line
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<u>5.0' UTILITY EASEM</u>					
<u>5.0' UTILITY EASEM</u>					
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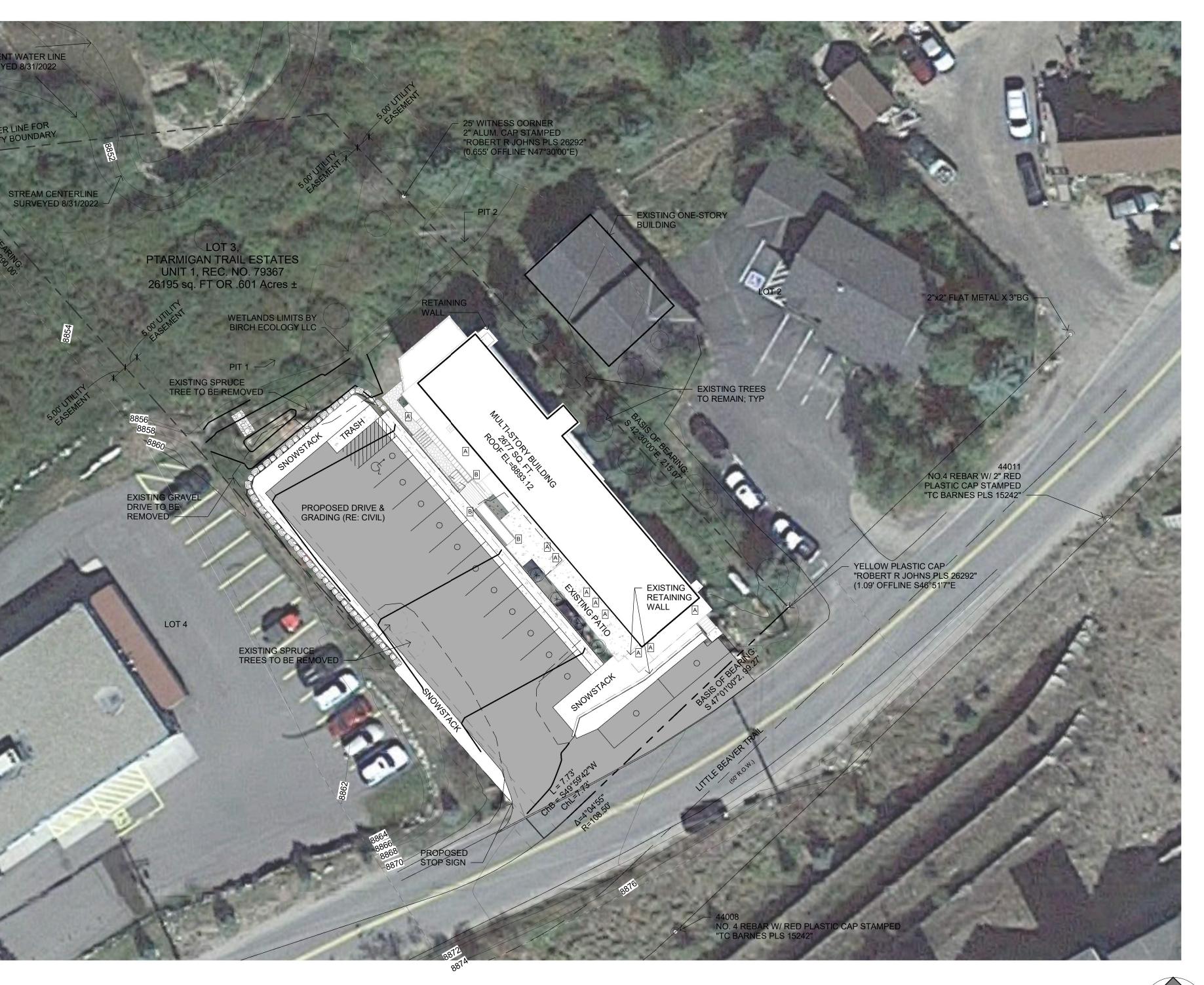
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Bar Measures 1 inch, otherwise drawing not to scale

0.5	001					NOTES	1. ALIGN TOP OF EX	
SYM	COMMON NAME	BOTANICAL NAME	QTY 2	SIZE 1" CAL	REMARKS		2. VERIFY QUANTIT	ES AND LOCATIONS
$\widehat{\mathbf{A}}$	ASPEN	POPULUS TREMULOIDES	1	1 1/2" CAL	50% MULTI-STEM	TAG	TYPE	MFR/MODE
_			1	2" CAL		A	WALL MOUNT	TBD
	NATIVE WILDFLOWERS	COMMON YARROW, NATIVE LUPINE, INDIAN PAINTBRUSH, ROCKY MTN	0	FLAT	PLANT @ BEDS PER OWNER	В	LANDSCAPE	TBD
+ + + + + + + + + + + + + +	NATIVE SHRUBS AND GRASSES	COLUMBINE, BLUE FLAX SAGE BRUSH, NATIVE GRASSES	TBD	SEED	SPREAD AT AREAS TO BE		I	I
IARE	DSCAPE LEGEND	3" THK ASPHALT ON 4" THK ROA	AD BASE		REVEGETATED			
		3" NOM SANDSTONE WALKWAY 4" THICK CONCRETE SLAB ON G 4" THK 1.5" DIA CRUSHED STON GEOTEX WEED BARRIER BELOV	OR PAT GRADE E @ DRII	P AREAS, WI				CURRENT SURVEYE
1) THE SHA 2) LAN PIPE CON PRIO 3) GEN 3) GEN 3) GEN 3) FINA 5) EXIS STA 5) EXIS 5) EXIS 6) PLA 5) ALL 6) ALL 61 GAL 61 GAL 81 GAL 9) LAN PLA CON	LL VERIFY ALL PLANT COUN DSCAPE CONTRACTOR SHA ES AND STRUCTURES. THE ITACTING ALL UTILITY COMP DR TO ANY EXCAVATION. IERAL CONTRACTOR TO PRO DR TO START OF LANDSCAP AL LOCATION AND STAKING CHITECT. LANDSCAPE CONT KING IS FULLY APPROVED. STING TREES TO REMAIN SHO DRIP LINE OF TREE. AREAS OW FENCING ATTACHED TO NTING BACKFILL MIX IS TO C RUB BEDS AND TREE WELLS BE APPROVED BY ARCHITEC PLANTING BEDS SHALL BE S VANIZED STEEL EDGING. TA CING. DECIDUOUS TREES ARE TO VANIZED WIRE AND 1-1/2" W STAKED WITH THREE, 5' STE E, GREEN, NYLON TREE STE DSCAPE CONTRACTOR SHA NTING BEDS. CONTRACTOR MPOST TO PROPOSED PERE	OF ALL PLANT MATERIALS SHALL TRACTOR SHALL NOT PROCEED W HALL BE PROTECTED WITH SECUL TO REMAIN UNDISTURBED SHALL METAL POSTS DRIVEN INTO THE CONSIST OF 80% NATIVE TOPSOIL ARE TO BE MULCHED WITH 3" SH CT PRIOR TO INSTALLATION. SEPARATED FROM SOD AND NAT ACK EDGING IN PLACE WITH 12" F D BE STAKED WITH 5' STEEL 'T' ST VIDE, GREEN, NYLON TREE STRAI EL "T" STAKES AND GUYED WITH RAPS. ALL SUPPLY AND DISTRIBUTE 10 (R SHALL ALSO SUPPLY AND DIST	TS THE S TING ALL L BE HE ALL UND +/- 0.50 F . BE AT T WITH PLA RED HAY L BE PRC GROUNI _ AND 20 HREDDEI TIVE GRA EDGING I TIVE GRA EDGING I AKES AN PS. ALL I I #12 GAL CUBIC YA RIBUTE 2	SCHEDULE S UNDERGROUND DERGROUND COOT OF FIN THE DIRECTION (DALES AND/ DECTED WITC) MULCH. M SS AREAS B PINS AT 40" N UD GUYED W EVERGREEN VANIZED WI ARDS TOPSC CUBIC YAR	HALL GOVERN. UND UTILITIES, SIBLE FOR UTILITY LINES ISHED GRADE ON OF RATIONS UNTIL YOR SNOWFENCE TH PLASTIC SS. IULCH SAMPLE Y 1/8"X4" MINIMUM ITH #12 I TREES ARE TO RE AND 1-1/2" OIL TO PROPOSED DS OF ORGANIC	The second s		
DRA 1) PRE -LC STIC -DI -GF COA 2) ALL FOL -RC 3) ONE 1,00 4) ALL CON 5) AFT 1/8" 6) LAN 7) ALL PER NAT GRA 8) LAN GUA MIN	INAGE. PARATION OF NATIVE GRAS DOSEN SOIL TO A MINIMUM (CKS, ROOTS, RUBBISH AND I STRIBUTE 1" OF TOPSOIL TO RADE AREAS TO A SMOOTH, RESE TEXTURE. REMOVE RI DISTURBED AREAS TO BE R LOWING SEED MIXTURE: DCKY MOUNTAIN HIGH ALTIT ROM NEILS LUNCEFORD NUF E APPLICATION OF A DI-AMO 0 S.F., SHALL BE BROADCAS SEEDED AREAS WITH A SLO ITROL NETTING. ER SEEDING, RAKE OR DRA OF SOIL. DSCAPE CONTRACTOR SHA NSPLANTED PLANTINGS TO ERHEAD, AND PROFIT. NEWLY PLANTED TREES AN ENNIAL FLOWER BEDS AND IVE GRASS AREAS SHALL BI ASSES ARE ESTABLISHED. DSCAPE CONTRACTOR SHA RANTEE AND REPLACEMEN	D BE CULTIVATED INTO NATIVE SO , FREE DRAINING, EVEN SURFACT IDGES AND FILL DEPRESSIONS A REVEGETATED WITH NATIVE GRA FUDE NATIVE GRASS SEED MIX, A RSERY, SILVERTHORNE, COLORA NIUM PHOSPHATE FERTILIZER, 1	LLOWING DVER 2" OIL. E WITH A S REQUII SSES SH VAILABL DO OR A 8-46-0 A1 BE CONTI REINCO COSTS F RIAL, LAE NITH AI RIGATED 45 DAYS NT REGA	G: IN DIAMETER NED TO DRA ALL BE SOW APPROVED E THE RATE (ROLLED WIT RPORATE SI GOR PROPOS BOR, FREIGH N AUTOMATE WITH POP-U S AFTER SEE ARDING ITS P HALL CONFO DUE TO SICK	R AND DERATELY IN. VN WITH THE QUAL. DF 8 LBS PER H EROSION EED INTO TOP EED AND IT, HANDLING, ED DRIP SYSTEM. IP SPRAY HEADS. DING OR UNTIL POLICY ON PLANT DRM TO THE			

EDULE			UNI
T FIXTURE WI TIONS WITH C	TH TOP OF NEARES WNER PRIOR TO O	T DOOR/WINDOW. RDERING FIXTURES.	
IODEL	LAMPS	NOTES	PAR
	(1) 60W	DARK SKY RATED	(2) 2-BE
	(1) 0000	DARKORTRATED	(6) 1-BE
	(1) 18W T-5	DARK SKY RATED	(8) UNI



SITE PLAN

0 10 20

60

40

SCALE: 1" = 20'-0"

RKING CALCS:

2-BEDROOM UNITS (2 / UNIT) = (4) PARKING SPACES

1-BEDROOM UNITS (1.5 / UNIT) = (9) PARKING SPACES

JNITS = (13) PARKING SPACES TOTAL



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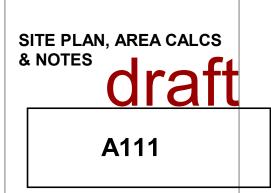
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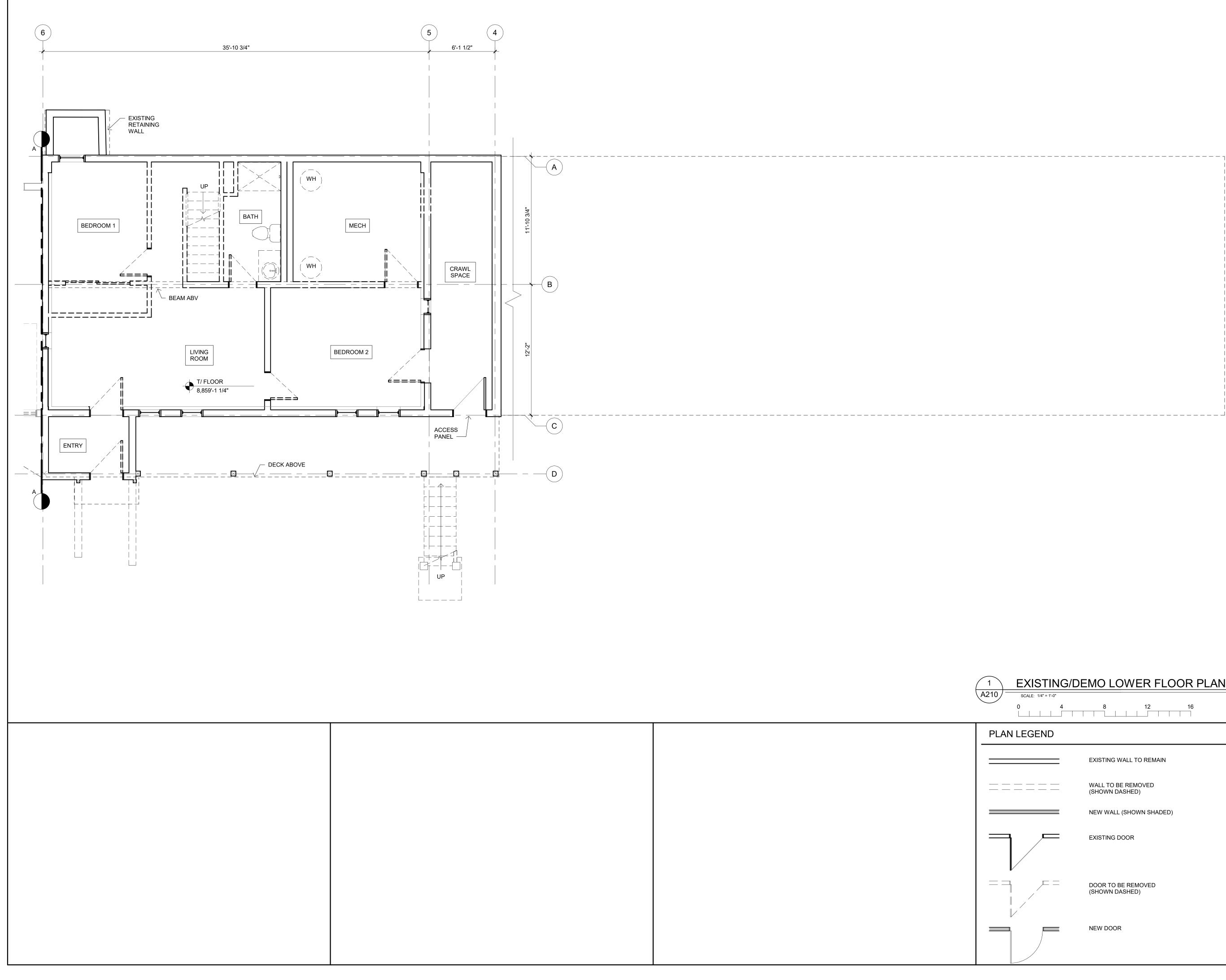
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NORTH



SCALE: 1/4" = 1'-0"

		8 12 16
	PLAN LEGEND	
		EXISTING WALL TO REMAIN
		WALL TO BE REMOVED (SHOWN DASHED)
		NEW WALL (SHOWN SHADED)
		EXISTING DOOR
		DOOR TO BE REMOVED (SHOWN DASHED)
		NEW DOOR



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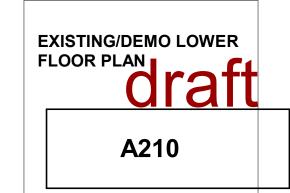
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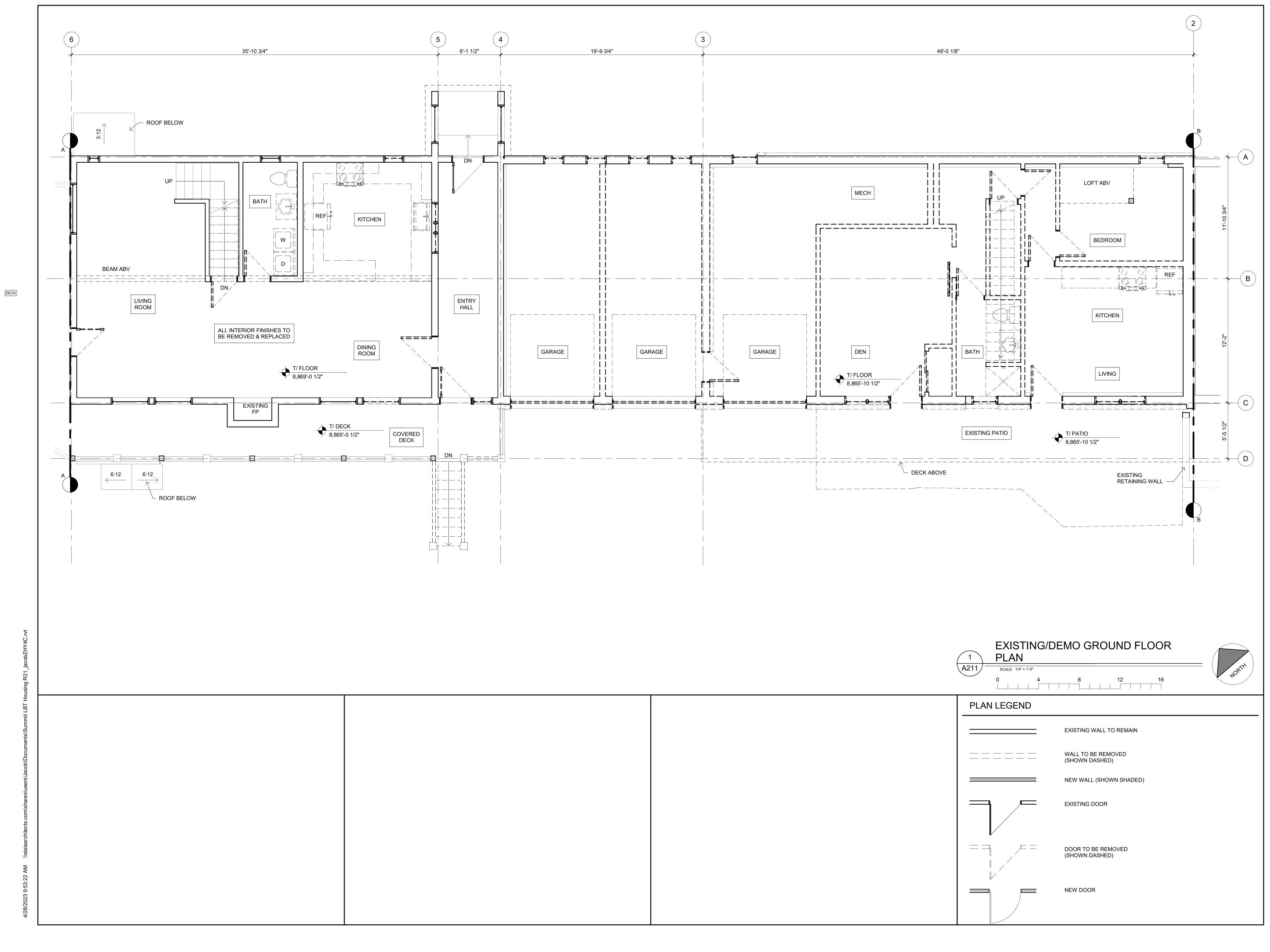
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EXISTING/DEMO LOWER FLOOR PLAN

NORTH

N LEGEND EXISTING WALL TO REMAIN _____ _____ WALL TO BE REMOVED _____ (SHOWN DASHED) NEW WALL (SHOWN SHADED) EXISTING DOOR DOOR TO BE REMOVED (SHOWN DASHED) NEW DOOR



	PLAN L





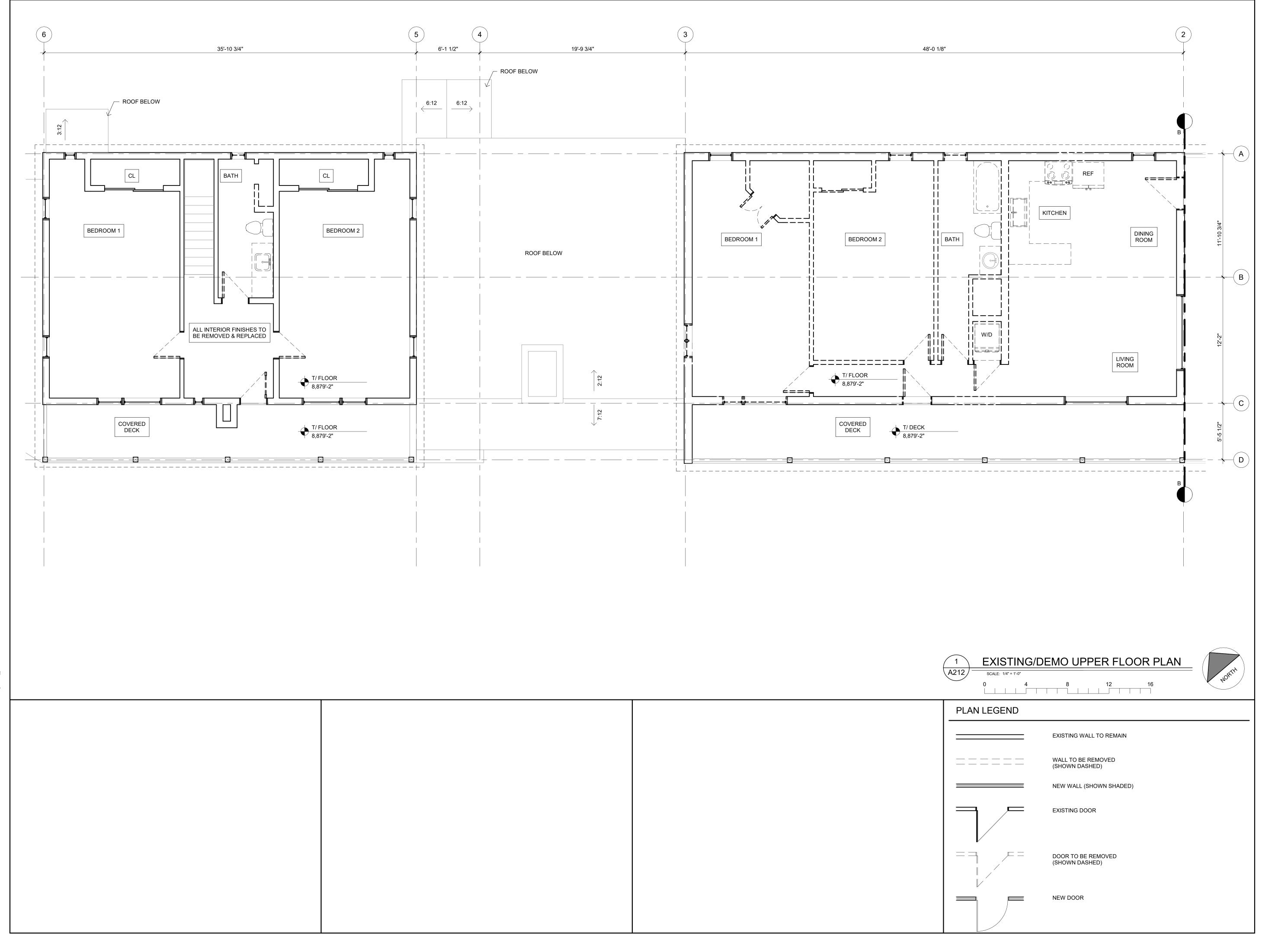
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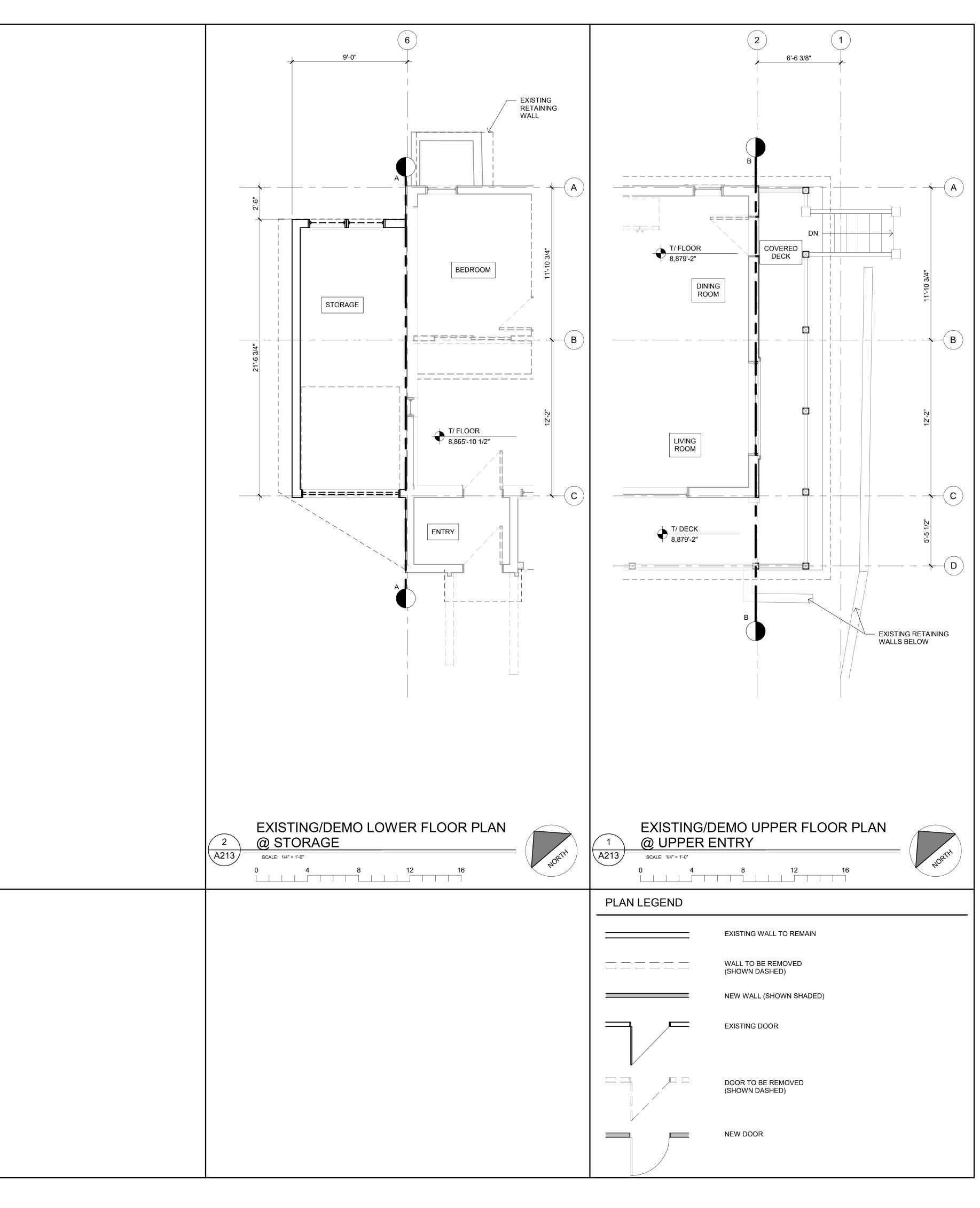
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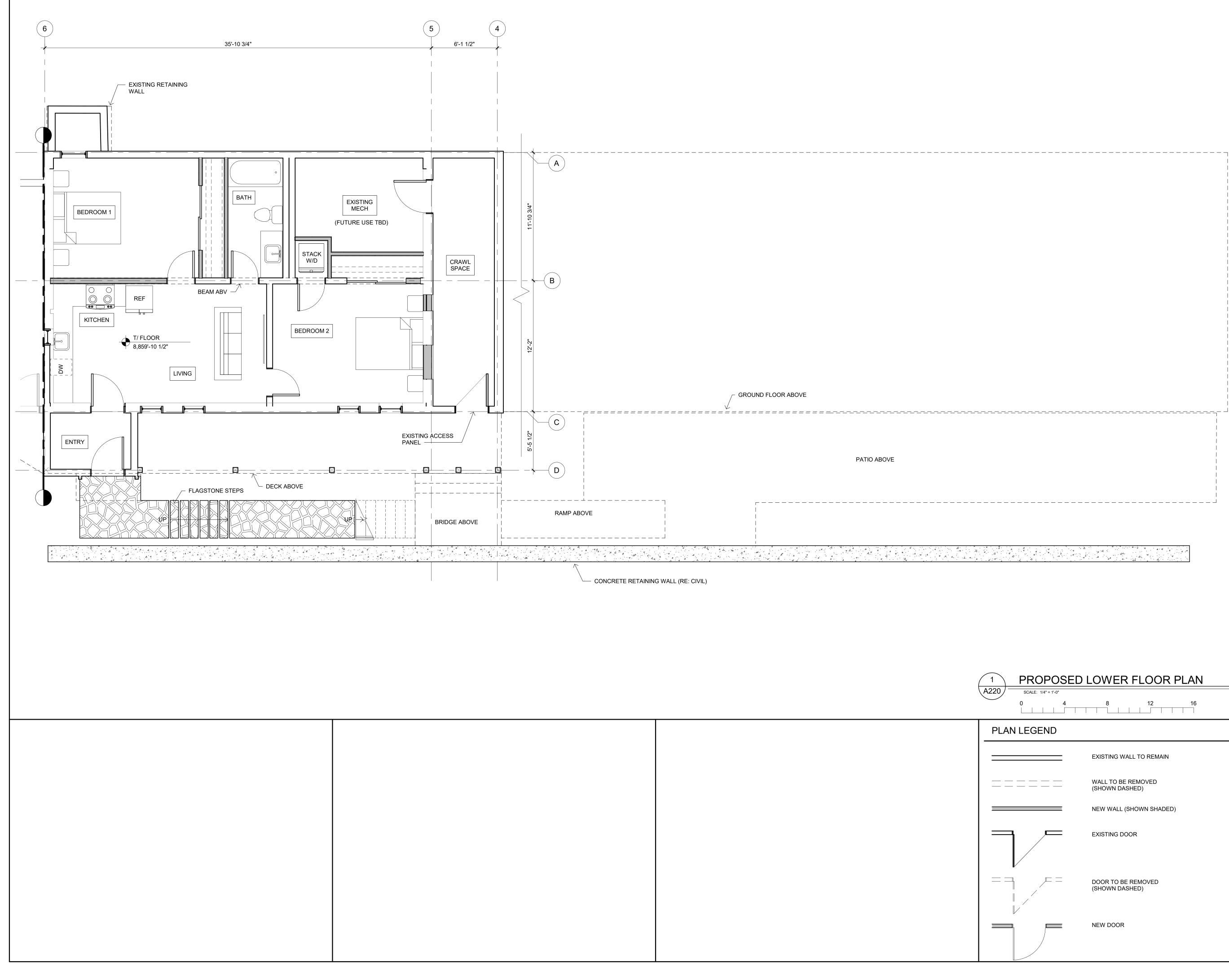
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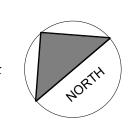
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PROPOSED LOWER FLOOR PLAN SCALE: 1/4" = 1'-0"



N LEGEND	
	EXISTING WALL TO REMAIN
	WALL TO BE REMOVED (SHOWN DASHED)
	NEW WALL (SHOWN SHADED)
	EXISTING DOOR
	DOOR TO BE REMOVED (SHOWN DASHED)
	NEW DOOR

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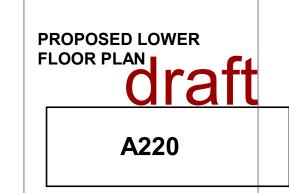
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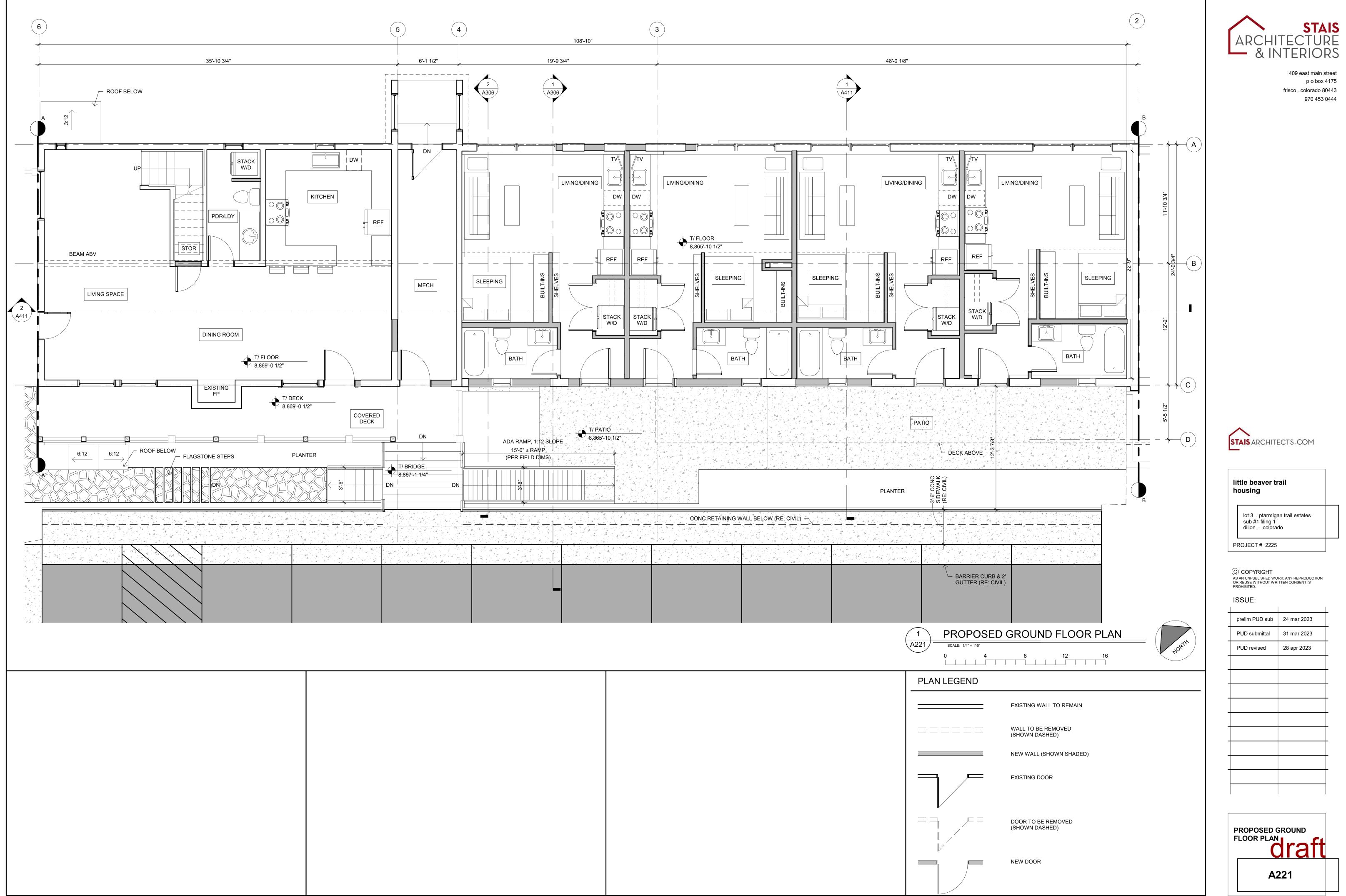
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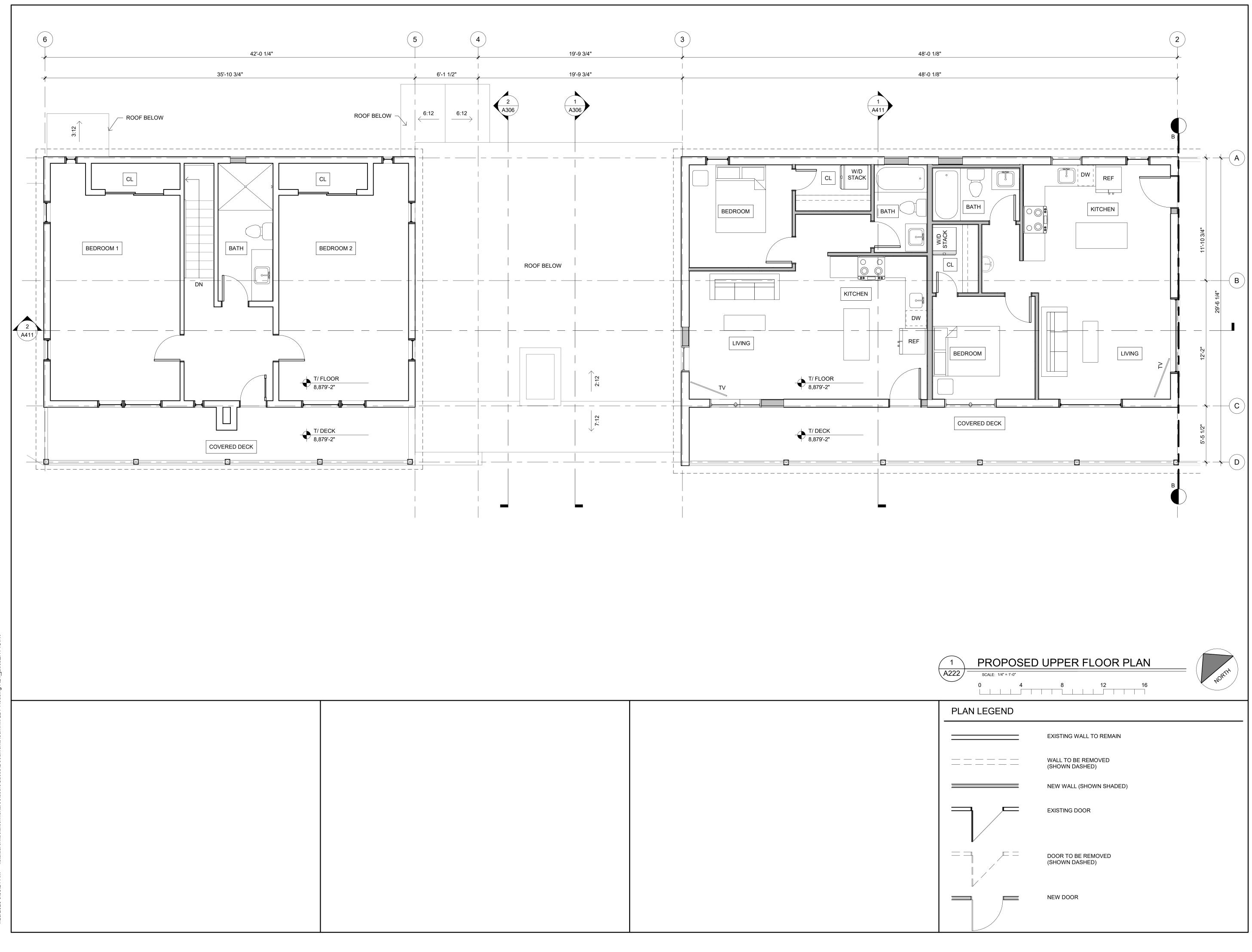
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	PLAN L





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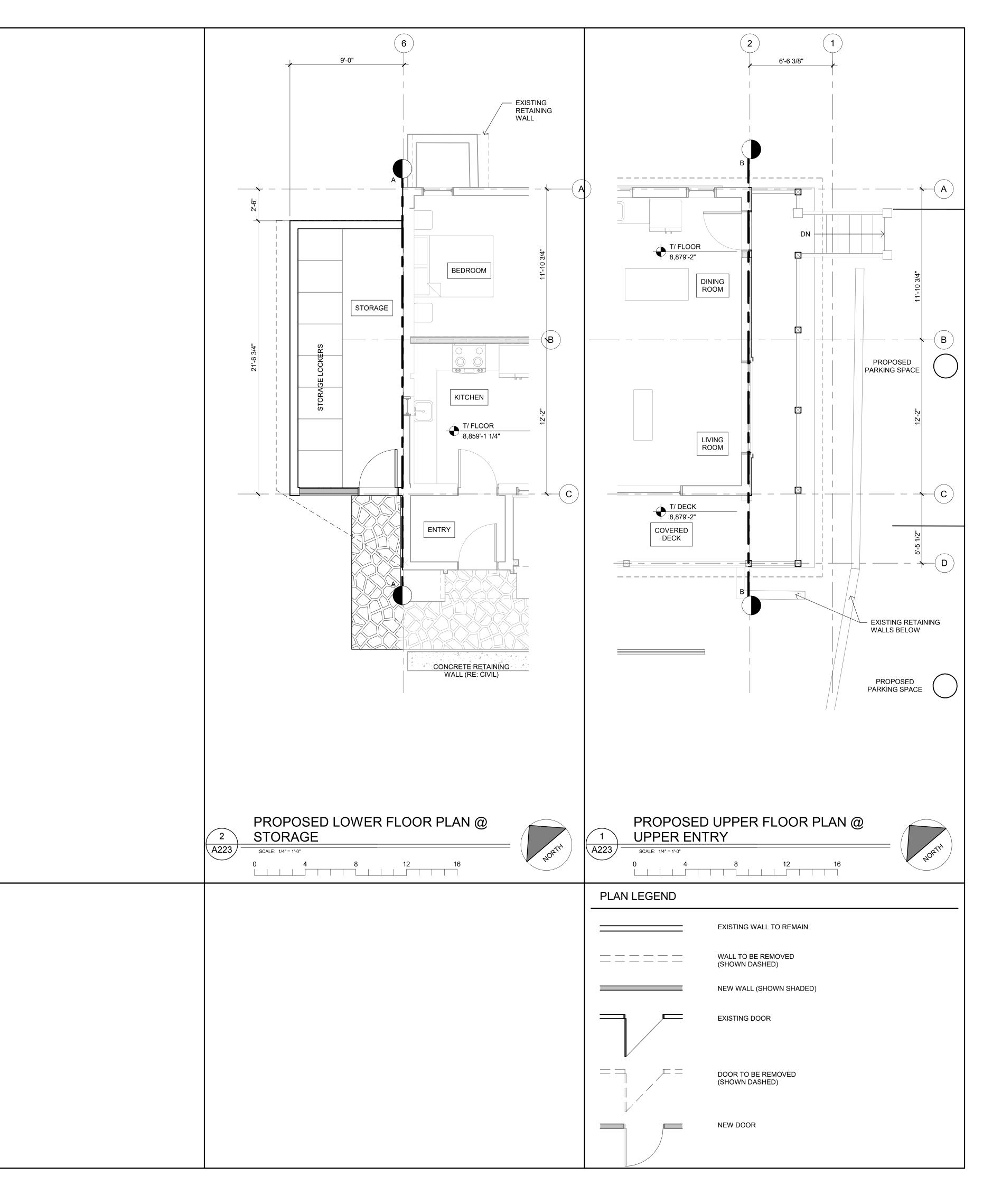
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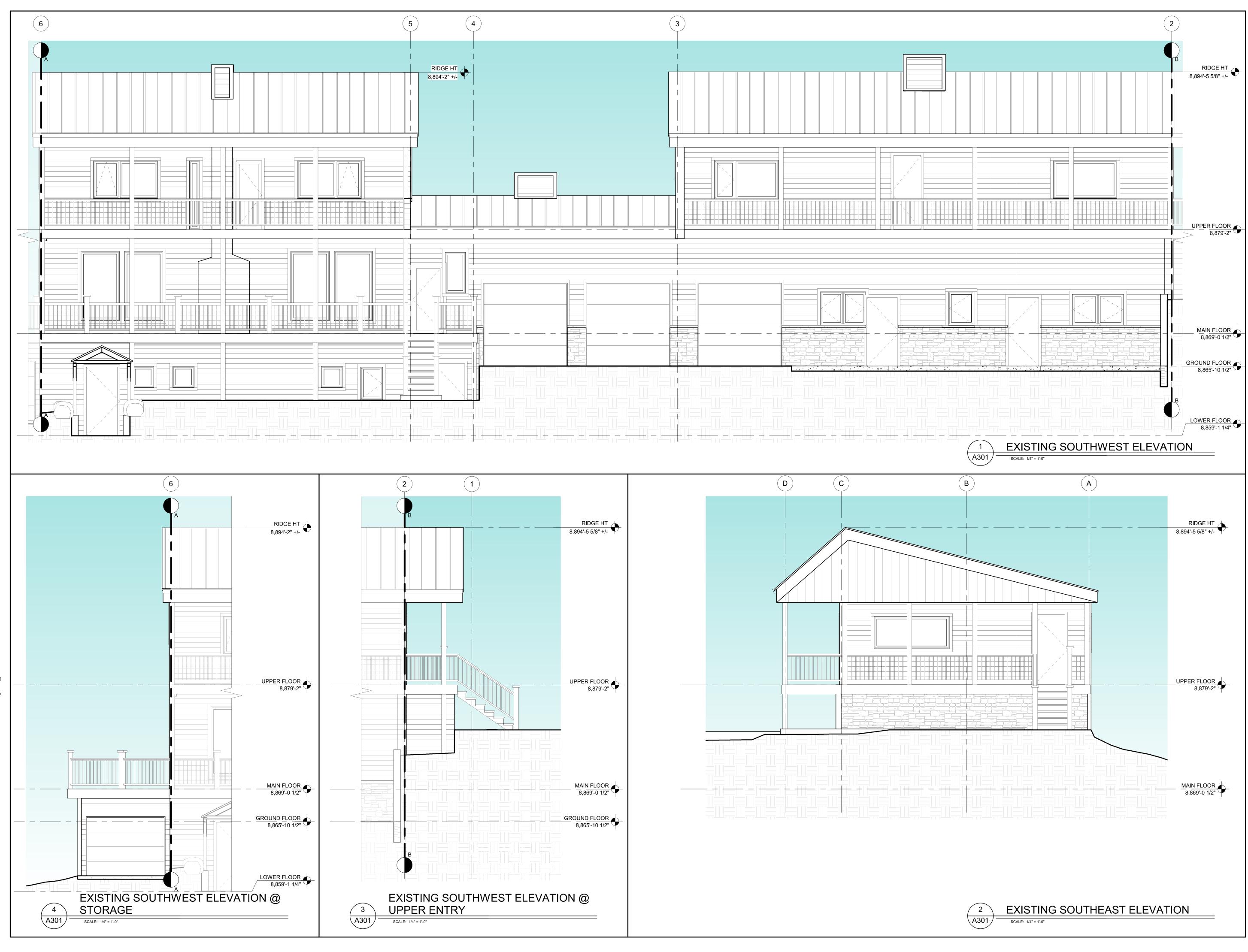
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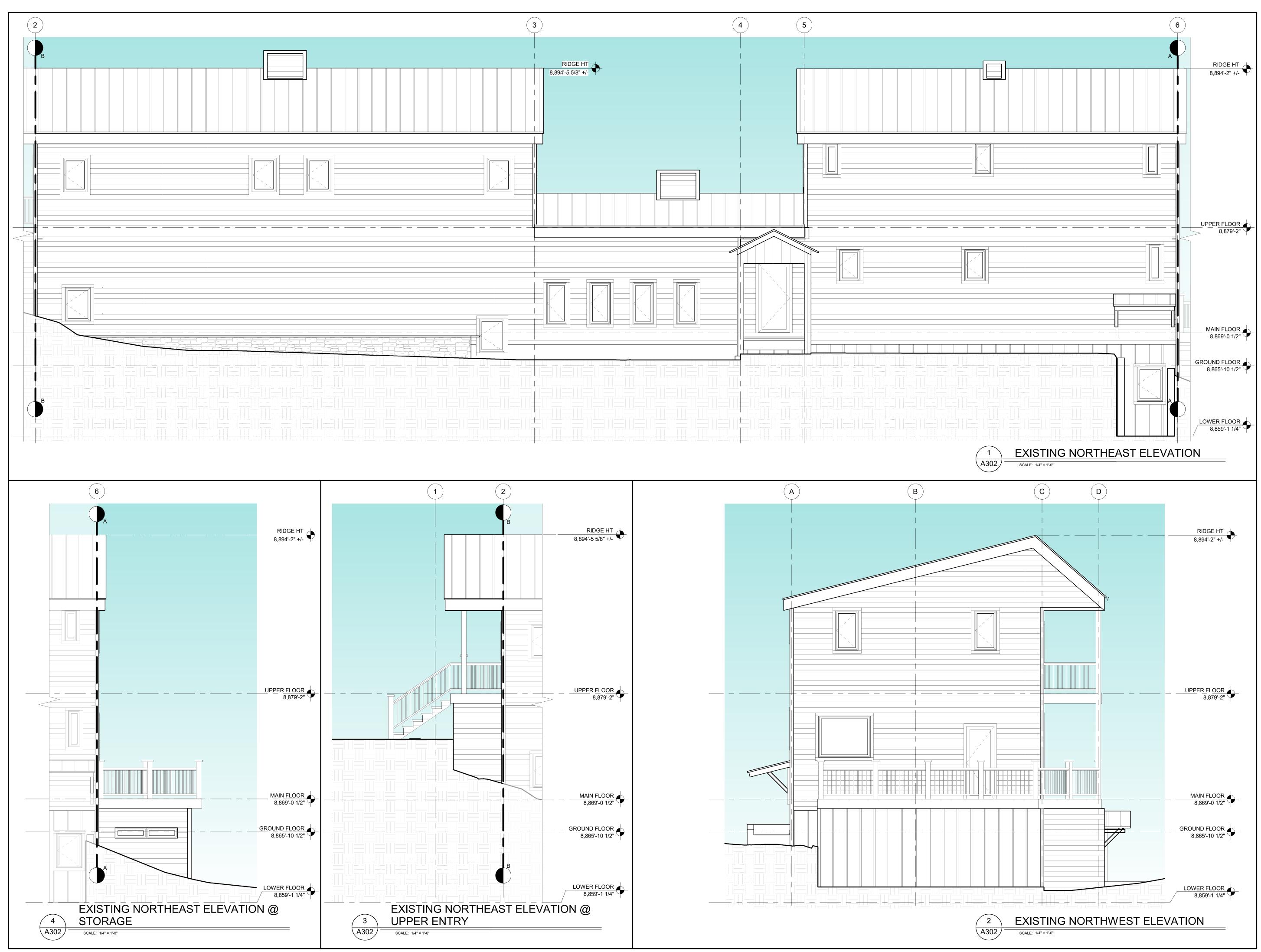
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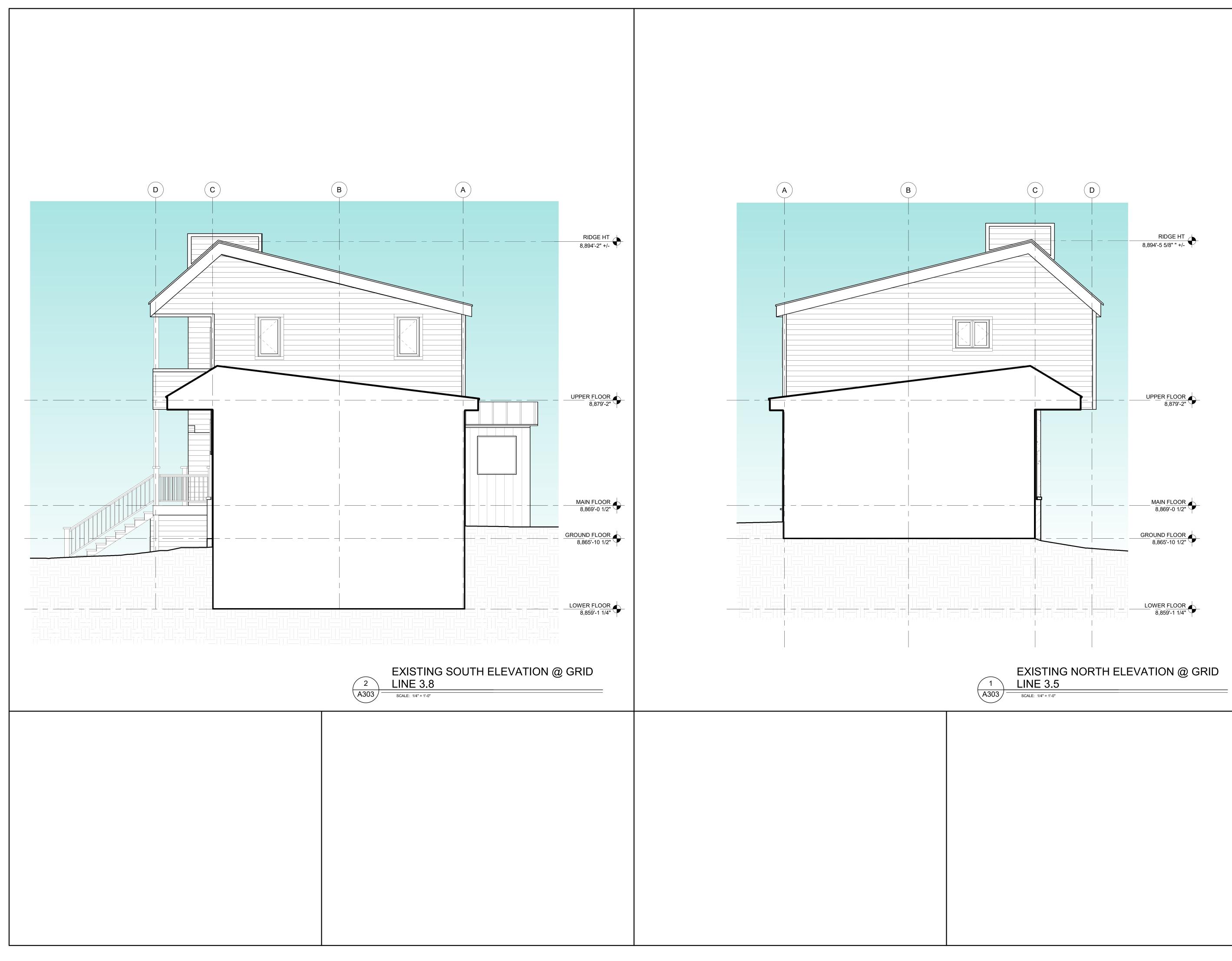
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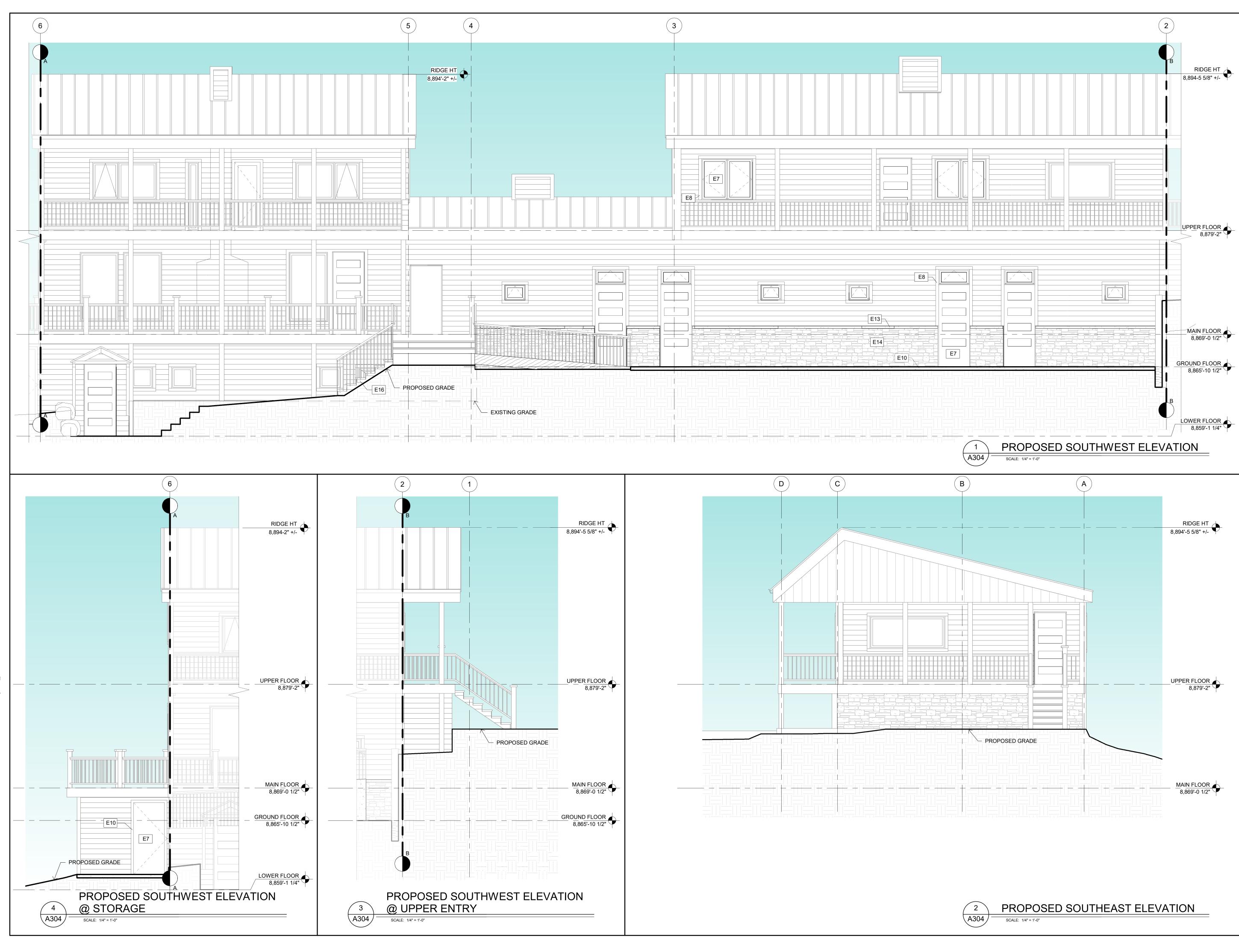
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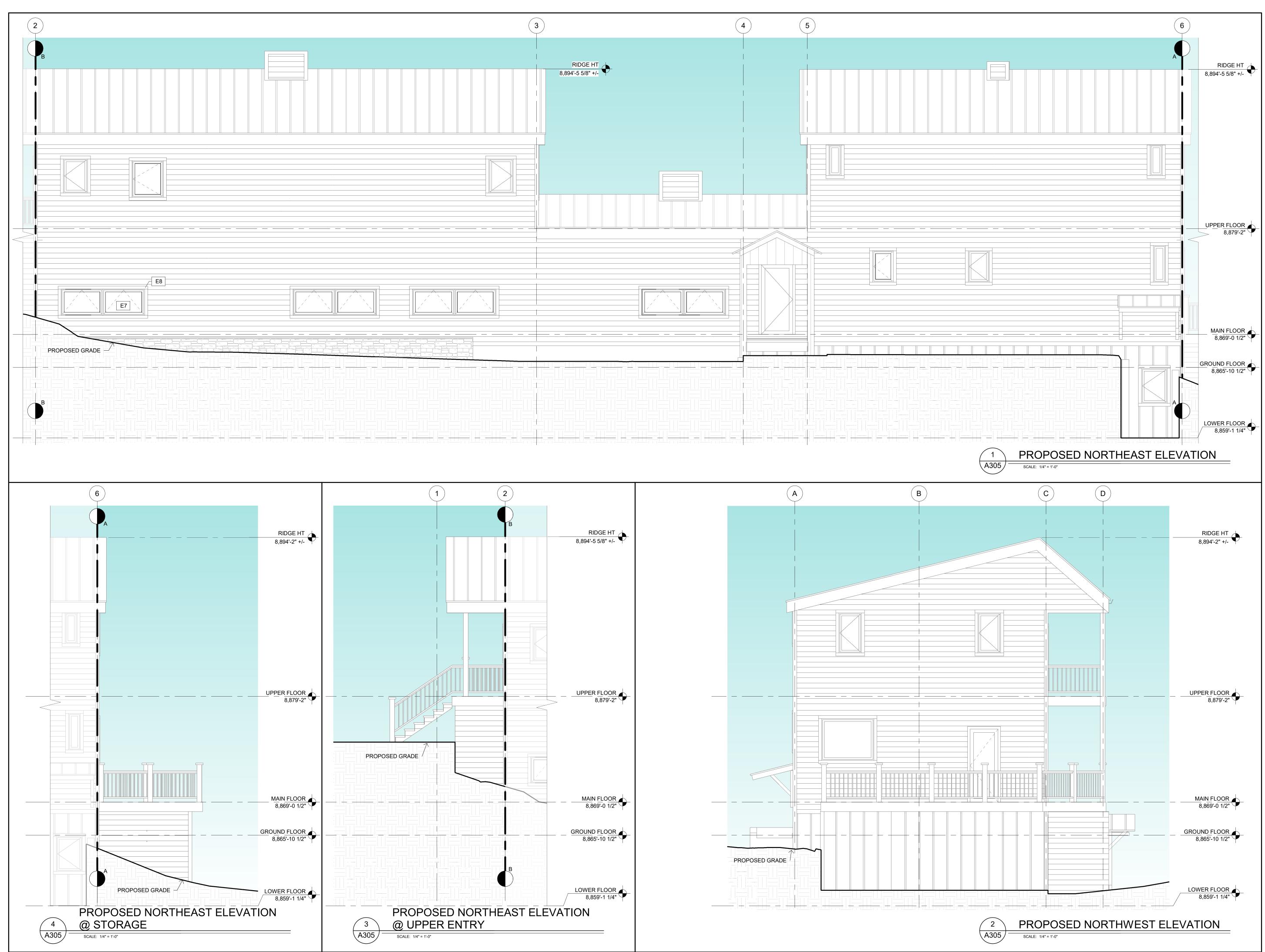


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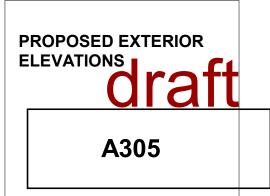
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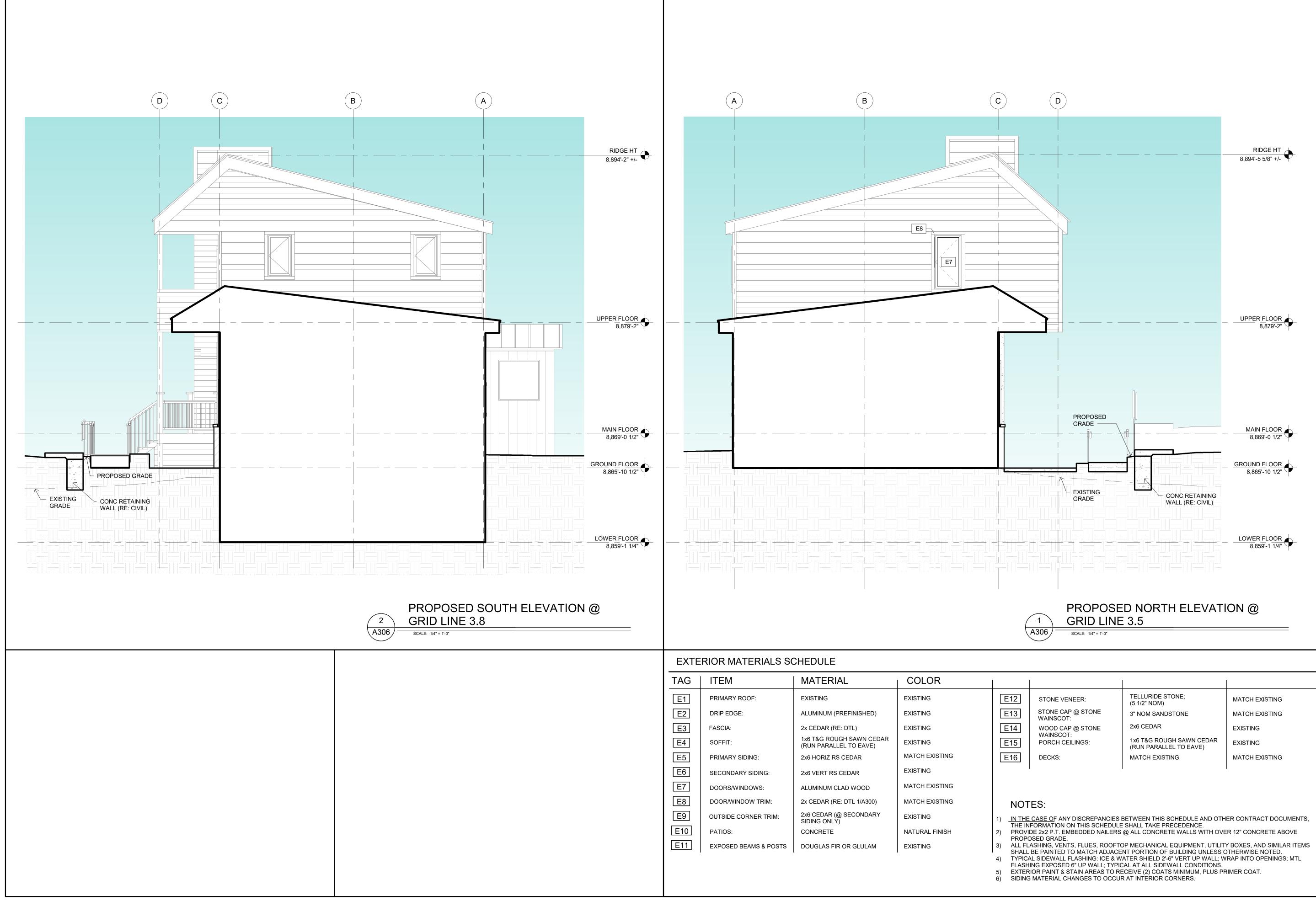


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TAG	ITEM	MATERIAL	COLOR	l
E1	PRIMARY ROOF:	EXISTING	EXISTING	E12
E2	DRIP EDGE:	ALUMINUM (PREFINISHED)	EXISTING	E13
E3	FASCIA:	2x CEDAR (RE: DTL)	EXISTING	E14
E4	SOFFIT:	1x6 T&G ROUGH SAWN CEDAR (RUN PARALLEL TO EAVE)	EXISTING	E15
E5	PRIMARY SIDING:	2x6 HORIZ RS CEDAR	MATCH EXISTING	E16
E6	SECONDARY SIDING:	2x6 VERT RS CEDAR	EXISTING	
E7	DOORS/WINDOWS:	ALUMINUM CLAD WOOD	MATCH EXISTING	
E8	DOOR/WINDOW TRIM:	2x CEDAR (RE: DTL 1/A300)	MATCH EXISTING	NO ⁻
E9	OUTSIDE CORNER TRIM:	2x6 CEDAR (@ SECONDARY SIDING ONLY)	EXISTING	1) <u>IN TH</u> THE I
E10	PATIOS:	CONCRETE	NATURAL FINISH	2) PROV PROF
E11	EXPOSED BEAMS & POSTS	DOUGLAS FIR OR GLULAM	EXISTING	3) ALL F SHAL 4) TYPIC FLASI



STAIS ARCHITECTS.COM

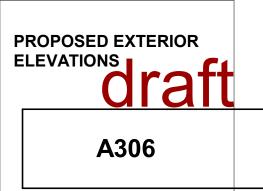
little beaver trail housing

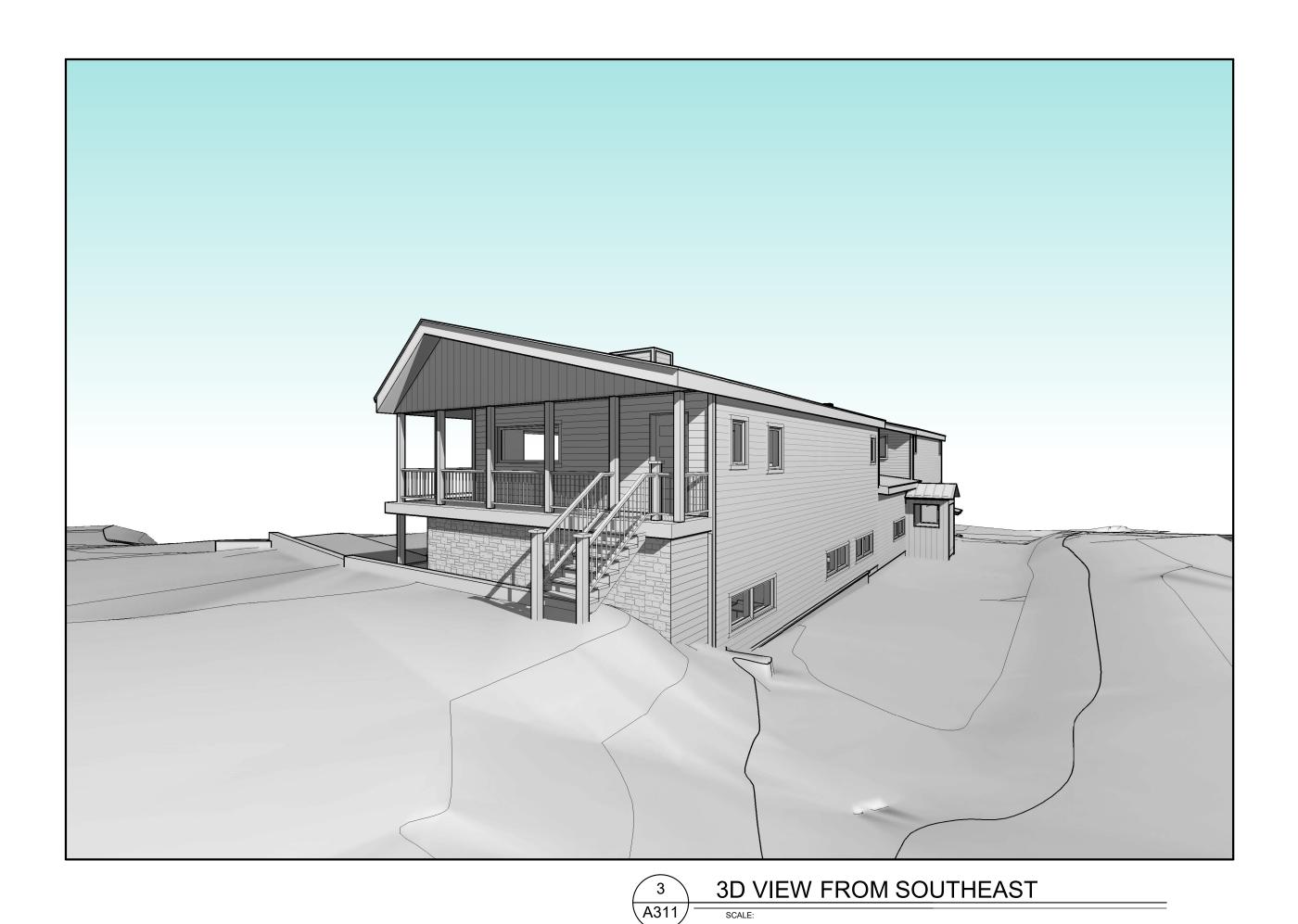
lot 3 . ptarmigan trail estates sub #1 filing 1 dillon . colorado PROJECT # 2225

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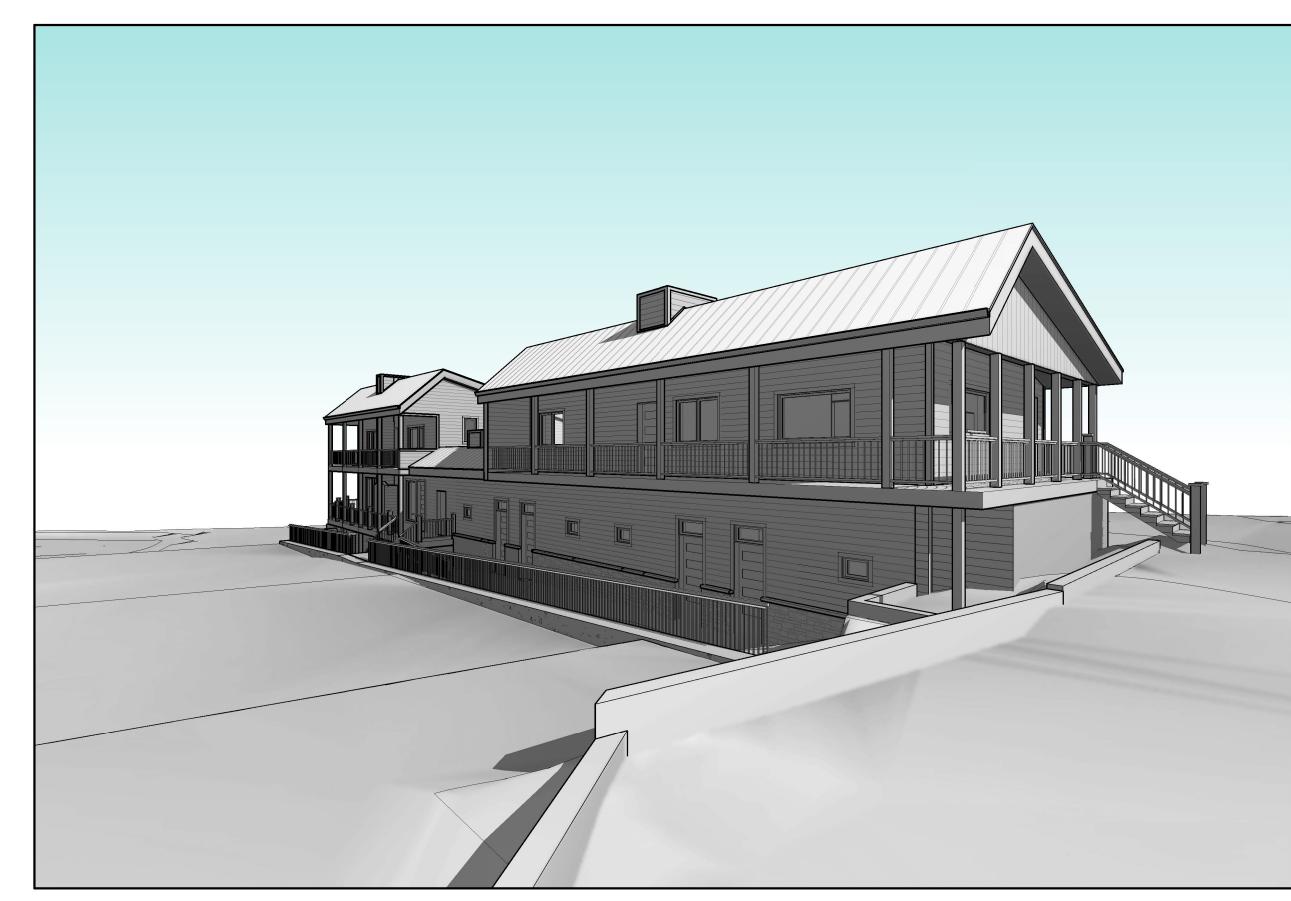
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PUD revised	28 apr 2023









(1) (A311) SCALE



SCALE:

3D VIEW FROM SOUTH



409 east main street p o box 4175 frisco . colorado 80443 970 453 0444



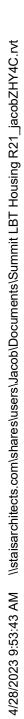
little beaver trail housing

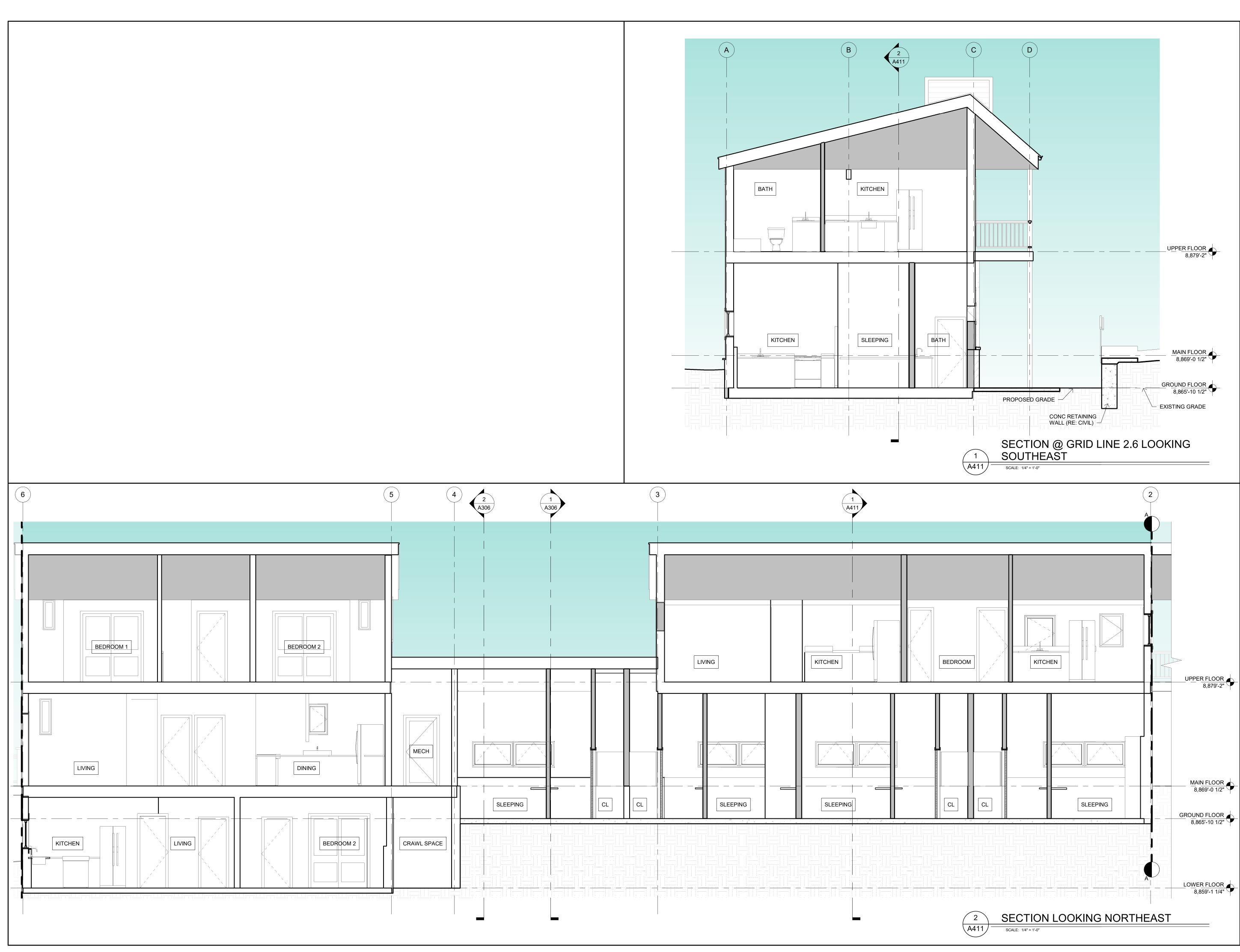
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	ttle beaver trail ousing	
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