

RESOLUTION NO. PZ 05-23
Series of 2023

A RESOLUTION RECOMMENDING APPROVAL OF A LEVEL IV DEVELOPMENT APPLICATION FOR A PUD DEVELOPMENT PLAN FOR 780 LITTLE BEAVER TRAIL.

WHEREAS, the Planning and Zoning Commission of the Town of Dillon (“**Planning Commission**”) has received a Level IV Development Application from Summit County government (“**Applicant**”) for a PUD for the one hundred percent (100%) residential use in the existing structure on the Mixed Use zoned property (“**Application**”) located at 780 Little Beaver Trail (“**Development**”); and

WHEREAS, a Statutory Exemption pursuant to § 31-23-301, C.R.S. (the “Statute”), was granted the Applicant on July 7, 2021 by Resolution PZ 11-21, Series of 2021 exempting the Development from certain provisions of the Dillon Land Development Code permitting the continued use of the three (3) residential units in the existing Development without a mixed-use commercial component; and

WHEREAS, a Statutory Exemption Amendment was granted the Applicant on September 12, 2022 by Resolution PZ 05-22, Series of 2022 to enable an increase in the number of dwelling units in the Development; and

WHEREAS, Resolution PZ 05-22, Series of 2022 conditioned the approval of the Statutory Exemption Amendment with the requirement that the Applicant submit the Application; and

WHEREAS, the Planning Commission has determined that the Application is complete; and

WHEREAS, following the required notice, a public hearing on the Application was held on May 3, 2023, before the Planning Commission; and

WHEREAS, following the public hearing the Planning Commission has made certain findings of fact regarding the Application and has determined that certain conditions which are reasonable and necessary to and relate to impacts created by the development should attach to the Town Council’s approval of the Application.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, AS FOLLOWS:

Section 1. That on May 3, 2023, following the required notice, the Planning Commission held a public hearing on the Application, and following said public hearing makes the following findings of fact:

- A. That the Application is complete.
- B. That the Applicant satisfies the conditions of approval of the Statutory Exemption Amendment as set forth in Resolution PZ 05-22, Series of 2022.
- C. That the Application is in substantial conformance with the Town of Dillon Comprehensive Plan.
- D. That the Application meets the applicable Dillon Municipal Code (“**DMC**” or “**Code**”) requirements.
- E. That the Application is compatible with the existing structure and the surrounding area.
- F. That the Application meets the criteria set forth in the Mixed Use zone district criteria set forth in the Code.
- G. The Application will not have an adverse impact on the surrounding area, and is compatible with the scale, intensity, and type of land uses located on adjacent properties.
- H. The proposed benefits of the Application offset the proposed exceptions to the underlying zone district and such exceptions are in the best interest of the public health, safety and welfare.

Section 2. That the Planning Commission hereby recommends that the Town Council approve the Application for a PUD, with the following conditions:

- A. The Town Manager may approve additional minor changes to the Application that do not change the character or intent of the Application as approved by this resolution.
- B. The applicant shall apply for a Level II Development Permit with the Town for the remodel of a residential building containing greater than one (1) dwelling unit. The Planning Commission recommends that, in view of the community benefits of the project, the application for Level II Development Permit be treated as part of the PUD application, and thus recommends that the Council authorize the Town Manager to waive the fee for Level II Development application in the spirit of DMC § 16-2-80.
- C. The applicant shall apply for a Building Permit with the Summit County Building Inspection Department.
- D. The applicant shall execute such agreements with the Town as required by the Town to preserve the workforce housing component of the project in perpetuity,

including, but not limited to, a Restrictive Covenant and Agreement for Workforce Housing.

- E. Pay water and sewer tap fees (EQRs) including the surcharge for tying the sanitary sewer into the Dillon Valley District system.
- F. Enter into an agreement with the Town assuring the continual management of snow and ice on site and the removal of snow and ice from the site via hauling to an acceptable receiving site.
- G. Permit the Town to install a sidewalk on Little Beaver Trail on or adjacent to the property and provide a sidewalk easement to the Town if requested.
- H. Pave the parking area within one (1) year of receiving the Certificate of Occupancy.
- I. Provide a copy of the Certificate of Occupancy to the Town upon issuance by the Summit County Building Inspection Department.
- J. Offer tenant space for lease to Town of Dillon employees should the County not need to house Summit Stage transit employees or Summit County government employees prior to offering the tenant space for lease to other community workforce.
- K. Obtain a Grading and Excavation Permit from the Town prior to commencing site disturbing activity.
- L. Ensure wetland areas are protected from sedimentation or concentrations of runoff during construction, and with detained runoff at all times upon complete stabilization of the site. The wetlands shall be maintained in their native state and shall not be improved with manmade features without approval by the Town.
- M. Maintain the water quality and detention facility. Remove accumulated sediment and maintain the design volume. The controlled stormwater release orifice shall be maintained as designed.
- N. Spread a minimum of three (3) inches of topsoil over all disturbed areas in preparation for revegetation.
- O. Revegetate all disturbed areas with landscaping including trees, native shrubs, and native grasses.
- P. Mitigate noxious weeds on site.

- Q. Provide waste containers on site within a containment system that screens the waste receptacles in a manner acceptable to the Town. The system shall prevent wildlife access to the waste. Recycling containers are encouraged.
- R. The nonconforming yards shall not be increased in nonconformity and redevelopment of the site setbacks shall conform to the underlying zone requirements for yards, subject to the Town’s approval of an amendment to this PUD or a new PUD.
- S. The Applicant shall work with the project traffic engineer to determine which trees cited in the traffic impact study present a safety concern and determine the recommended mitigation to address the safety concern. This may require working with adjacent property owners to resolve the safety concern.

APPROVED AND ADOPTED THIS 3RD DAY OF MAY, 2023, BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO.

**PLANNING AND ZONING COMMISSION,
TOWN OF DILLON**

By: _____
Alison Johnston, Chairperson

ATTEST:

By: _____
Elizabeth Muzi, Secretary to the Commission

Resolution PZ 05-23, Series of 2023

EXHIBIT 'A'

780 Little Beaver Trail PUD

Development Plan

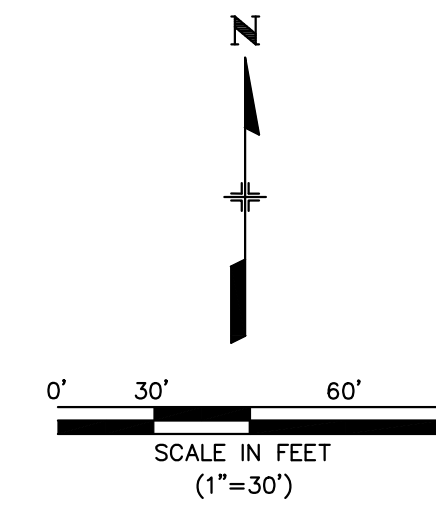
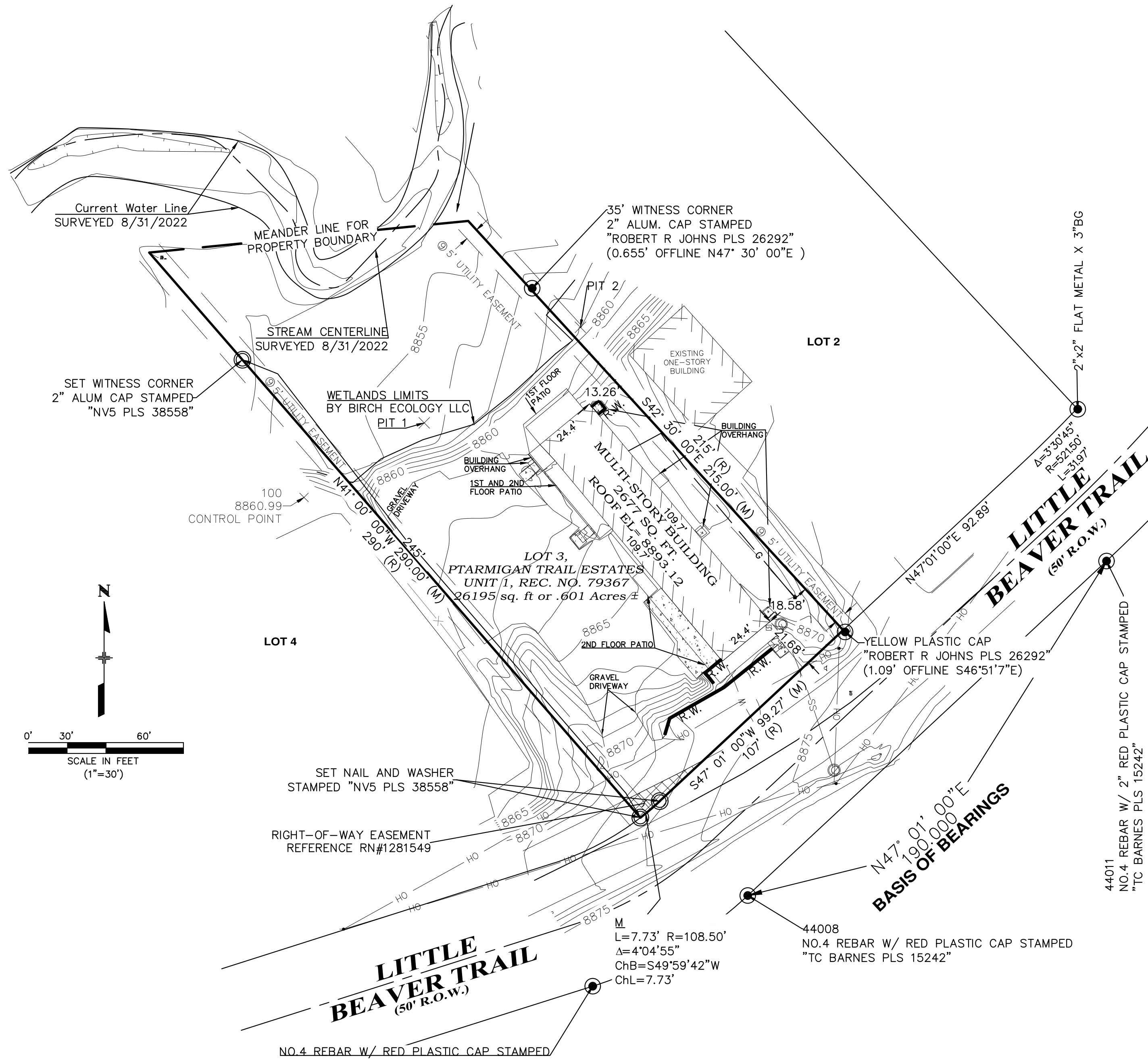
ALTA/NSPS SURVEY

Lot 3, Ptarmigan Trail Estates Unit 1

Situated in Section 7,

Township 5 South, Range 77 West of the 6th Principal Meridian,

County of Summit, State of Colorado



LEGEND

- Property Corner - Set PLS 38558, as noted
- Property Corner - Found, as noted
- ⊕ Section Corner
- ⊗ Water Valve
- ⊙ Sanitary Sewer Manhole
- ⊞ Electric Meter
- ⊖ Power Pole
- ⊕ Gas Riser
- Fire Hydrant
- ⊖ Retaining Wall
- M - Measured
- R - Recorded
- ⊞ Stairs
- ⊖ Concrete
- Property Line
- Fence
- Gas Line
- Water Line
- Sanitary Sewer
- Overhead Electric
- Building

BASIS OF BEARINGS

BEARINGS ARE REFERENCED TO GRID NORTH AS DEFINED BY THE COLORADO COORDINATE SYSTEM 1983, ZONE CENTRAL AND ARE BASED ON THE CALCULATED LINE FROM POINT 44008 TO POINT 44011 PER PTARMIGAN TRAIL ESTATES MAP, RECEPTION No. 79367, I.E. N47°01'00"E.

BASIS OF COORDINATES

COORDINATES ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 AND ARE EXPRESSED IN TERMS OF THE COLORADO COORDINATE SYSTEM 1983, ZONE CENTRAL, AT EPOCH 2010.0 AND ARE BASED ON POINT "100" PER OPUS SOLUTION. THE VALUE FOR POINT "100" IS N: 1655692.183 E: 2843307.048

BENCHMARK

BASIS OF ELEVATION: ELEVATIONS ARE REFERENCED TO NAVD88, UTILIZING GEOID18 AND DETERMINED BY OPUS FOR POINT #100.

NAVD88 ELEVATION = 8860.99

NOTES

PARCEL DESCRIPTION:

(FROM TITLE COMMITMENT ORDER NO. MRG20205705-4 DATED MAY 6, 2021, PREPARED BY: LAND TITLE GUARANTEE COMPANY, INC.)

LOT 3, PTARMIGAN TRAIL ESTATES UNIT 1, RECEPTION No. 79367, COUNTY OF SUMMIT, STATE OF COLORADO.

GENERAL NOTES:

- THIS SURVEY PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY NV5, INC. OR THE SURVEYOR-OF-RECORD. NV5, INC. AND THE SURVEYOR-OF-RECORD RELIED ENTIRELY UPON THE TITLE COMMITMENT PREPARED BY LAND TITLE GUARANTEE COMPANY, INC., ORDER NO. MRG20205705-4, DATED MAY 6, 2021, FOR RECORDED INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES IN THE PREPARATION OF THIS SURVEY.
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- NV5, INC. AND THE SURVEYOR-OF-RECORD PREPARED THIS ALTA/NSPS LAND TITLE SURVEY FOR THE EXCLUSIVE USE OF:

BOARD OF COUNTY COMMISSIONERS OF SUMMIT COUNTY, COLORADO

AS NAMED IN THE SURVEYOR'S CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITY WITHOUT AN EXPRESS STATEMENT BY THE SURVEYOR-OF-RECORD.

- THIS SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR-OF-RECORD.
- UNIT OF MEASURE: U.S. SURVEY FEET
- DATES OF FIELD SURVEY: AUGUST 23, 30, 31, AND SEPTEMBER 1, 2022.

ZONE: MU

FLOOR SPACE RESTRICTIONS: MULTI-FAMILY RESIDENTIAL USES ARE ONLY ALLOWED AS A PERMITTED USE IF DEVELOPED IN CONJUNCTION WITH A RETAIL STORE, ENTERTAINMENT USE, MEDICAL OR DENTAL CLINIC, RESTAURANT OR OFFICE USE, OR SIMILAR USE. THE MULTI-FAMILY RESIDENTIAL USE SHALL NOT EXCEED EIGHTY PERCENT (80%) OF THE TOTAL GROSS SQUARE FOOTAGE OF A BUILDING, OR A COMBINATION OF BUILDINGS ON ANY ONE (1) LOT AT ANY ONE (1) TIME, EXCEPT AS PROVIDED IN SUBSECTION 16-3-170(5)C.3. A PROJECT DEVELOPED THROUGH THE PUD PROCESS WITH UP TO ONE HUNDRED PERCENT (100%) MULTI-FAMILY RESIDENTIAL USE MAY BE APPROVED, PROVIDED THAT THE PUD DEVELOPMENT PLAN FURTHERS THE OBJECTIVES OF THE TOWN, THE PUD IS IN GENERAL CONFORMITY WITH THE ADOPTED COMPREHENSIVE PLAN, AND IS DESIGNED TO COMPLEMENT THE SURROUNDING AREAS, BLEND INTO THE ARCHITECTURAL CHARACTER OF THE COMMUNITY, AND MEET THE CRITERIA SET FORTH IN ARTICLE V OF THIS CHAPTER AND THE MULTI-FAMILY RESIDENTIAL STANDARDS OF THIS SECTION.

PARKING: PARKING FOR THE MULTIFAMILY RESIDENTIAL USES SHALL BE DISTINCT FROM ANY OTHER PARKING ON-SITE, SHALL BE IN A SEPARATE AREA (SEPARATE FROM THE RETAIL/OFFICE/ETC. PARKING) WHENEVER POSSIBLE AND SHALL BE SIGNED FOR THE EXCLUSIVE USE OF THE RESIDENTS.

LOT SIZE: 10,000 SQ. FT. MIN
LOT WIDTH: 80' MIN

BUILDING SETBACKS: FRONT: 25' MIN
SIDE YARD: 10' MIN
STREET SIDE YARD: 20' MIN
REAR YARD: 20' MIN
YARD ABUT RESIDENTIAL: 25' MIN
BUILDING HEIGHT: 35' MAX CURRENT HEIGHT: 29.7'

- THE PROPERTY SHOWN HEREON APPEARS TO LIE WITHIN ZONE "AE" (AREAS WITHIN 100-YR FLOODPLAIN) AND ZONE "X" (AREAS OUTSIDE 200-YR FLOODPLAIN) PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 0817C0243F DATED NOVEMBER 16, 2018. NO FLOOD HAZARD ANALYSIS HAS BEEN CONDUCTED.
- THE LOCATIONS OF UTILITIES AS SHOWN HEREON ARE BASED ON VISIBLE SURFACE EVIDENCE AND MARKOUT PER RECONN UTILITY SERVICES. NV5 AND THE SURVEYOR-OF-RECORD MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. NV5 AND THE SURVEYOR-OF-RECORD FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED. FOR EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES, THE UTILITY SHOULD BE FIELD LOCATED BY THE APPROPRIATE UTILITY COMPANY AND EXCAVATION OR POT-HOLING IS RECOMMENDED. PRIOR TO FUTURE GRADING OR CONSTRUCTION, AN INDEPENDENT SITE VERIFICATION SHOULD BE PERFORMED.
- THE SUBJECT PROPERTY HAS ACCESS TO DEDICATED PUBLIC ROADS KNOWN AS: LITTLE BEAVER TRAIL.
- THE DIMENSIONS SHOWN HEREON RELATIVE TO EACH OBJECT OF CULTURE ARE BETWEEN THE PROPERTY LINE AND THE EDGE OF THAT OBJECT CLOSEST TO THE PROPERTY LINE.
- BUILDING DIMENSIONS AND FOOTPRINT AREAS WERE DERIVED FROM CONVENTIONAL FIELD SURVEY AND VISUAL INSPECTION. BUILDING MAX. HEIGHT = 8893.12'

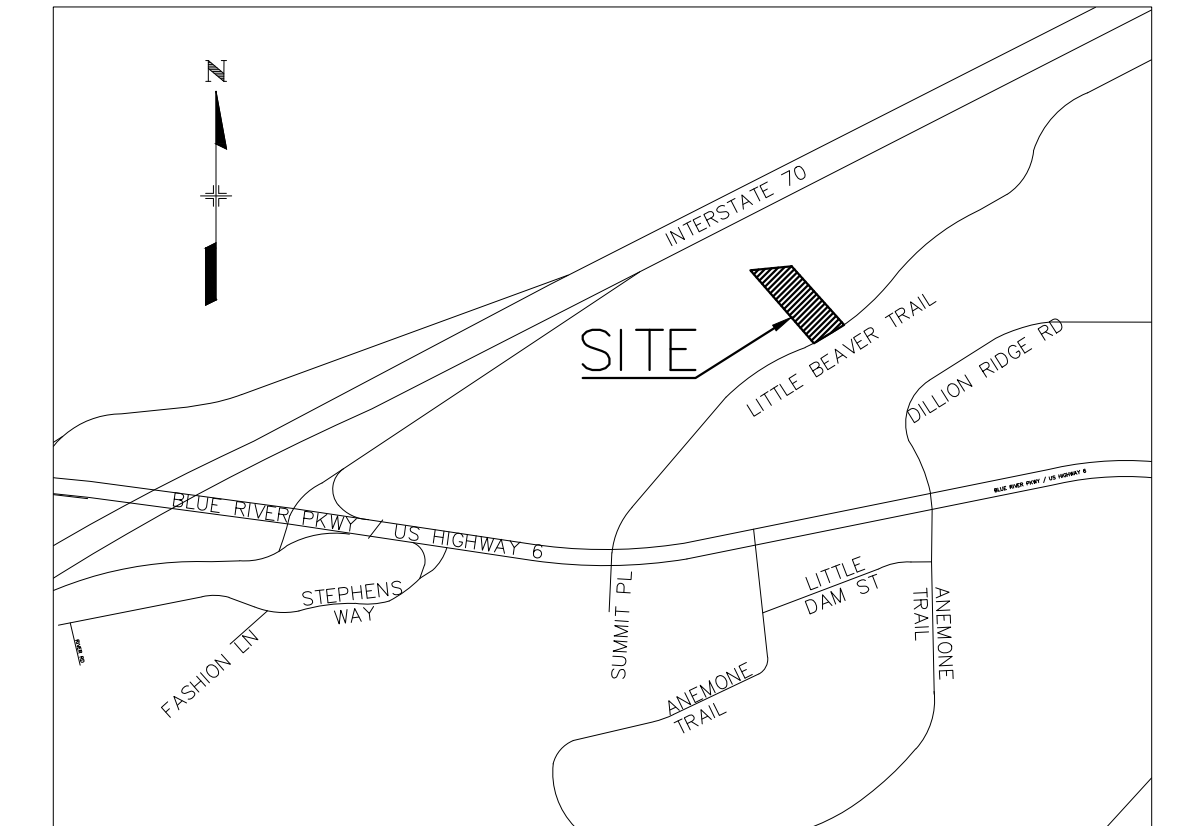
RECORDER'S CERTIFICATION:

This plat was filed for record in the office of Adams County clerk and recorder in the state of Colorado, at _____ on the _____ day of _____, A.D. 2023

File No. _____ Map No. _____ Reception No. _____

County Clerk and Recorder _____ By _____ Deputy

VICINITY MAP - NOT TO SCALE



TITLE COMMITMENT / SCHEDULE B PART 2 EXCEPTIONS

- | ITEM | COMMENT |
|------|---|
| 1-7. | STANDARD EXCEPTIONS |
| 8. | RIGHT OF THE PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES HEREBY GRANTED, AND A RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES, AS RESERVED IN UNITED STATES PATENT RECORDED JULY 10, 1901 IN BOOK 81 AT PAGE 246. AFFECTS SUBJECT PROPERTY, NOTHING TO PLOT. |
| 9. | NOTES, DEDICATIONS AND EASEMENTS SET FORTH ON THE PLAT FOR PTARMIGAN TRAIL ESTATES, UNIT 1 RECORDED JULY 8, 1958 UNDER RECEPTION NO. 79367. AFFECTS SUBJECT PROPERTY AND PLOTTED AS SHOWN. |
| 10. | RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE, AS CONTAINED IN INSTRUMENT RECORDED JULY 17, 1958, IN BOOK 152 AT PAGE 428 AND AS AMENDED IN INSTRUMENT RECORDED DECEMBER 28, 1978 UNDER RECEPTION NO. 185980. AFFECTS SUBJECT PROPERTY: #3 & 5 SHOWN AS PLOTTED #1,2,4,6-8 NOTHING TO PLOT. |
| 11. | TERMS, CONDITIONS AND PROVISIONS OF WETLANDS PERMIT RECORDED JUNE 21, 1982 AT RECEPTION NO. 241312. AFFECTED SUBJECT PROPERTY AT TIME OF FILING, HOWEVER THE UNDERSIGNED IS UNABLE TO DETERMINE ANY VARIATION OF EFFECTS DUE TO AGE OF PROJECT. |
| 12. | TERMS, CONDITIONS AND PROVISIONS OF ORDINANCE RECORDED JUNE 17, 1981 AT RECEPTION NO. 224854. AFFECTS SUBJECT PROPERTY: IN AS THE RELOCATION OF LITTLE BEAVER TRAIL FOR INGRESS/EGRESS ALONG AND IN FRONT OF LOT 12 OF SUBJECT PLATTED SUBDIVISION. |
| 13. | THE EFFECT OF ORDER EXCLUDING SUBJECT PROPERTY FROM THE SILVERTHORNE FIRE PROTECTION DISTRICT RECORDED MAY 07, 1985, UNDER RECEPTION NO. 296372. AFFECTS SUBJECT PROPERTY, NOTHING TO PLOT. |
| 14. | TERMS, CONDITIONS AND PROVISIONS OF ORDER OF CONSOLIDATION RECORDED DECEMBER 18, 1998 AT RECEPTION NO. 584192. AFFECTS SUBJECT PROPERTY, NOTHING TO PLOT. |
| 15. | EXISTING LEASES AND TENANCIES, IF ANY. AFFECTS SUBJECT PROPERTY, NOTHING TO PLOT. |
| 16. | ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING FACTS SHOWN ON IMPROVEMENT LOCATION CERTIFICATE CERTIFIED MAY 24, 2021 PREPARED BY SCHMIDT LAND SURVEYING, INC., JOB NO. 2578: ANY AND ALL MATTERS RELATED TO GRAVEL PARKING ENCROACHING INTO ADJACENT LOT 4; LITTLE BEAVER TRAIL LOCATED OUTSIDE OF RIGHT OF WAY AND ENCROACHING INTO LOT. (IMAGE 37058297) AFFECTS SUBJECT PROPERTY, SHOWN AS PLOTTED. |

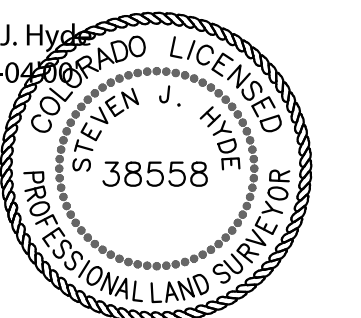
SURVEYOR'S STATEMENT

TO HERITAGE TITLE COMPANY, INC., TRICYCLE LANE TEXAS, LLC, A TEXAS LIMITED LIABILITY COMPANY, HUNT BROTHERS PROPERTIES, INC., A COLORADO CORPORATION, HERITAGE TITLE COMPANY, HERITAGE TITLE COMPANY, HERITAGE TITLE COMPANY, FOLEY & LARDNER, LLP:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 5, 6, 7(A), 7(B), 7(C), 8, 10, 11(A)(B), 12, 14, 18 AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON SEPTEMBER 1, 2022.

DATE OF PLAT OR MAP: SEPTEMBER 7, 2022

Steven J. Hyde Digitally signed by Steven J. Hyde Date: 2023.04.18 14:38:52 -0600



FOR AND ON BEHALF OF NV5, INC.
STEVEN J. HYDE, P.L.S. 38558 NV5, INC.
2420 W 26TH AVENUE, SUITE D-360
DENVER, CO 80211
STEVEN.HYDE@NV5.COM
303.220.6400

DATE: 02/07/22 TIME: 12:16:51 PM
SERVER: NONE LAYOUT: Sheet1
PATH: 780 LITTLE BEAVER ALTA
DRAWING NAME: 20230329_LITTLE_BEAVER_TRAIL_ALTA.DWG
PAGE SETUP: Sheet1
DESIGNER: KJB PROJ. MGR: MAH

NO.	BY	DATE	REVISIONS:
1	JKC	3/29/2023	SHOW POINT 100/UPDATED DATES
2	JKC	4/18/2023	UPDATED TITLE COMMITMENT INFORMATION

NV5

2420 W 26TH AVENUE, SUITE D-360
DENVER, CO 80211
P: 303.220.6400 WWW.NV5.COM

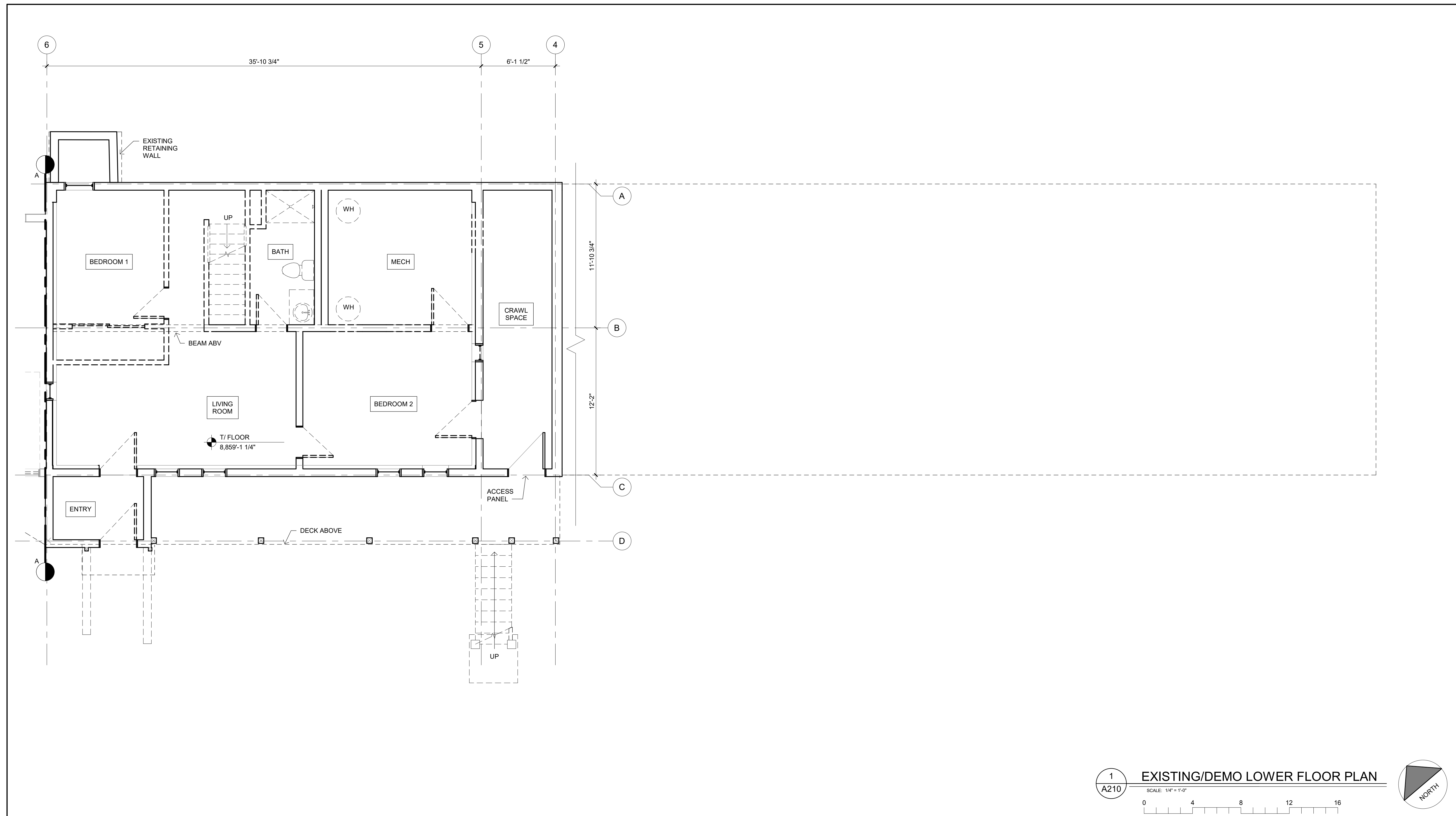
A.L.T.A. / N.S.P.S. LAND TITLE SURVEY
780 LITTLE BEAVER TRAIL
DILLON, CO 80435

SHEET NUMBER

1
OF 1 SHEETS

SCALE
VERTICAL: N/A
HORIZONTAL: 1"=30'

JOB NUMBER
227622-0001371.00



1
A210
EXISTING/DEMO LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN LEGEND

	EXISTING WALL TO REMAIN
	WALL TO BE REMOVED (SHOWN DASHED)
	NEW WALL (SHOWN SHADED)
	EXISTING DOOR
	DOOR TO BE REMOVED (SHOWN DASHED)
	NEW DOOR

little beaver trail housing

lot 3 . plarmigan trail estates
sub #1 filing 1
dillon . colorado

PROJECT # 2225

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ISSUE:

prelim PUD sub	24 mar 2023
PUD submittal	31 mar 2023
PUD revised	28 apr 2023

EXISTING/DEMO LOWER FLOOR PLAN
draft
A210

little beaver trail housing

lot 3 . plarmigan trail estates
sub #1 filing 1
cillon . colorado

PROJECT # 2225

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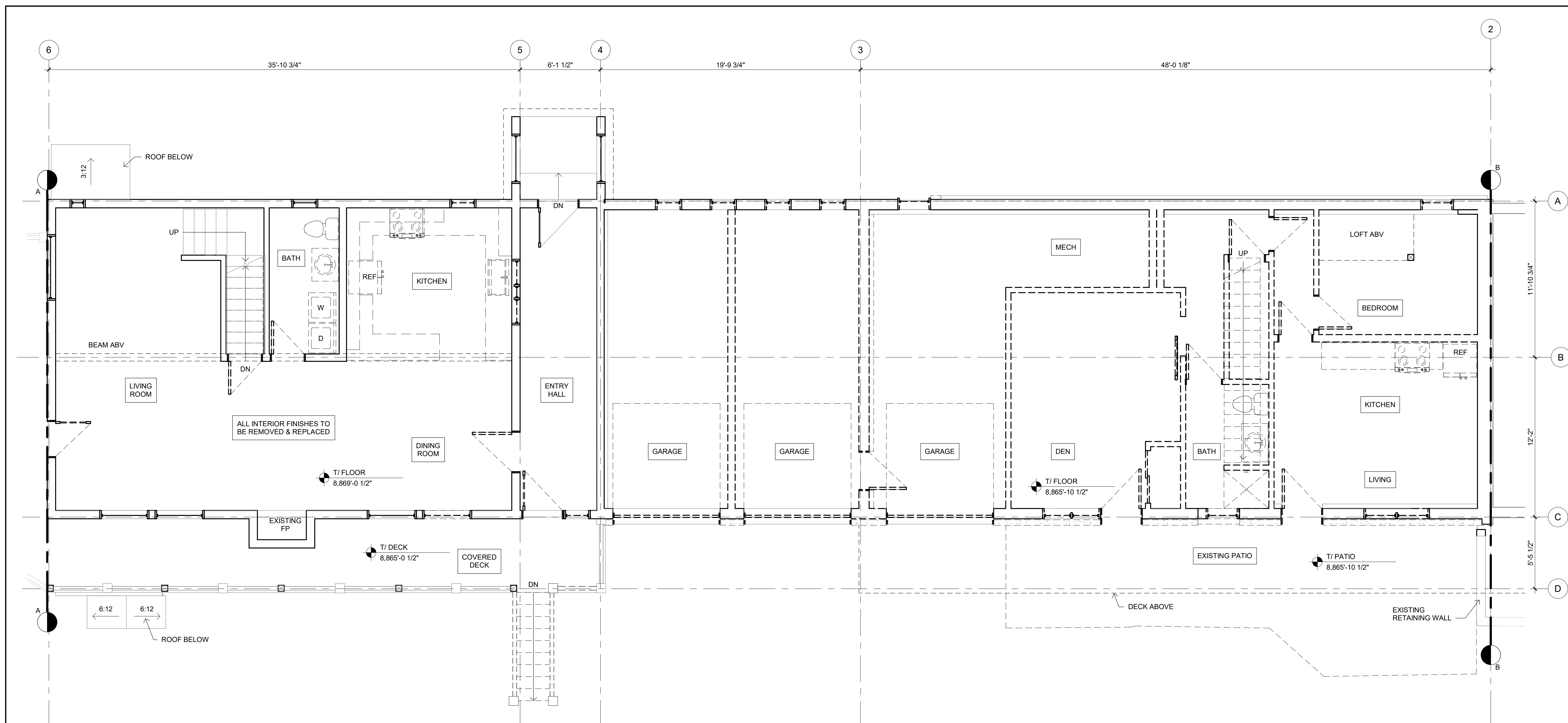
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EXISTING/DEMO
GROUND FLOOR PLAN

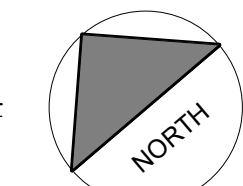
draft

A211

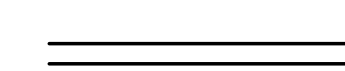
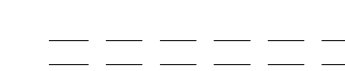






1
A211
EXISTING/DEMO GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"
0 4 8 12 16



PLAN LEGEND

-  EXISTING WALL TO REMAIN
-  WALL TO BE REMOVED (SHOWN DASHED)
-  NEW WALL (SHOWN SHADED)
-  EXISTING DOOR
-  DOOR TO BE REMOVED (SHOWN DASHED)
-  NEW DOOR

little beaver trail housing

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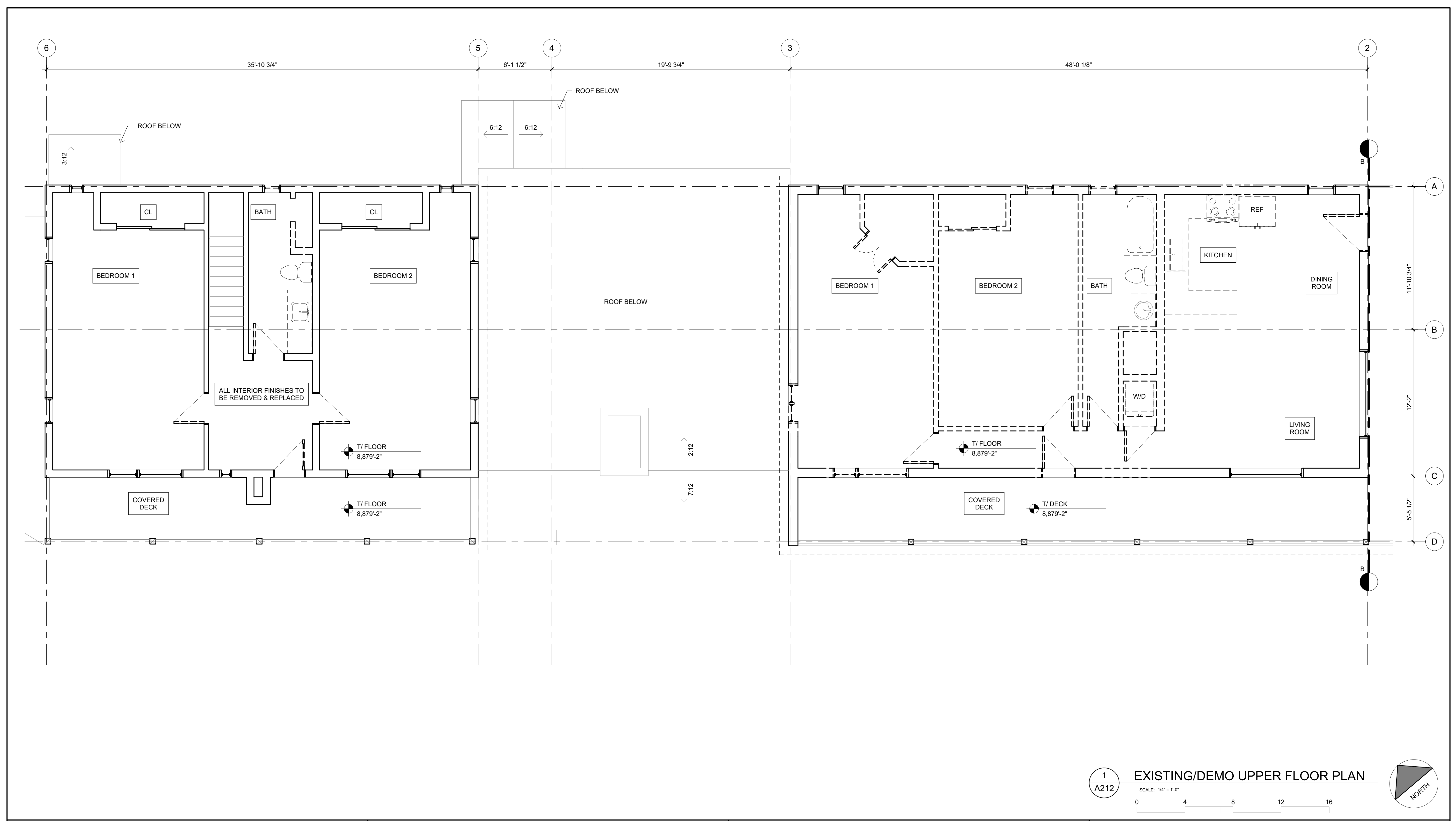
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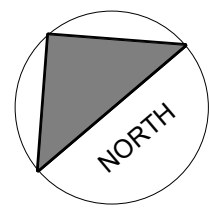
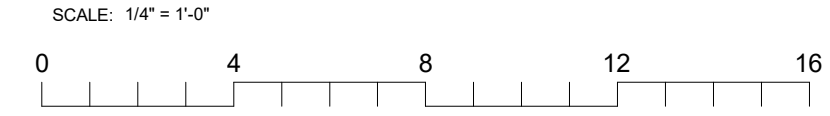
EXISTING/DEMO UPPER FLOOR PLAN

draft

A212



1
A212 **EXISTING/DEMO UPPER FLOOR PLAN**



PLAN LEGEND

	EXISTING WALL TO REMAIN
	WALL TO BE REMOVED (SHOWN DASHED)
	NEW WALL (SHOWN SHADED)
	EXISTING DOOR
	DOOR TO BE REMOVED (SHOWN DASHED)
	NEW DOOR

little beaver trail housing

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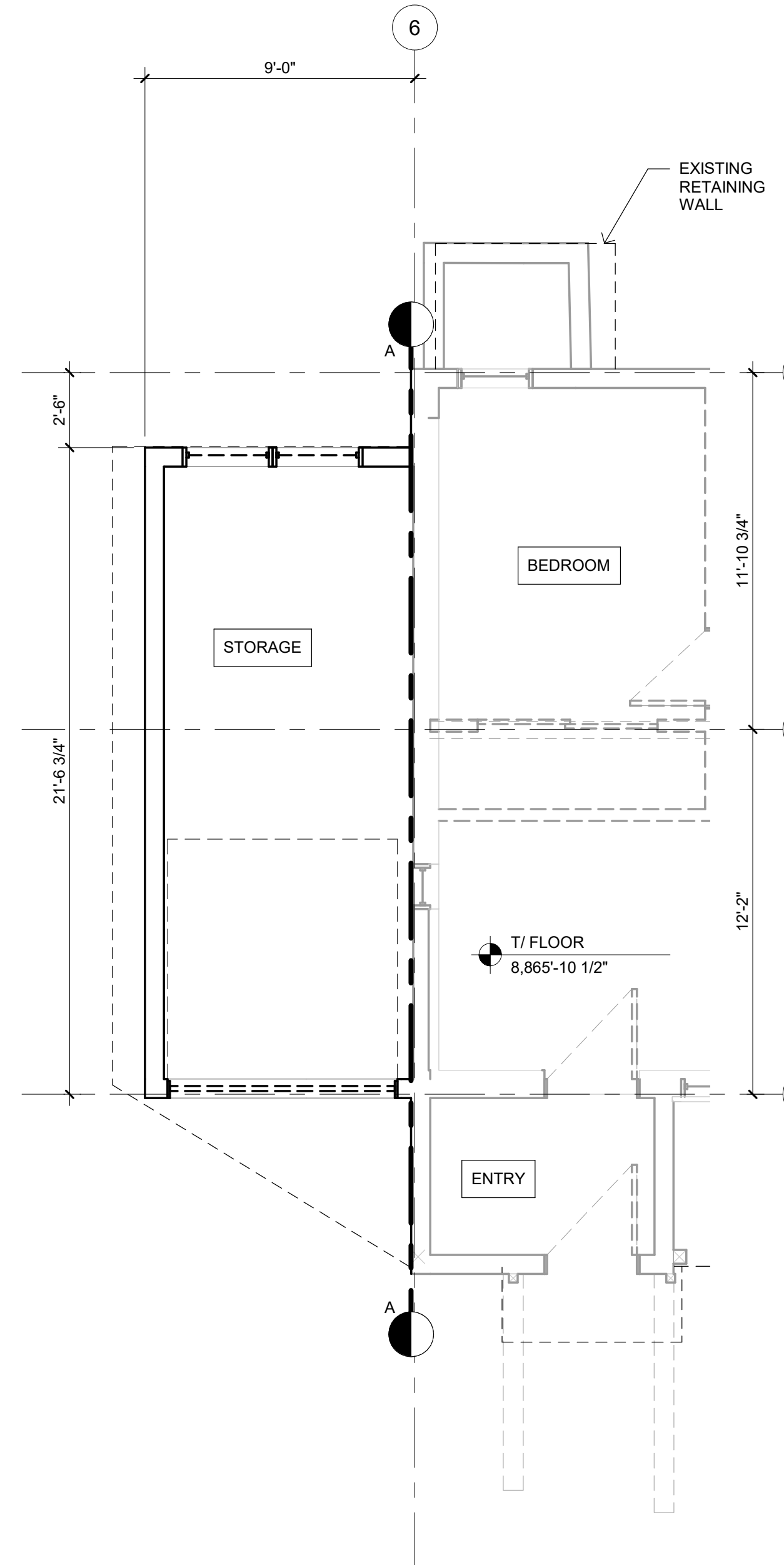
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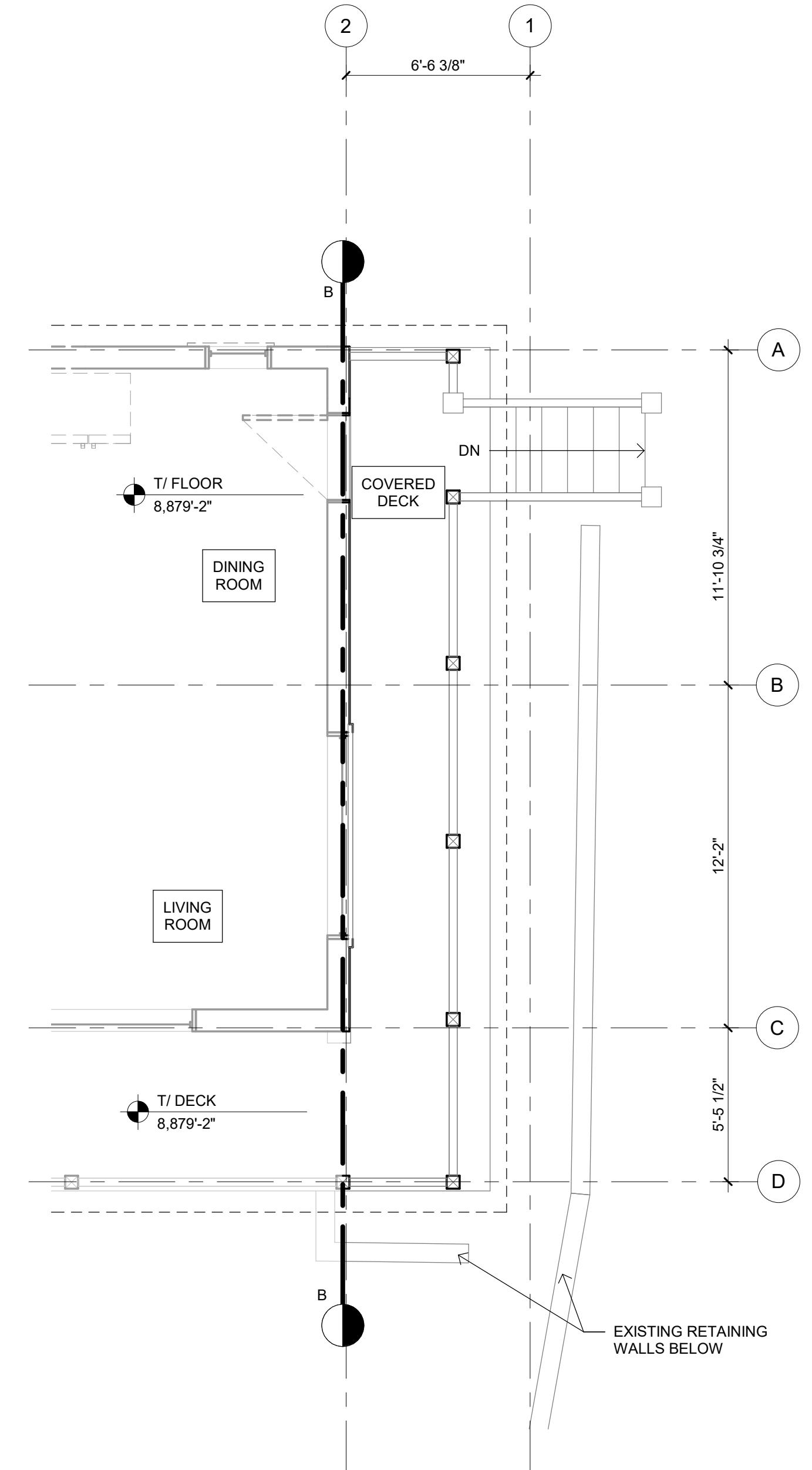
EXISTING/DEMO FLOOR
PLANS @ STORAGE &
DECK

draft

A213



2
A213



1
A213

PLAN LEGEND

- EXISTING WALL TO REMAIN
- WALL TO BE REMOVED (SHOWN DASHED)
- NEW WALL (SHOWN SHADED)
- EXISTING DOOR
- DOOR TO BE REMOVED (SHOWN DASHED)
- NEW DOOR

little beaver trail housing

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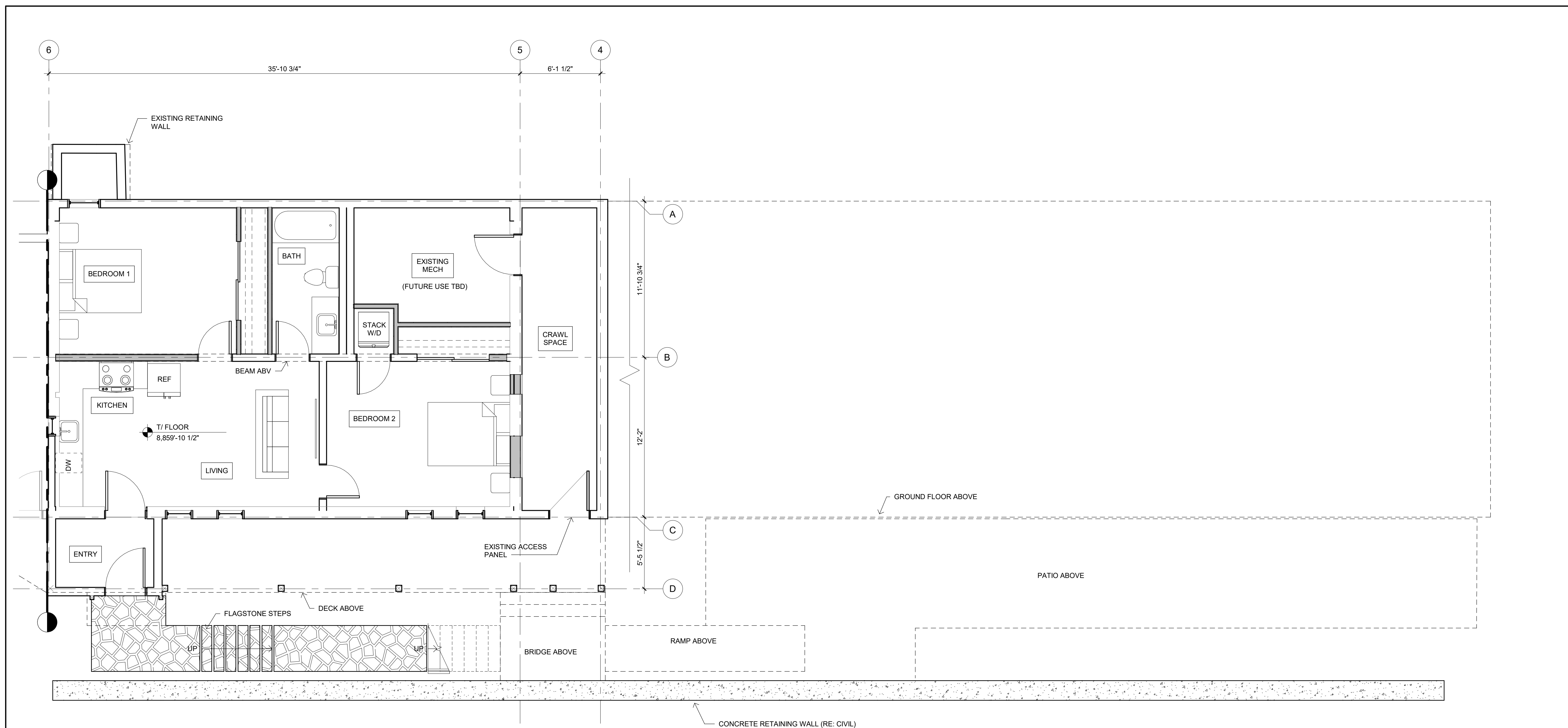
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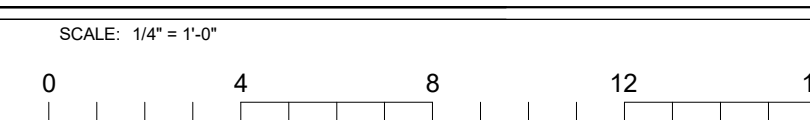
PROPOSED LOWER FLOOR PLAN

draft







A220

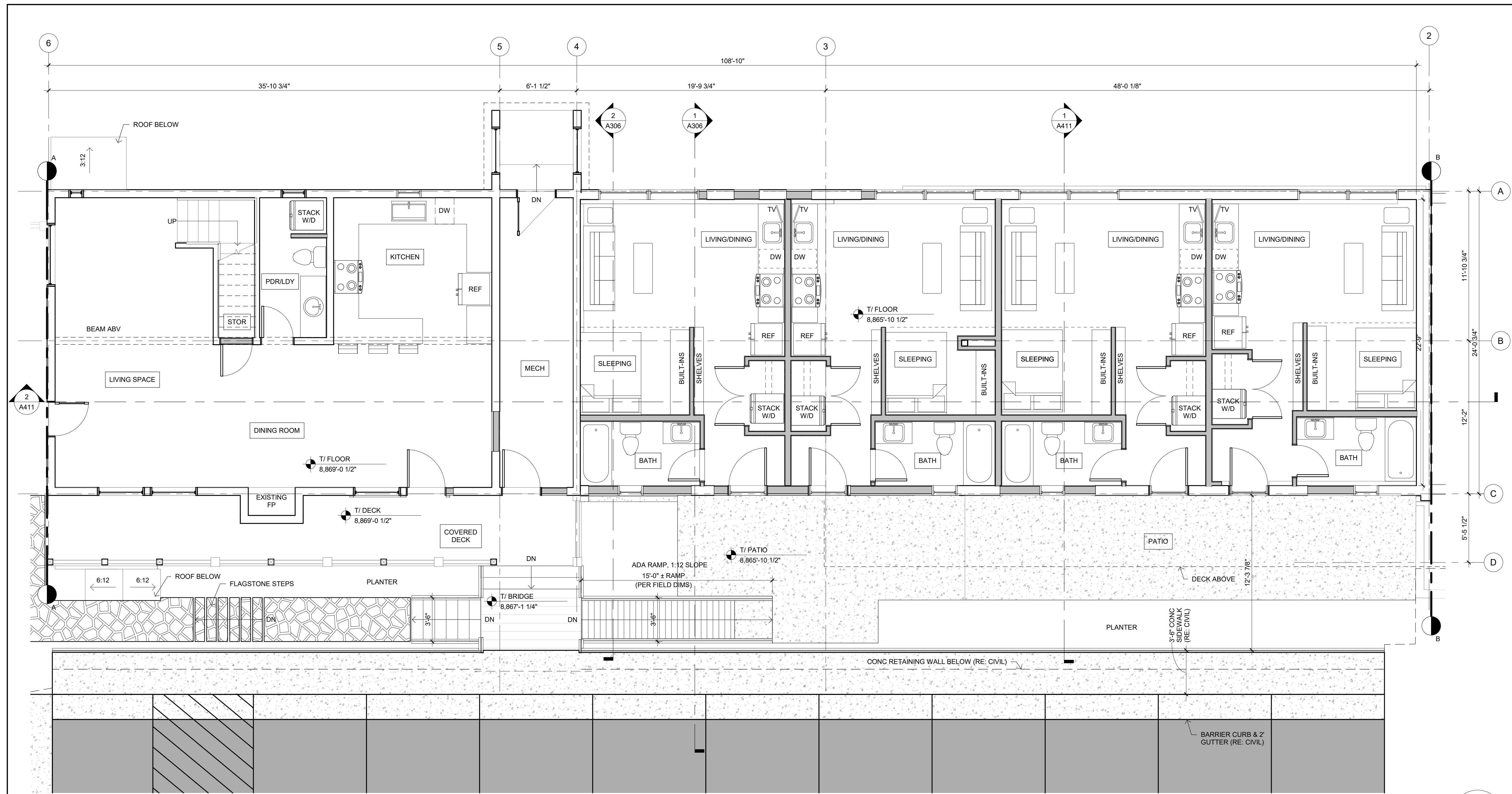


1 PROPOSED LOWER FLOOR PLAN



PLAN LEGEND

-  EXISTING WALL TO REMAIN
-  WALL TO BE REMOVED (SHOWN DASHED)
-  NEW WALL (SHOWN SHADED)
-  EXISTING DOOR
-  DOOR TO BE REMOVED (SHOWN DASHED)
-  NEW DOOR



1
A221
PROPOSED GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN LEGEND

	EXISTING WALL TO REMAIN
	WALL TO BE REMOVED (SHOWN DASHED)
	NEW WALL (SHOWN SHADED)
	EXISTING DOOR
	DOOR TO BE REMOVED (SHOWN DASHED)
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sub #1 filing 1
dillon . colorado

PROJECT # 2225

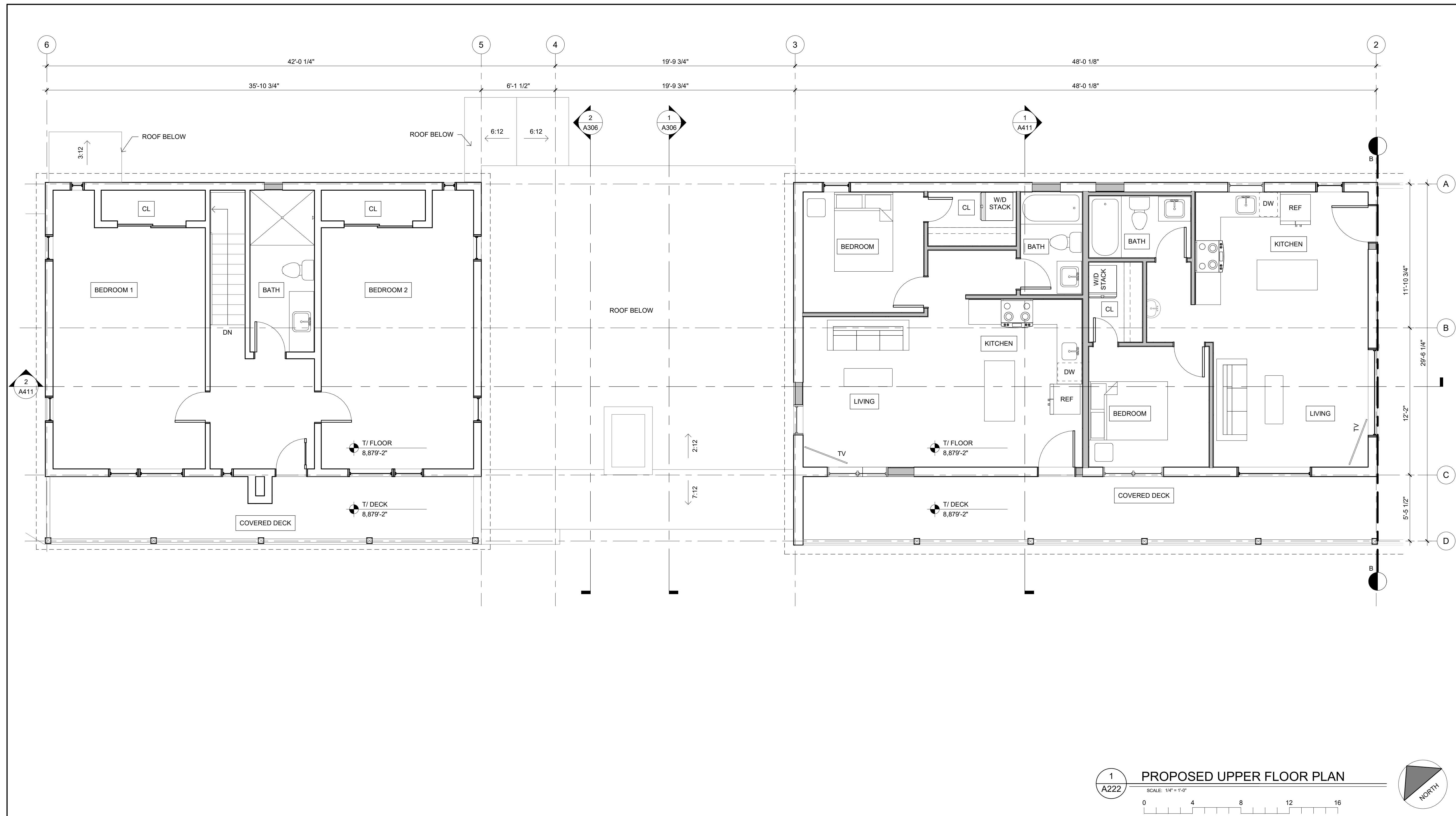
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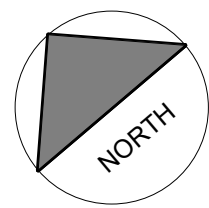
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PROPOSED GROUND FLOOR PLAN
draft
A221

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1
A222 PROPOSED UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



PLAN LEGEND

	EXISTING WALL TO REMAIN
	WALL TO BE REMOVED (SHOWN DASHED)
	NEW WALL (SHOWN SHADED)
	EXISTING DOOR
	DOOR TO BE REMOVED (SHOWN DASHED)
	NEW DOOR

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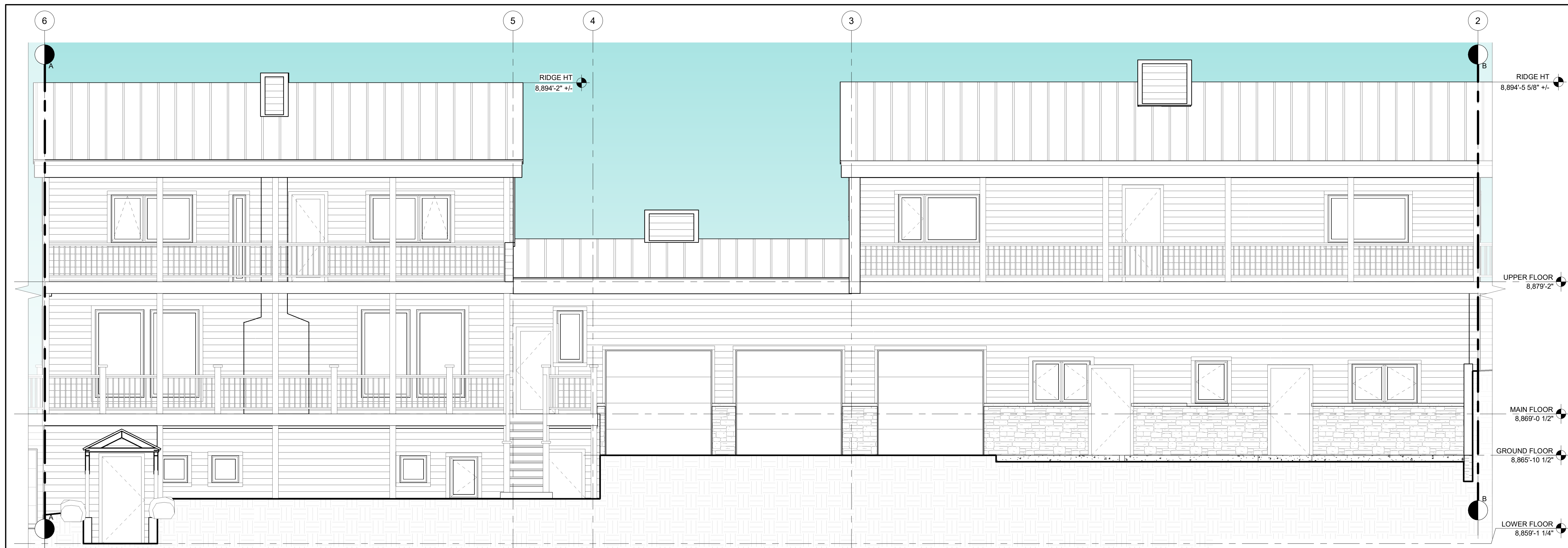
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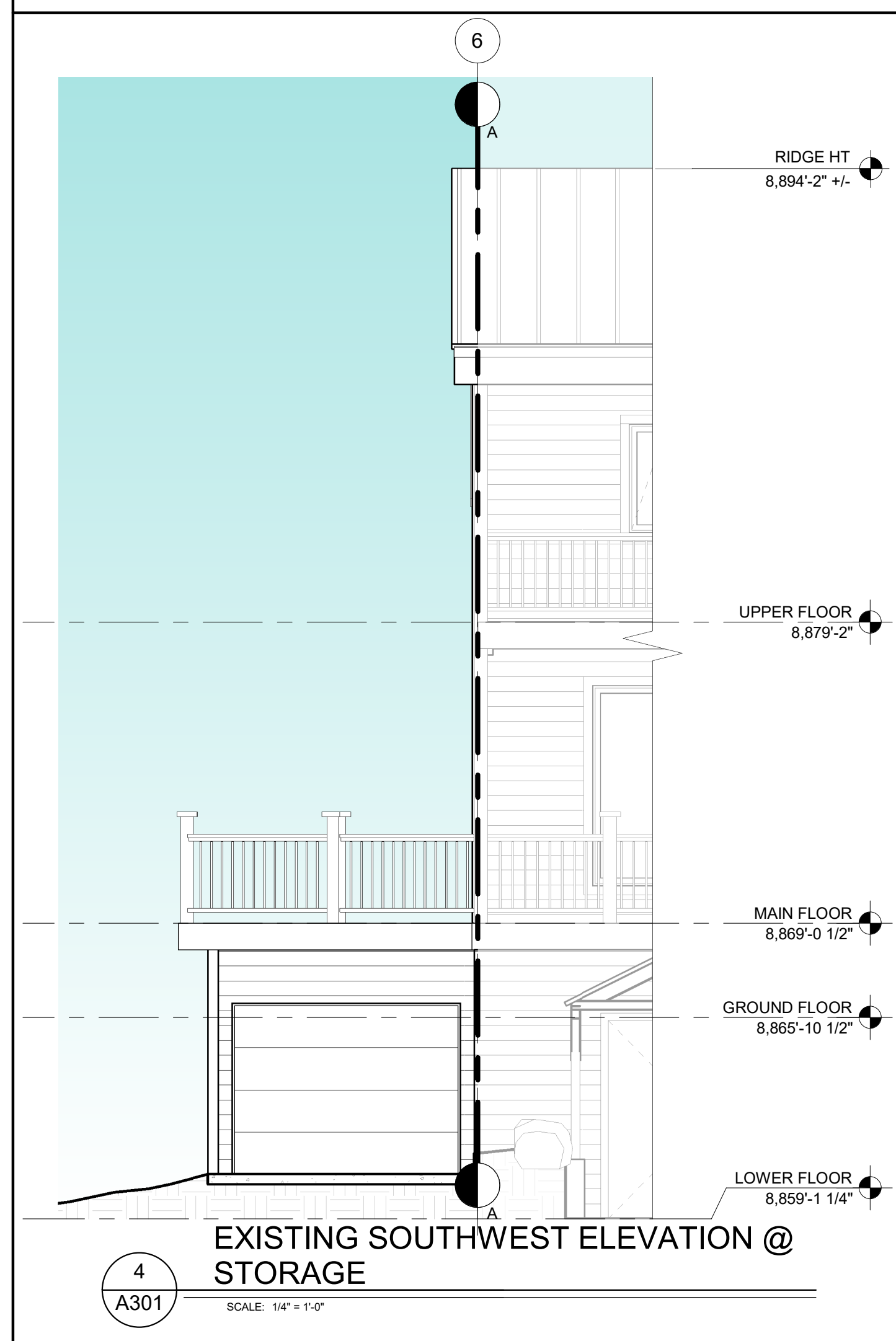
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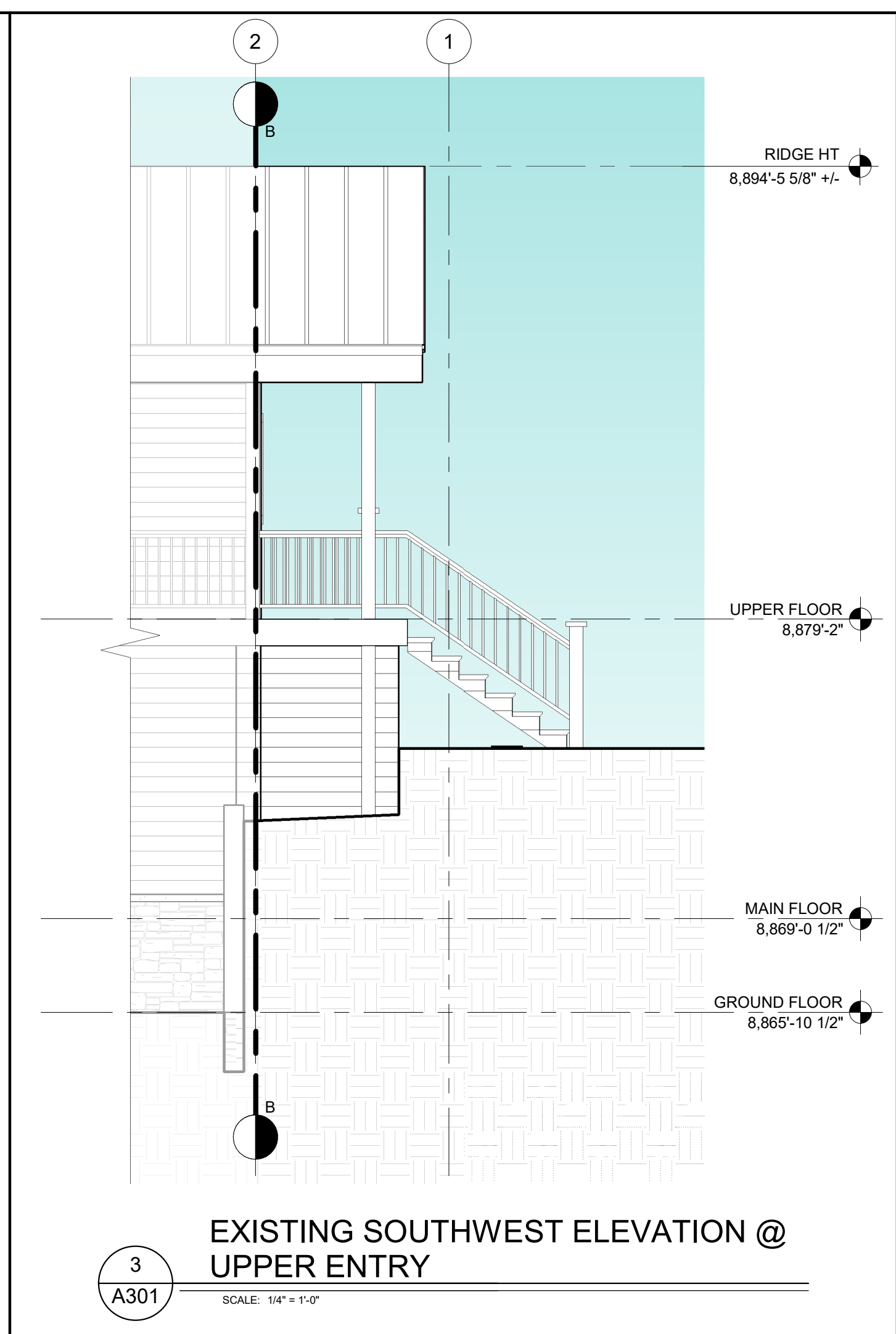
PROPOSED UPPER FLOOR PLAN
draft
A222



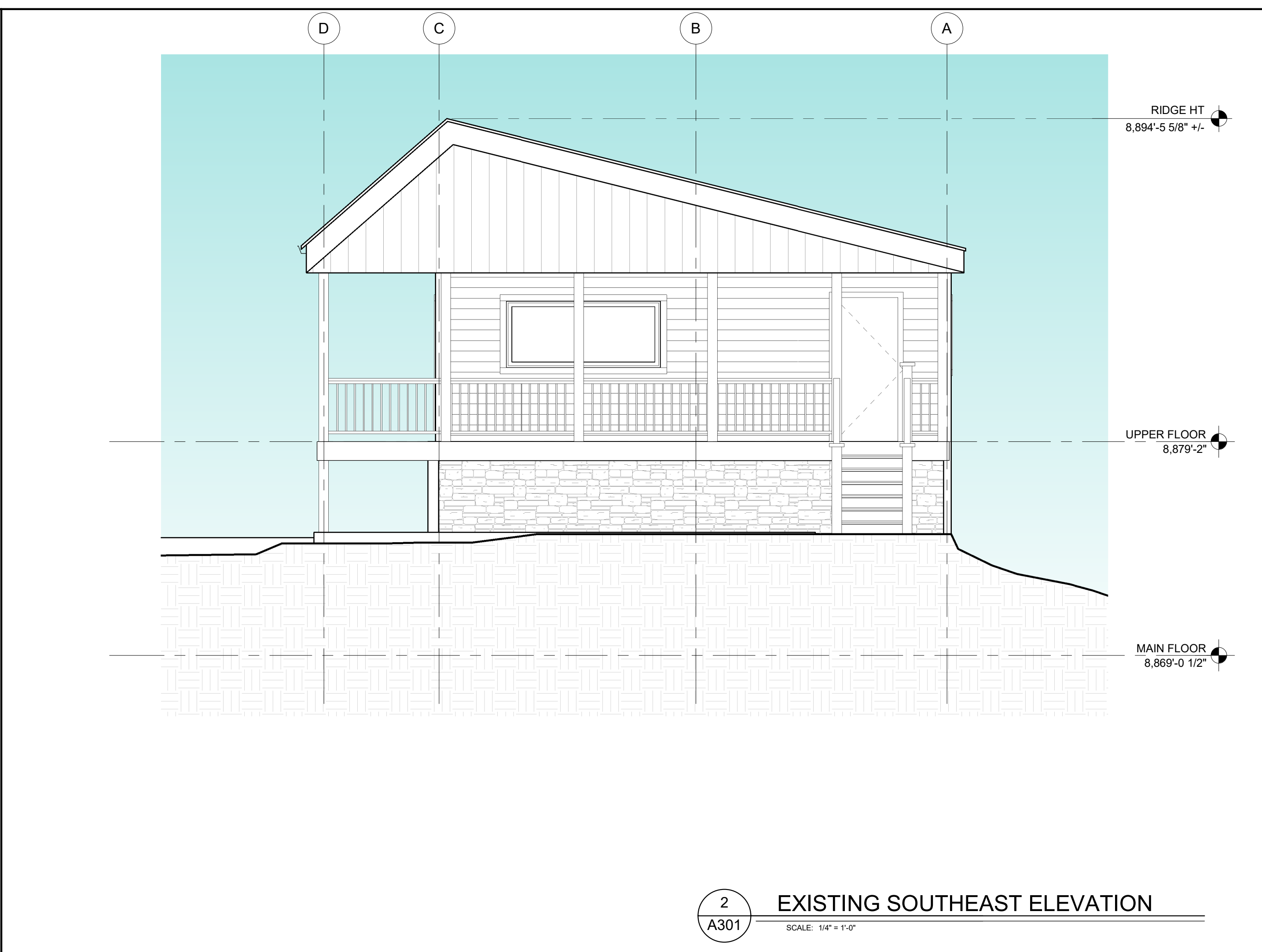
1
A301 **EXISTING SOUTHWEST ELEVATION**
SCALE: 1/4" = 1'-0"



4
A301 **EXISTING SOUTHWEST ELEVATION @ STORAGE**
SCALE: 1/4" = 1'-0"



3
A301 **EXISTING SOUTHWEST ELEVATION @ UPPER ENTRY**
SCALE: 1/4" = 1'-0"



2
A301 **EXISTING SOUTHEAST ELEVATION**
SCALE: 1/4" = 1'-0"

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EXISTING EXTERIOR ELEVATIONS

draft

A301

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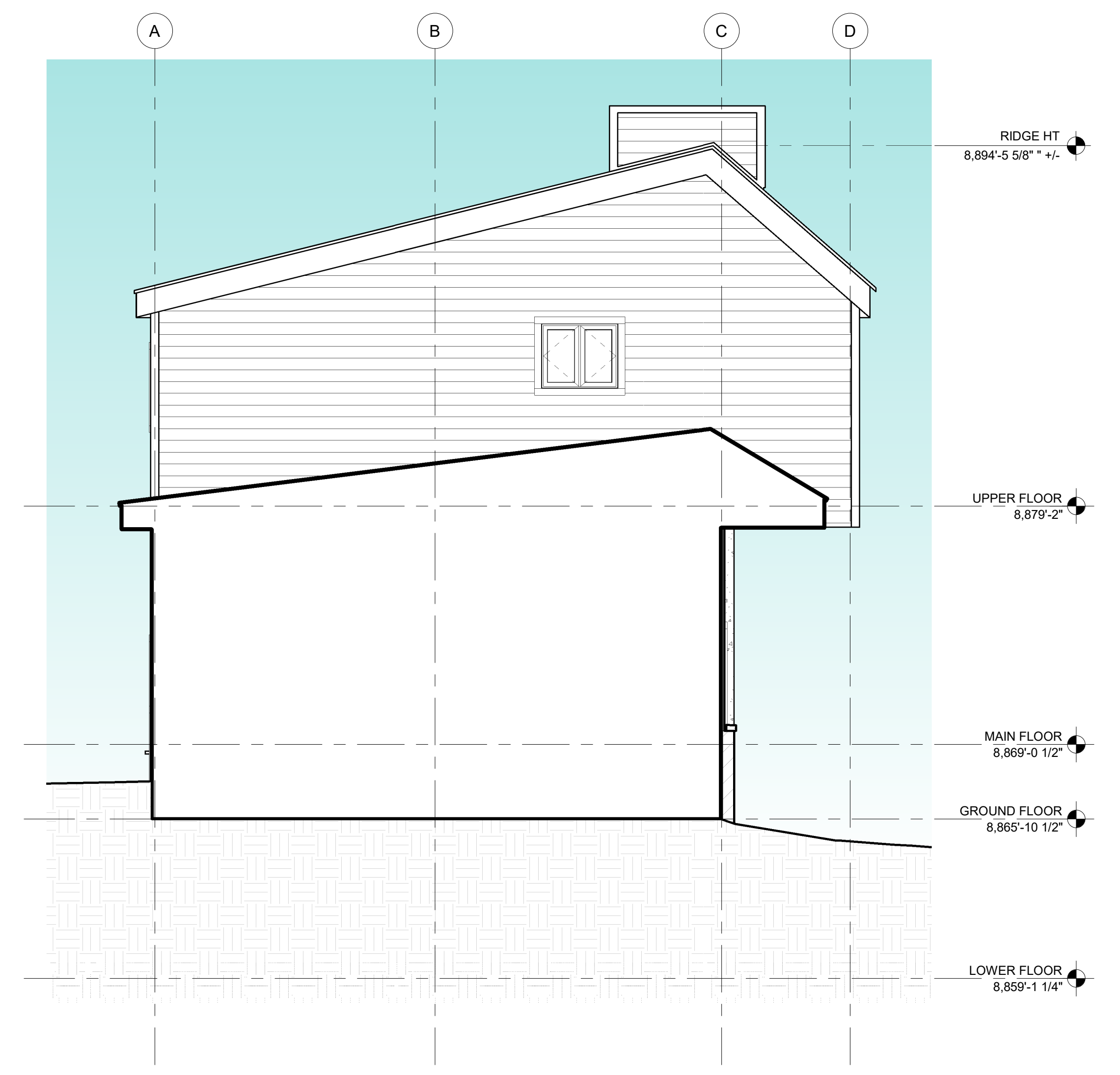
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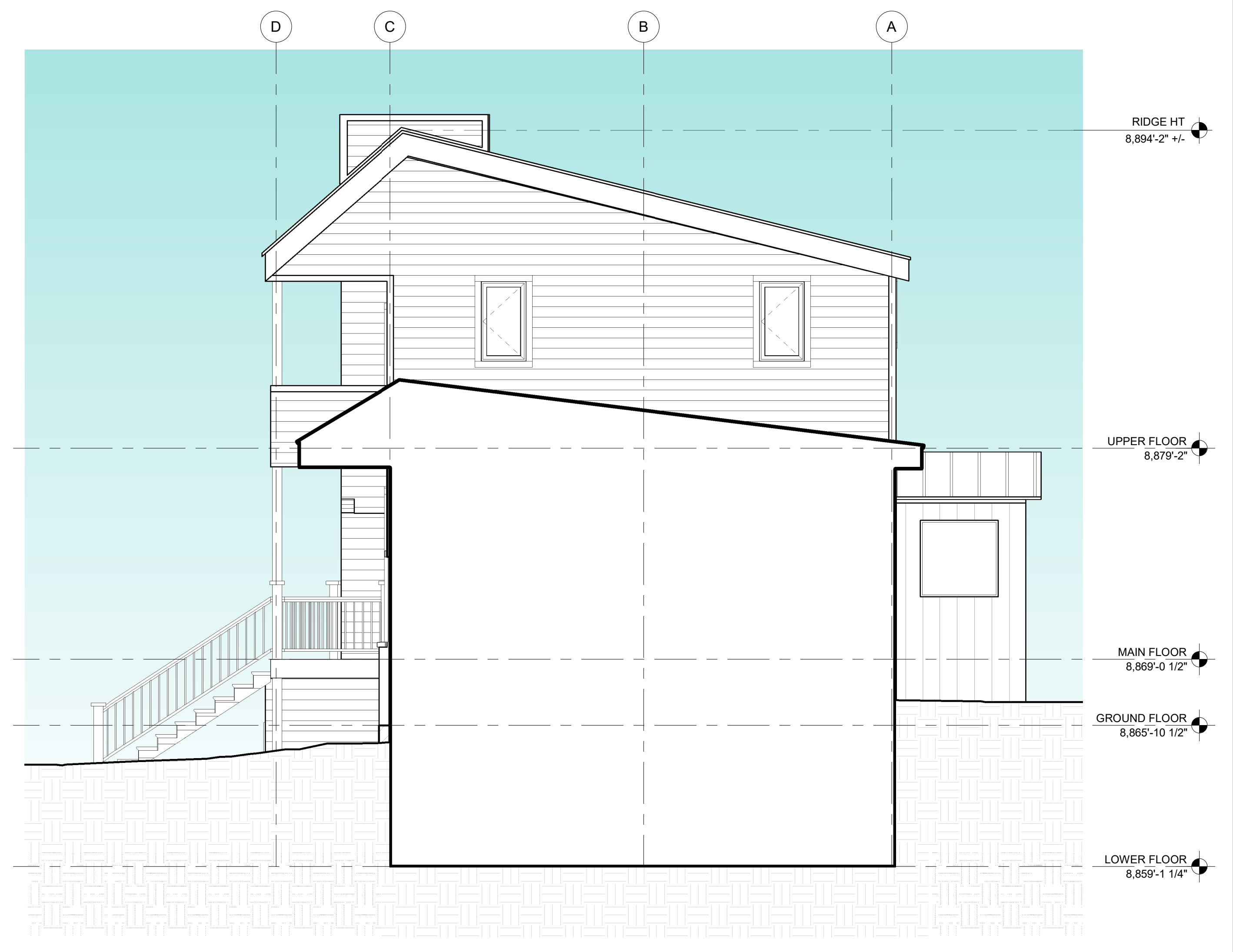
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EXISTING EXTERIOR
ELEVATIONS
draft

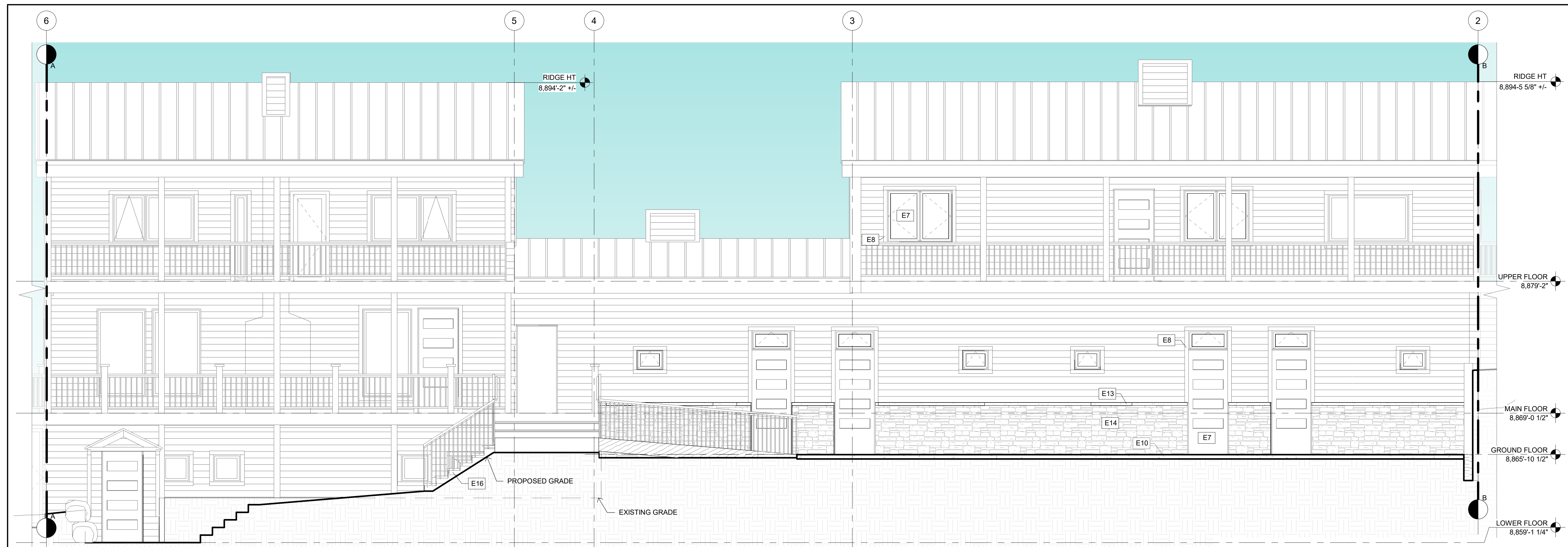
A303



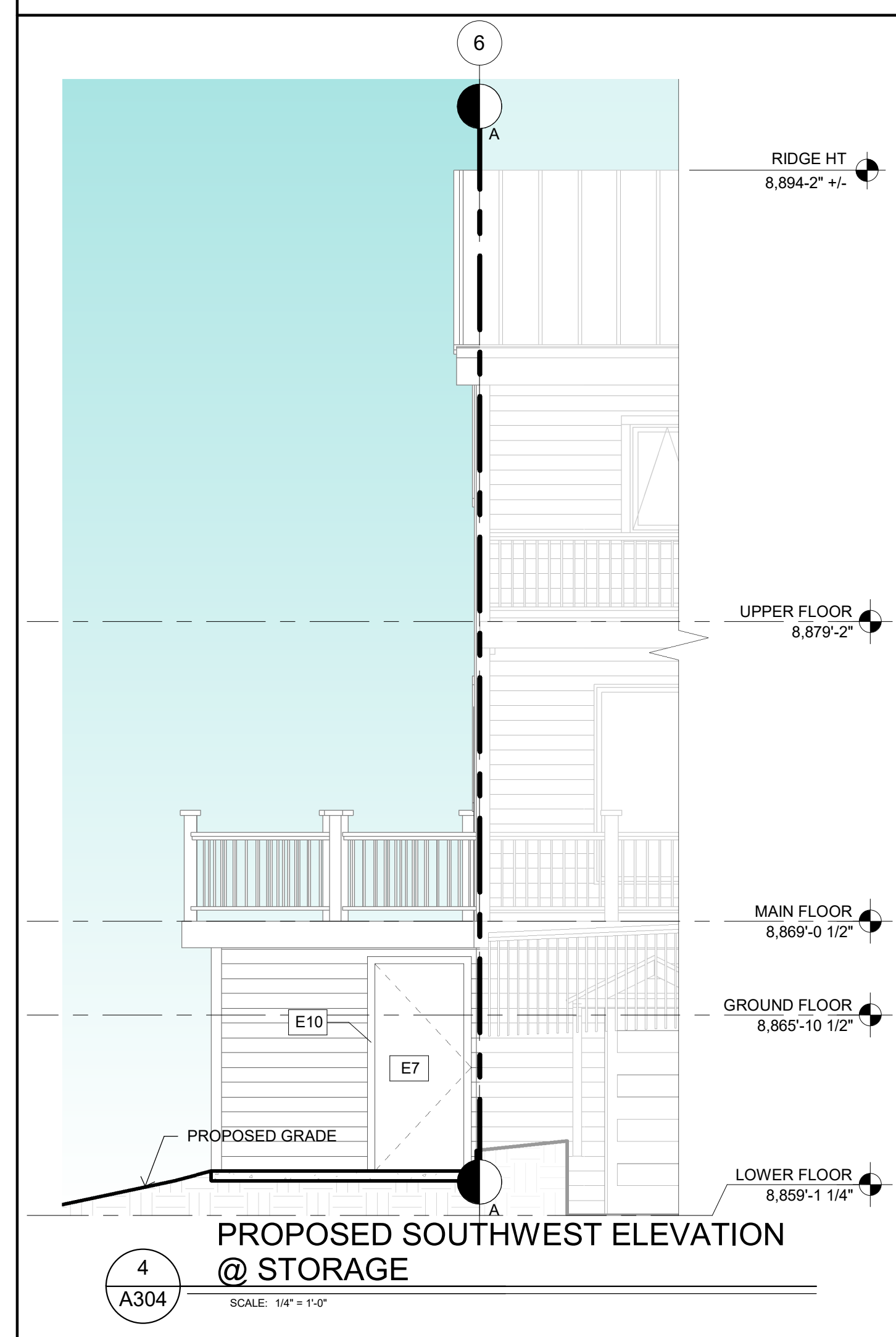
1
A303
EXISTING NORTH ELEVATION @ GRID
LINE 3.5
SCALE: 1/4" = 1'-0"



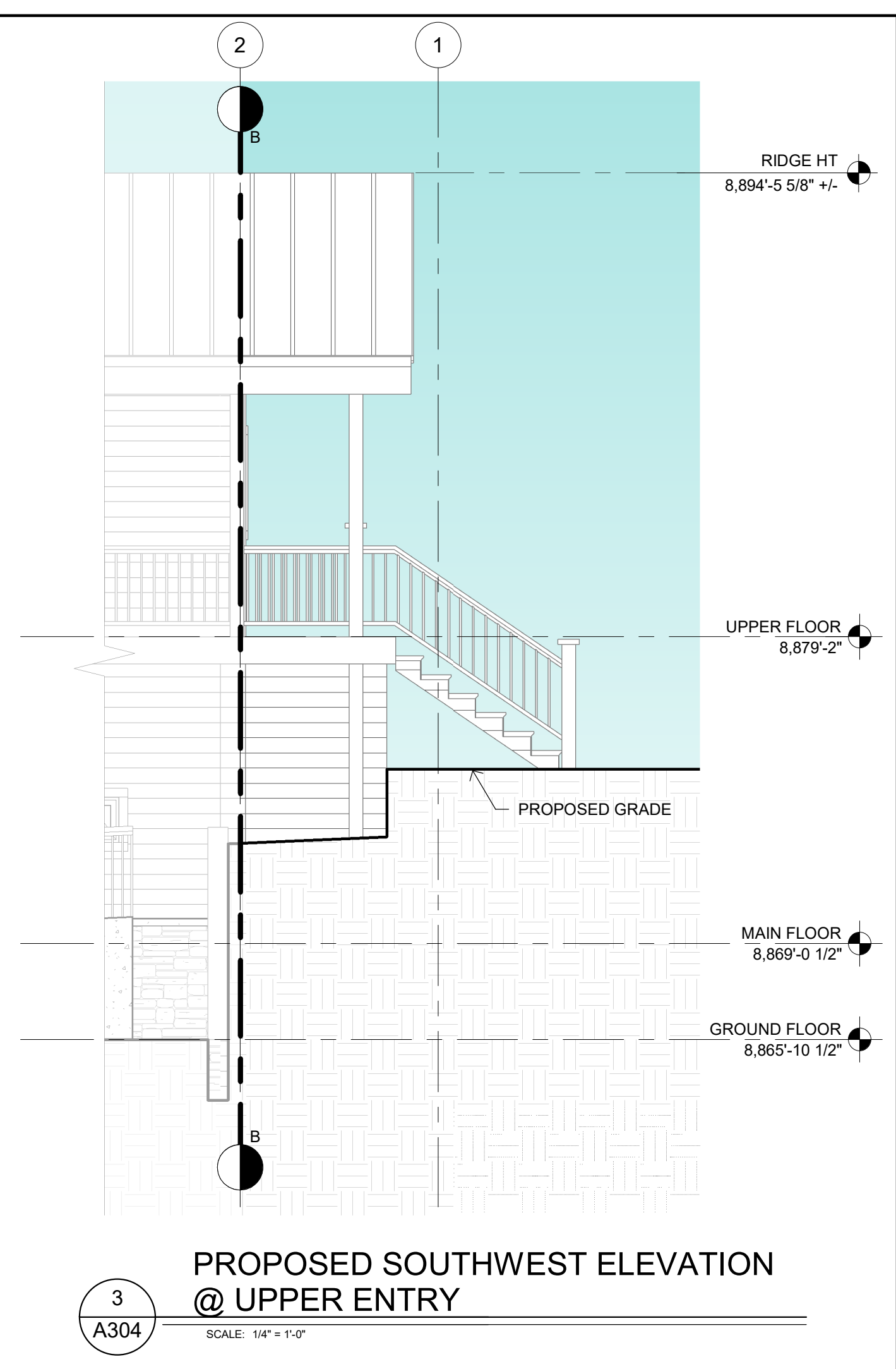
2
A303
EXISTING SOUTH ELEVATION @ GRID
LINE 3.8
SCALE: 1/4" = 1'-0"



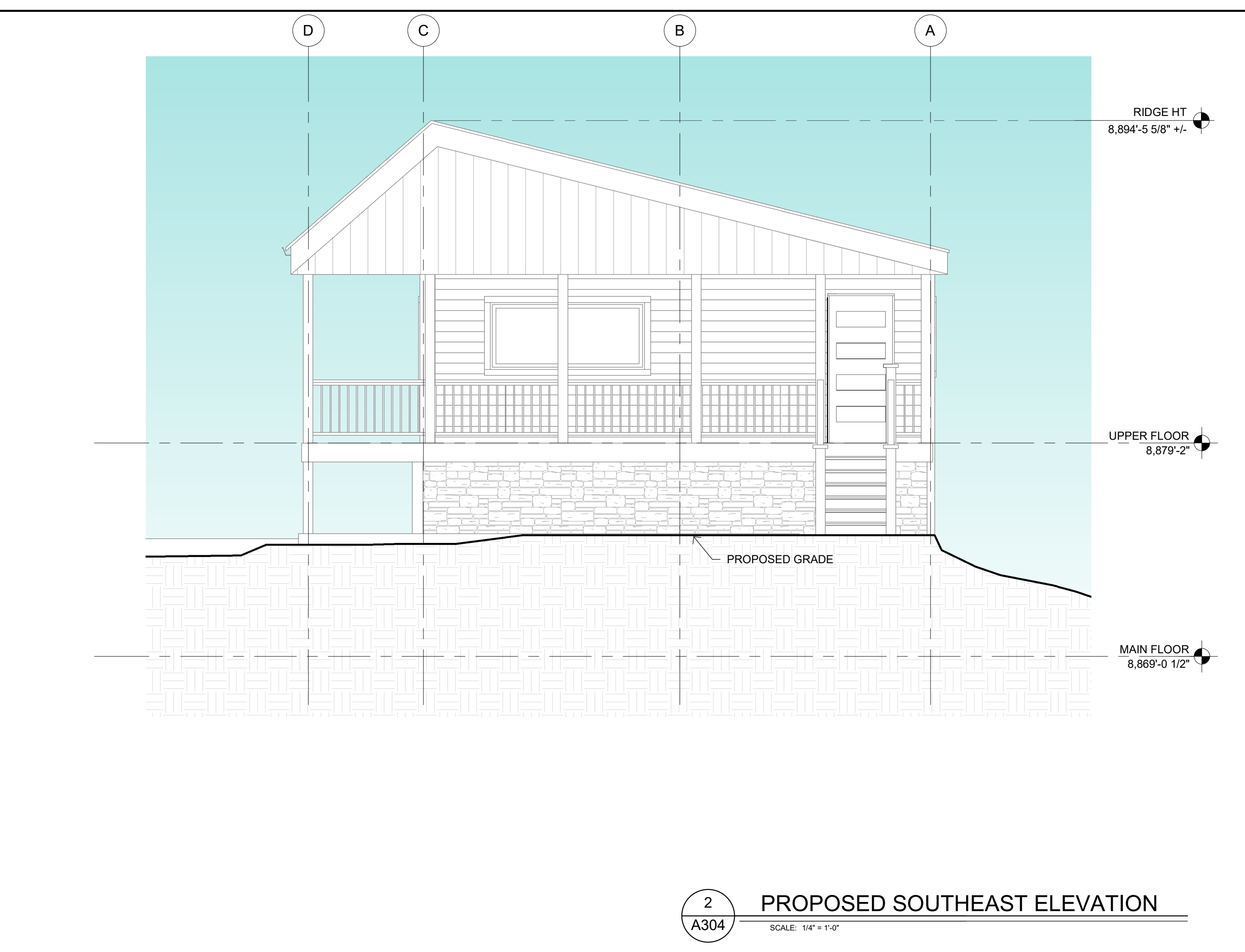
1
A304 **PROPOSED SOUTHWEST ELEVATION**
SCALE: 1/4" = 1'-0"



4
A304 **PROPOSED SOUTHWEST ELEVATION @ STORAGE**
SCALE: 1/4" = 1'-0"



3
A304 **PROPOSED SOUTHWEST ELEVATION @ UPPER ENTRY**
SCALE: 1/4" = 1'-0"



2
A304 **PROPOSED SOUTHEAST ELEVATION**
SCALE: 1/4" = 1'-0"

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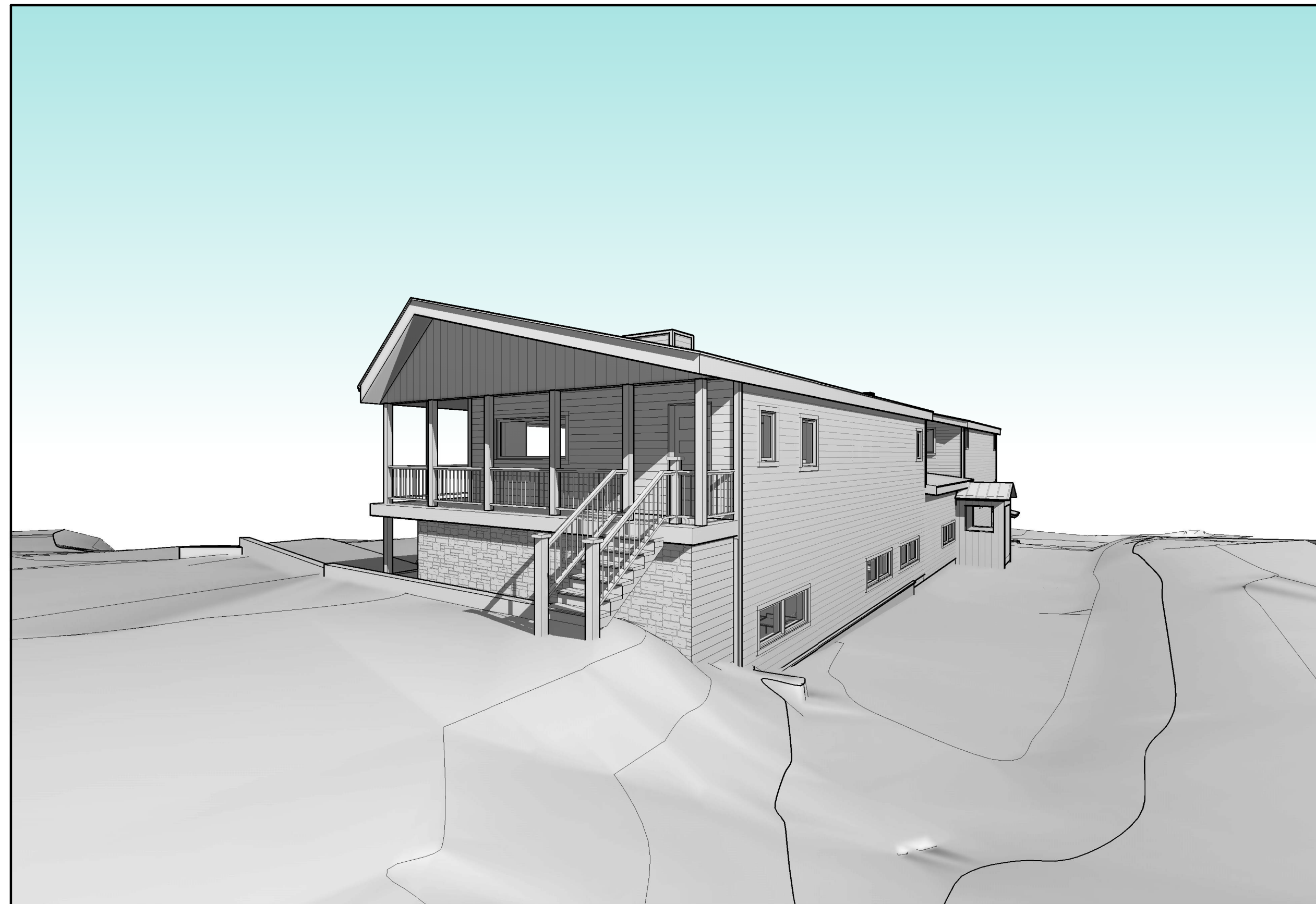
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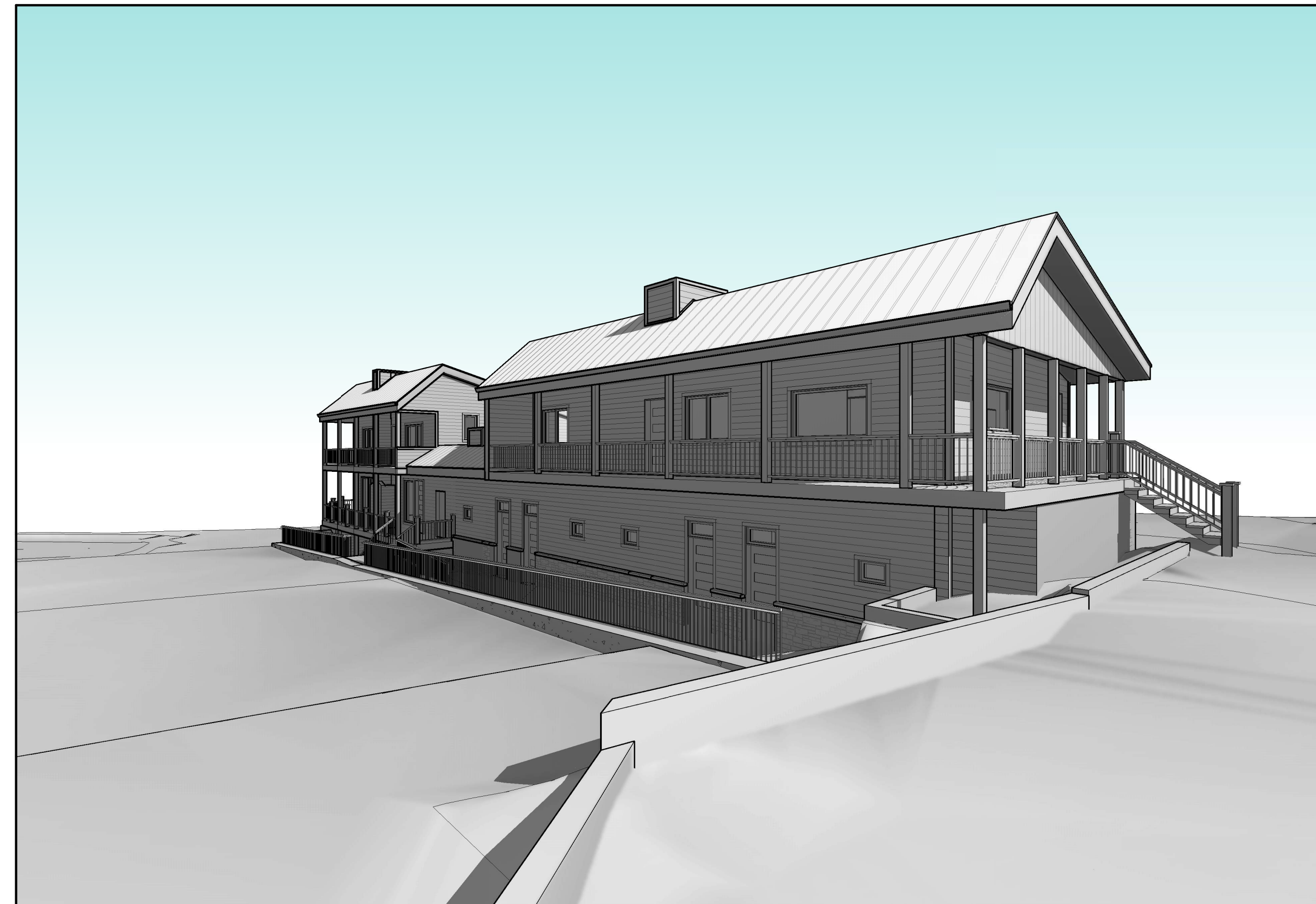
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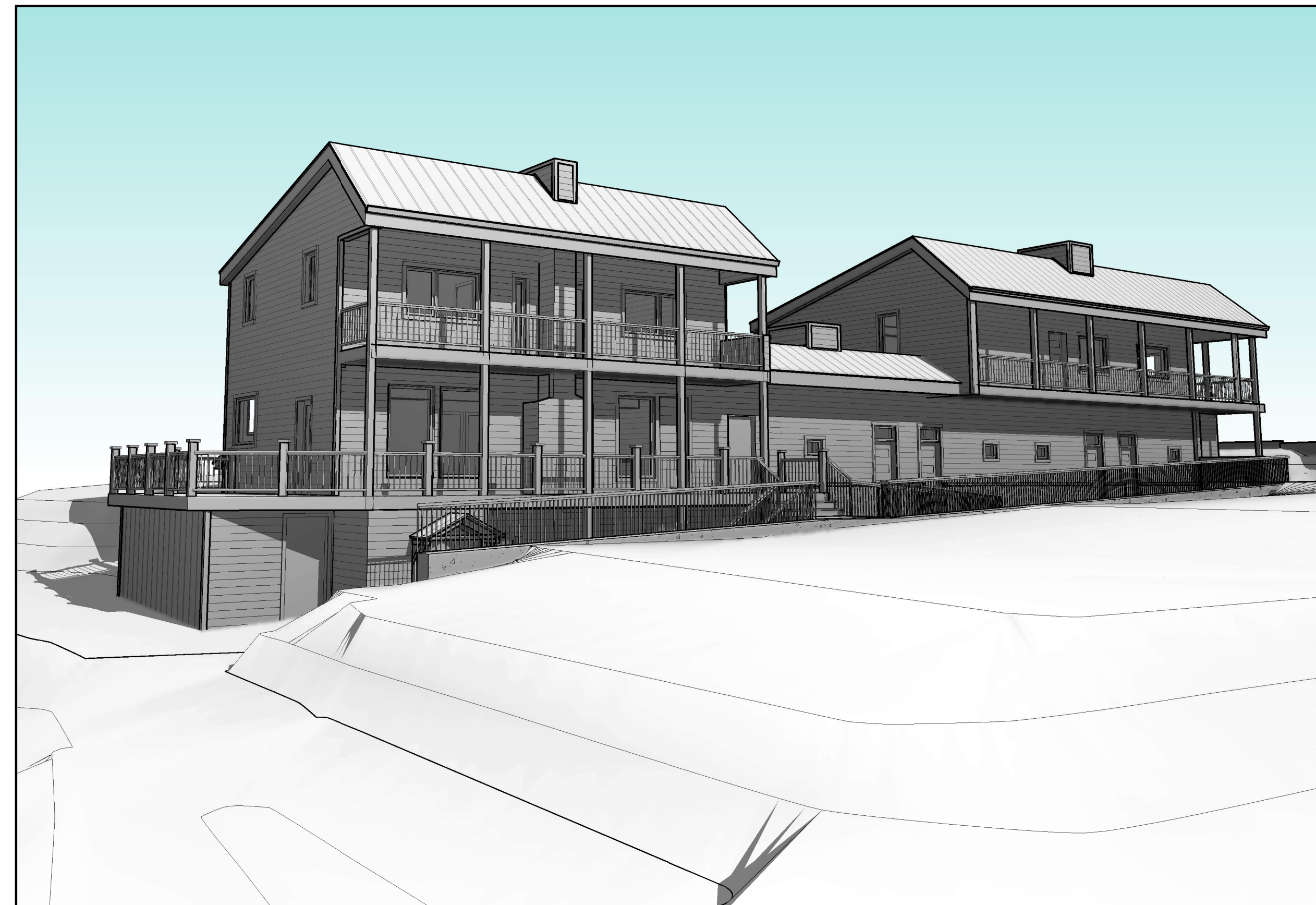
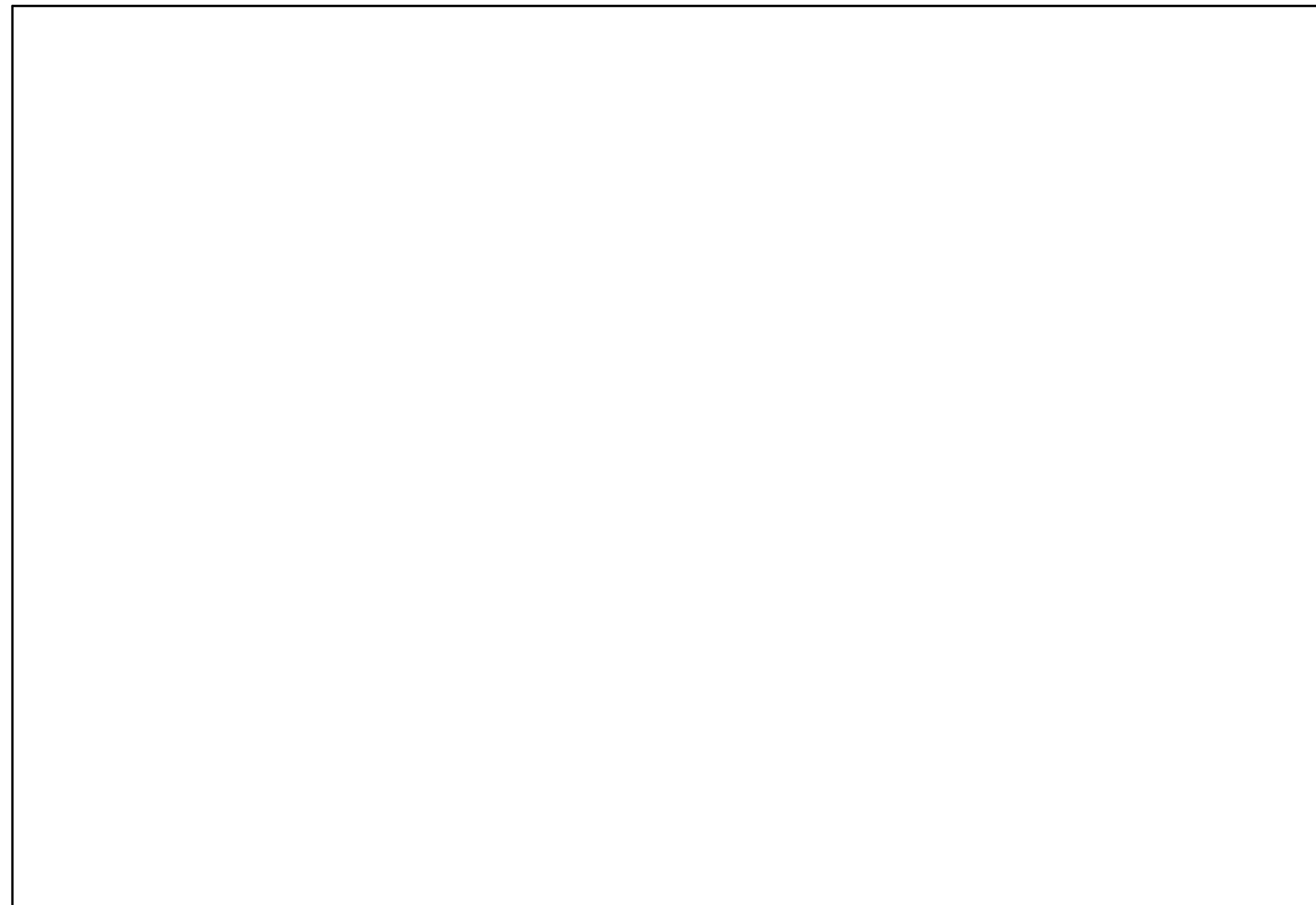
PROPOSED EXTERIOR ELEVATIONS
draft
A304



3
A311 3D VIEW FROM SOUTHEAST
SCALE:



1
A311 3D VIEW FROM SOUTH
SCALE:



2
A311 3D VIEW FROM NORTHWEST
SCALE:

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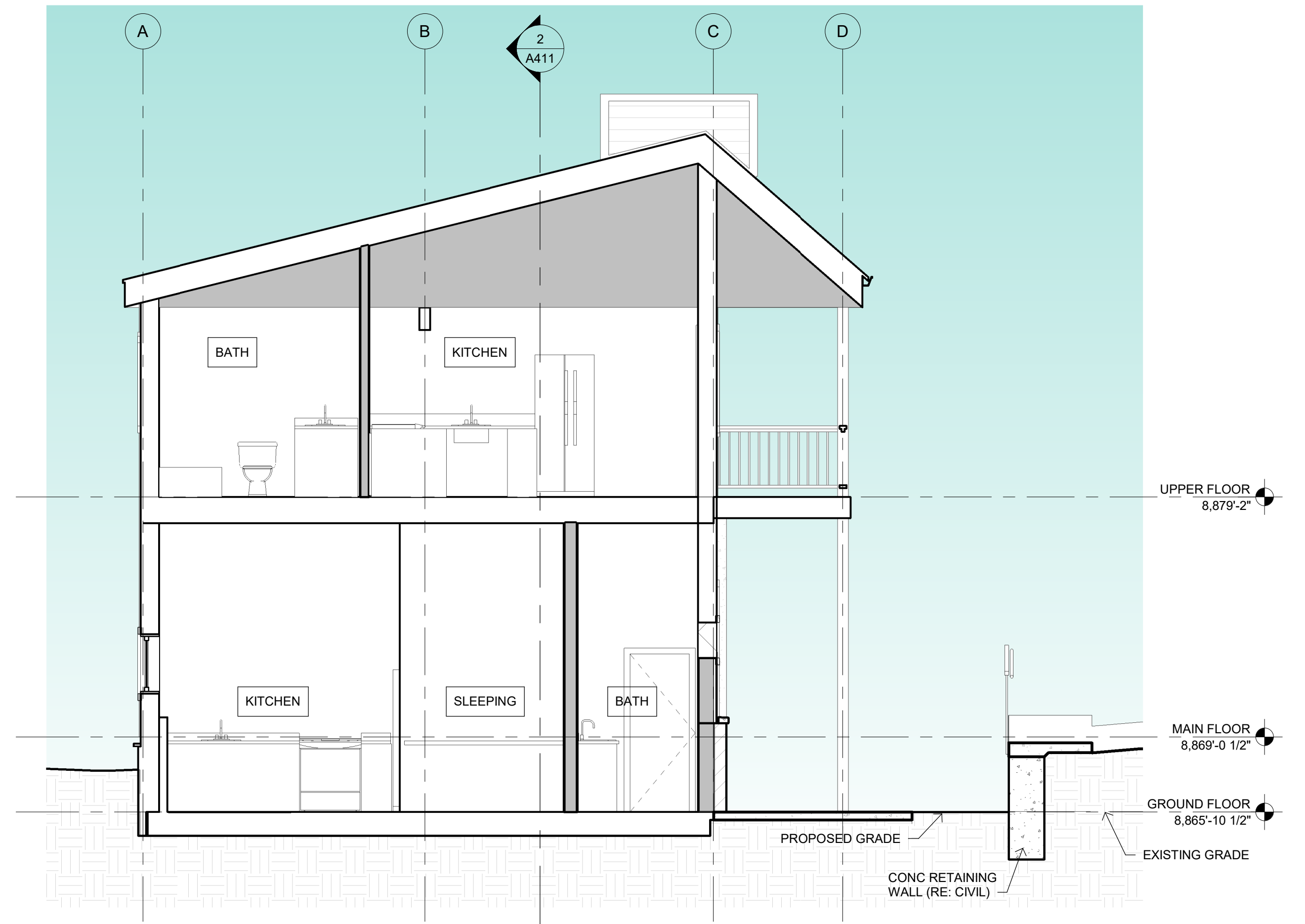
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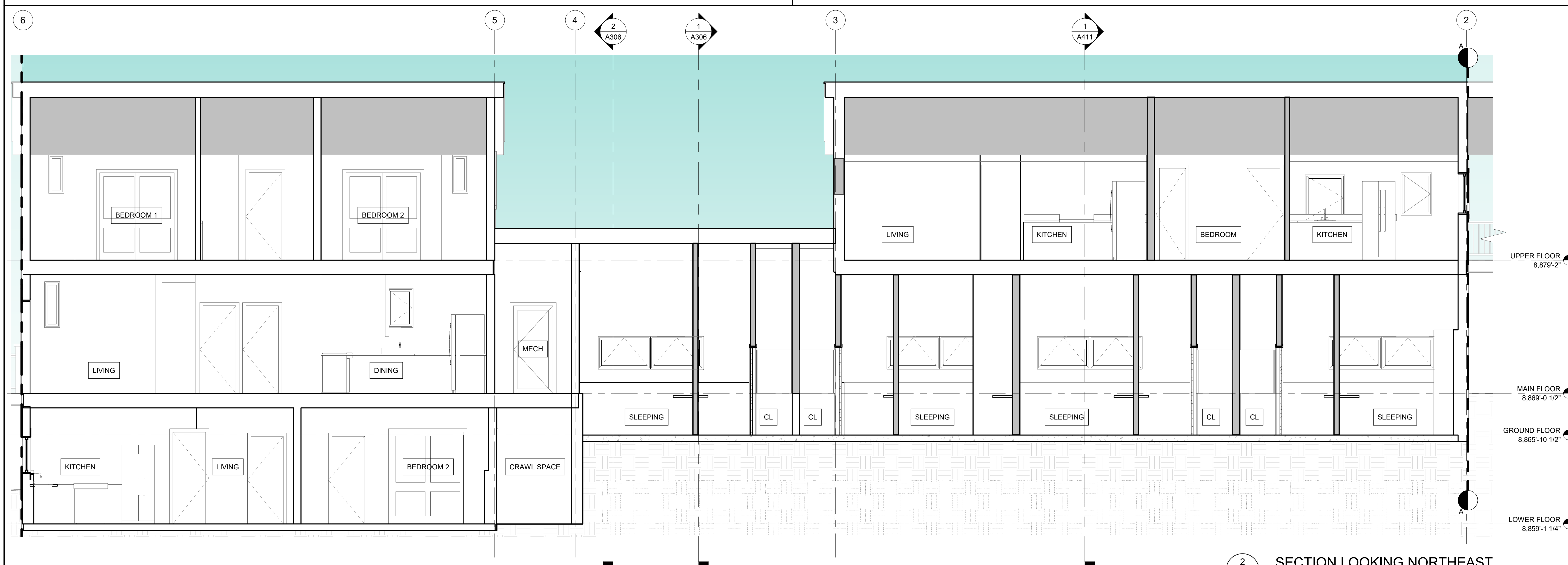
PROPOSED EXTERIOR
PERSPECTIVES

craft

A311



SECTION @ GRID LINE 2.6 LOOKING SOUTHEAST
1
A411
SCALE: 1/4" = 1'-0"



SECTION LOOKING NORTHEAST
2
A411
SCALE: 1/4" = 1'-0"

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BUILDING SECTIONS

draft

A411