TOWN OF DILLON PLANNING AND ZONING COMMISSION REGULAR MEETING Wednesday, July 6th, 2016 5:30 p.m. Dillon Town Hall 275 Lake Dillon Dr.



REVISED AGENDA

1. Call to Order

- 2. A. Elect New Chairperson and Vice Chairperson
 - B. Approval of the minutes of the May 11th, 2016 special meeting.
- 3. **Public Comments:** Open comment period for planning and zoning topics not on tonight's agenda.
- 4. **Consideration of Resolution PZ 04-16, Series of 2016**; A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, RECOMMENDING THE AMENDING OF CHAPTER 16, "ZONING," ARTICLE XI, "SIGN REGULATIONS," SECTION 16-11-20 "DEFINITIONS," AND SECTION 16-11-50 "EXEMPTIONS," OF THE DILLON MUNICIPAL CODE OF THE TOWN OF DILLON, COLORADO, FOR THE PURPOSES OF ADDING PROVISIONS FOR DONATION AND SPONSORSHIP SIGNAGE; AND, SETTING FORTH DETAILS IN RELATION THERETO. **PUBLIC HEARING**
- 5. Consideration of Resolution PZ 05-16, Series of 2016; A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING THE REVISED ARCHITECTURAL ELEVATIONS FOR THE DILLON GATEWAY PLANNED UNIT DEVELOPMENT AT 240 LAKE DILLON DRIVE, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.
- 6. Discussion Item:
- 7. Other Business
- 8. Adjournment

TOWN OF DILLON PLANNING AND ZONING COMMISSION SPECIAL MEETING WEDNESDAY, MAY 11, 2016 5:30 p.m. Town Hall

CALL TO ORDER

The special meeting of the Planning and Zoning Commission of the Town of Dillon, Colorado, was held on Wednesday, May 11, 2016, at Dillon Town Hall. Chairman Nat Nosari called the meeting to order at 5:30 p.m. Commissioners present were: Teresa England, Charlotte Jacobsen, and Jerry Peterson. Amy Gaddis was absent. Staff members present were Dan Burroughs, Town Engineer; Scott O'Brien, Public Works Director; Ned West, Engineering Inspector/Town Planner; Carri McDonnell, Finance Director and Corrie Fischer, Recording Secretary.

Chairman Nosari introduced Teresa England the new Planning and Zoning Commissioner.

APPROVAL OF THE MINUTES OF APRIL 6, 2016 REGULAR MEETING

Commissioner Jacobsen moved to approve the minutes from the April 6, 2016 meeting. Commissioner Peterson seconded the motion, which passed unanimously.

PUBLIC COMMENTS

There were no public comments.

CONSIDERATION OF RESOLUTION PZ 03-16, SERIES OF 2016

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING A LEVEL III DEVELOPMENT APPLICATION FOR A CONDITIONAL USE PERMIT FOR AN ACCESSORY DWELLING UNIT AT 11 CORINTHIAN CIRCLE, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO. PUBLIC HEARING

The Town received an application for a Conditional Use Permit for an Accessory Dwelling Unit at 11 Corinthian Circle, Lot 1A, Block 1, Corinthian Hill Subdivision, Dillon, Colorado. The proposed project would include the construction of a one car garage addition with a small Accessory Dwelling Unit above it. The application demonstrates conformance to the Code Sections pertaining to Conditional Use Permits and Accessory Dwelling Units, Section 16-5-220 and Section 16-4-40, respectively.

The application for a Conditional Use Permit for an Accessory Dwelling unit meets the requirements of the Dillon Municipal Code.

The Public Hearing for this Resolution ran in the newspaper on Friday, April 29, 2016. The property was posted for the Public Hearing on Tuesday, May 3, 2016.

The following conditions are attached to the Conditional Use Permit for the Accessory Dwelling Unit:

- 1. The applicant shall re-vegetate all disturbed areas by planting a native grass seed or turf grass seed mix, ensure growth through watering or irrigation, and maintain a vegetative ground cover.
- 2. The applicant shall pay the required water and sewer tap fees.

- 3. The applicant shall file with the Town the required restrictive covenant preventing subdividing into separate ownership.
- 4. The applicant shall file with the Town of Dillon a deed restriction that prevents short term rentals of the Accessory Dwelling Unit.
- 5. The applicant shall provide an Improvement Location Certification plat indicating the as-built location of the foundation meeting the setback requirements, and provide a building height certification meeting the maximum building height limit.
- 6. The applicant shall verify the functionality of the water service curbstop valve. The curbstop water service valve shall be observed and documented as functional by the Dillon Water Department. It is the owner's responsibility to maintain the curbstop valve in an operational condition.

Chairman Nosari opened the public hearing at 5:45 pm.

Leonard Szmurlo, owner of 11 Corinthian Circle explained that he wanted to add an accessory apartment that could also be included as part of the main house and the additional garage space.

Chairman Nosari closed the public hearing at 5:46 pm.

Commissioner Peterson moved to approve Resolution PZ 03-16, Series of 2016 with the recommended conditions. Commissioner England second the motion, which passed unanimously upon roll call vote.

Discussion Item: Developing sign regulations for Town owned parks and open space zoned property. This item will be moved to the June Planning and Zoning meeting.

OTHER BUSINESS

The Commission was concerned that accessory dwelling units do not allow short term rentals. Dan explained that the Town Manager is working with other towns and Summit County to review rules for short term rentals within an accessory dwelling unit. Dan explained some of the concerns about the impacts to the single family home neighborhood including parking. This topic will be brought to a future Planning and Zoning meeting.

Dan updated the Commission on the Gateway Project on where they are in the process.

ADJOURNMENT

There being no further business, the meeting adjourned at 6:02 p.m.

Respectfully submitted,

Carri McDonnell Secretary to the Commission

TOWN COUNCIL ACTION ITEM STAFF SUMMARY July 6, 2016 PLANNING AND ZONING COMMISSION MEETING

DATE: June 28, 2016

AGENDA ITEM NUMBER: 4

ACTION TO BE CONSIDERED:

Consideration of Resolution NO. PZ 04-16 Series of 2016, PUBLIC HEARING

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, RECOMMENDING THE AMENDING OF CHAPTER 16, "ZONING," ARTICLE XI, "SIGN REGULATIONS," SECTION 16-11-20 "DEFINITIONS," AND SECTION 16-11-50 "EXEMPTIONS," OF THE DILLON MUNICIPAL CODE OF THE TOWN OF DILLON, COLORADO, FOR THE PURPOSES OF ADDING PROVISIONS FOR DONATION AND SPONSORSHIP SIGNAGE; AND, SETTING FORTH DETAILS IN RELATION THERETO.

SUMMARY:

This Resolution adds three definitions and two exemptions to Chapter 16 "Zoning", Article XI "Sign Regulations" for the purposes of allowing signage as part of a Town of Dillon donation or sponsorship program. As the Code stands prior to this Code amendment, donors would not be able to achieve much in the way of recognition for their contributions to the benefit of the public. As the Town of Dillon recognizes the need to promote community involvement and active participation in quality of life components throughout the community, this Resolution aims to provide a mechanism through donation and sponsorship programs for contributor recognition otherwise unavailable as the Code currently reads.

STAFF RECOMMENDATION:

Staff recommends approval of Resolution PZ 04-16, Series of 2016.

ACTION REQUESTED: Motion, Second, Vote.

Recommended motion language: "I move to approve Resolution PZ 04-16, Series of 2016."

At least three (3) affirmative votes will be required for approving this resolution.

STAFF MEMBER RESPONSIBLE: Ned West, Town Planner

RESOLUTION NO. PZ 04-16 Series of 2016

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, RECOMMENDING THE AMENDING OF CHAPTER 16, "ZONING," ARTICLE XI, "SIGN REGULATIONS," SECTION 16-11-20 "DEFINITIONS," AND SECTION 16-11-50 "EXEMPTIONS," OF THE DILLON MUNICIPAL CODE OF THE TOWN OF DILLON, COLORADO, FOR THE PURPOSES OF ADDING **PROVISIONS FOR DONATION AND SPONSORSHIP SIGNAGE;** AND, SETTING FORTH DETAILS IN RELATION THERETO.

WHEREAS, the Planning and Zoning Commission of the Town of Dillon, desires to amend Article XI, "Sign Regulations," of Chapter 16, "Zoning," of the Dillon Municipal Code of the Town of Dillon, Colorado, for the purposes of adding provisions for donation and sponsorship recognition signage; and

WHEREAS, following the required notice, a public hearing was held on July 6th, 2016, before the Planning and Zoning Commission of the Town of Dillon on the amending of Article XI, "Sign Regulations," of Chapter 16, "Zoning," of the Dillon Municipal Code of the Town of Dillon, Colorado; and

WHEREAS, following the public hearing the Planning and Zoning Commission of the Town of Dillon has determined that it is in the best interest of the Town to make a recommendation to the Town Council of the Town of Dillon to amend Article XI, "Sign Regulations," of Chapter 16, "Zoning," of the Dillon Municipal Code of the Town of Dillon, Colorado, as set forth herein below.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, AS FOLLOWS:

<u>Section 1</u>. That the Planning and Zoning Commission of the Town of Dillon hereby makes a recommendation to the Town Council of the Town of Dillon to amend Chapter 16, "Zoning," Article XI, "Sign Regulations," Section 16-11-20 "Definitions" of the Dillon Municipal Code of the Town of Dillon adding the following definitions:

Donation Program means a program developed by the Town and approved by the Town Manager, which allows individuals, groups, non-profits or businesses to donate money, real property, or personal property to the Town for a particular public purpose, in exchange for some type of signage to recognize the donation for a certain time period as defined in the Donation Program.

Donation Program Signage means signage associated with a Town managed Donation Program located on Town property. The quantity, size, materials, location, and duration of the display of the signs are set forth in the Donation Program approved in writing by the Town Manager. Signage may include plaques, pavers and other signs set forth in the Donation Program.

Sponsorship Signage means Temporary Signage by businesses, groups, non-profits and individuals who in part sponsor a Town sanctioned event located on Town Property, which has an approved special use permit for a specific event or for the amphitheater season. The quantity, size, materials, location, and duration of display of the signs are set forth in the Special Use Permit for the Event as approved in writing by the Town Manager.

<u>Section 2</u>. That the Planning and Zoning Commission of the Town of Dillon hereby makes a recommendation to the Town Council of the Town of Dillon to amend Article XI, "Sign Regulations," of Chapter 16, "Zoning," Section 16-11-50 "Exemptions" of the Dillon Municipal Code of the Town of Dillon adding the following exemptions:

(29) Donation Program Signage. Signage associated with a Town managed Donation Program may be displayed in accordance with the parameters of the Donation Program.

(30) Sponsorship Signage. Signage associated with the sponsorship of a Town sanctioned event may be displayed in accordance with the criteria set forth in the special use permit as approved by the Town Manager in writing.

APPROVED AND ADOPTED THIS 6th DAY OF JULY, 2016 BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO.

PLANNING AND ZONING COMMISSION, TOWN OF DILLON

By: ____

Nathan Nosari, Chairperson

ATTEST:

By: _

Corrie Fischer, Secretary to the Commission

TOWN COUNCIL ACTION ITEM STAFF SUMMARY July 6, 2016 PLANNING AND ZONING COMMISSION MEETING

DATE: June 28, 2016

AGENDA ITEM NUMBER: 5

ACTION TO BE CONSIDERED:

Consideration of Resolution NO. PZ 05-16 Series of 2016

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING THE REVISED ARCHITECTURAL ELEVATIONS FOR THE DILLON GATEWAY PLANNED UNIT DEVELOPMENT AT 240 LAKE DILLON DRIVE, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.

SUMMARY:

Following the public hearing on December 2, 2015, the Planning and Zoning Commission of the Town of Dillon recommended, with conditions, the approval of Resolution PZ 19-15, Series of 2015 for the Level IV Development Application for a new Planned Unit Development for the Dillon Gateway project located at 240 Lake Dillon Drive, more specifically described as Lot 1DEF, Block B, New Town of Dillon Subdivision, Dillon, Colorado. The Planning and Zoning Commission conditioned the recommendation for approval of the Dillon Gateway PUD requiring revisions to the architectural façade showing façade articulation and fenestrations in plan and elevation through condition "I" of Section 2 of Resolution PZ 19-15, Series of 2015.

The application was then approved by Town Council, with conditions, following the public hearing on January 5, 2016, by Resolution 02-16, Series of 2016 with condition "I" of Section 2 requiring revisions to the architectural façade showing façade articulation and fenestrations in plan and elevation.

The Town of Dillon has received revised architectural drawings for the Dillon Gateway PUD showing architectural façade articulation and fenestrations in plan and elevation. The drawings were prepared by a new architect for the project, Studio PBA from Denver, Colorado. The architectural elevations show façade articulation and fenestrations substantially different, and of greater detail, than those previously provided during the initial PUD hearings.

STAFF RECOMMENDATION:

Staff recommends approval of Resolution PZ 05-16, Series of 2016.

ACTION REQUESTED: Motion, Second, Vote.

Recommended motion language: "I move to approve Resolution PZ 05-16, Series of 2016."

At least three (3) affirmative votes will be required for approving this resolution.

STAFF MEMBER RESPONSIBLE: Ned West, Town Planner

RESOLUTION NO. PZ 05-16 Series of 2016

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING THE REVISED ARCHITECTURAL ELEVATIONS FOR THE DILLON GATEWAY PLANNED UNIT DEVELOPMENT AT 240 LAKE DILLON DRIVE, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.

WHEREAS, following the public hearing on December 2, 2015, the Planning and Zoning Commission of the Town of Dillon recommended, with conditions, the approval of Resolution PZ 19-15, Series of 2015 for the Level IV Development Application for a new Planned Unit Development for the Dillon Gateway project located at 240 Lake Dillon Drive, more specifically described as Lot 1DEF, Block B, New Town of Dillon Subdivision, Dillon, Colorado; and

WHEREAS, the Planning and Zoning Commission conditioned the recommendation for approval of the Dillon Gateway PUD requiring revisions to the architectural façade showing façade articulation and fenestrations in plan and elevation through condition "I" of Section 2 of Resolution PZ 19-15, Series of 2015; and

WHEREAS, following the public hearing on January 5, 2016, the Town Council of the Town of Dillon approved the Dillon Gateway PUD by Resolution 02-16, Series of 2016 with condition "I" of Section 2 requiring revisions to the architectural façade showing façade articulation and fenestrations in plan and elevation; and

WHEREAS, the Town of Dillon has received revised architectural drawings for the Dillon Gateway PUD showing architectural façade articulation and fenestrations in plan and elevation; and

WHEREAS, the Planning and Zoning Commission of the Town of Dillon has determined that the revised architectural drawings provide the level of architectural façade articulation and fenestration requested of the applicant as a condition of the Dillon Gateway PUD approval.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, AS FOLLOWS:

<u>Section 1</u>. That the Planning and Zoning Commission of the Town of Dillon, reviewed the revised architectural façade articulation and fenestrations in plan and elevation and makes the following findings of fact:

A. That the applicant worked with an architect to provide a new architectural design for the Dillon Gateway PUD.

B. That the revised architectural building elevation drawings provide building façade articulation and fenestrations reflecting thoughtful architectural design which visually breaks up large wall segments.

C. That the proposed architecture for the Dillon Gateway Planned Unit Development at 240 Lake Dillon Drive meets the applicable Dillon Municipal Code of the Town of Dillon ("Code") sections.

<u>Section 2</u>. That the Planning and Zoning Commission of the Town of Dillon hereby approves the revised architectural elevations for the Dillon Gateway Planned Unit Development at 240 Lake Dillon Drive.

APPROVED AND ADOPTED THIS 6TH DAY OF JULY 2016 BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO.

PLANNING AND ZONING COMMISSION, TOWN OF DILLON

By: _____

Nathan Nosari, Chairperson

ATTEST:

By: ___

Corrie Fischer, Secretary to the Commission







EAST ELEVATION





DILLON GATEWAY

06/20/16 PROGRESS







COURTYARD EAST ELEVATION

EAST-WING SOUTH ELEVATION







DILLON GATEWAY

06/20/16 PROGRESS

240 Lake Dillon Dr. Dillon, CO 80435





COURTYARD WEST ELEVATION

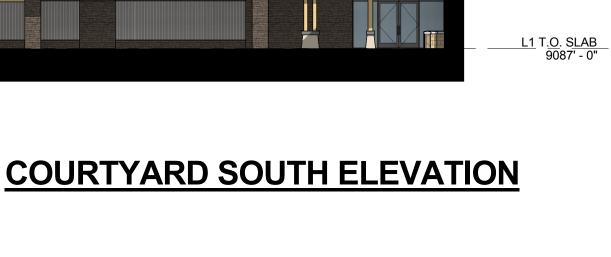






DILLON GATEWAY

06/20/16 PROGRESS



ELEVATIONS





NORTH-WEST ELEVATION





DILLON GATEWAY

06/20/16 PROGRESS



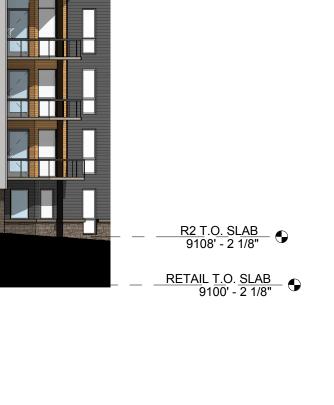
NORTH ELEVATION





DILLON GATEWAY

06/20/16 PROGRESS



T.O. STAIR CORE 9159' - 0"

MAX. BLDG. HEIGHT 9151' - 0"

ELEVATIONS



VIEW FROM SOUTH





DILLON GATEWAY

06/20/16 PROGRESS

PERSPECTIVES



VIEW FROM NORTH-EAST CORNER





DILLON GATEWAY

06/20/16 PROGRESS



VIEW FROM NORTH-WEST CORNER







DILLON GATEWAY

06/20/16 PROGRESS





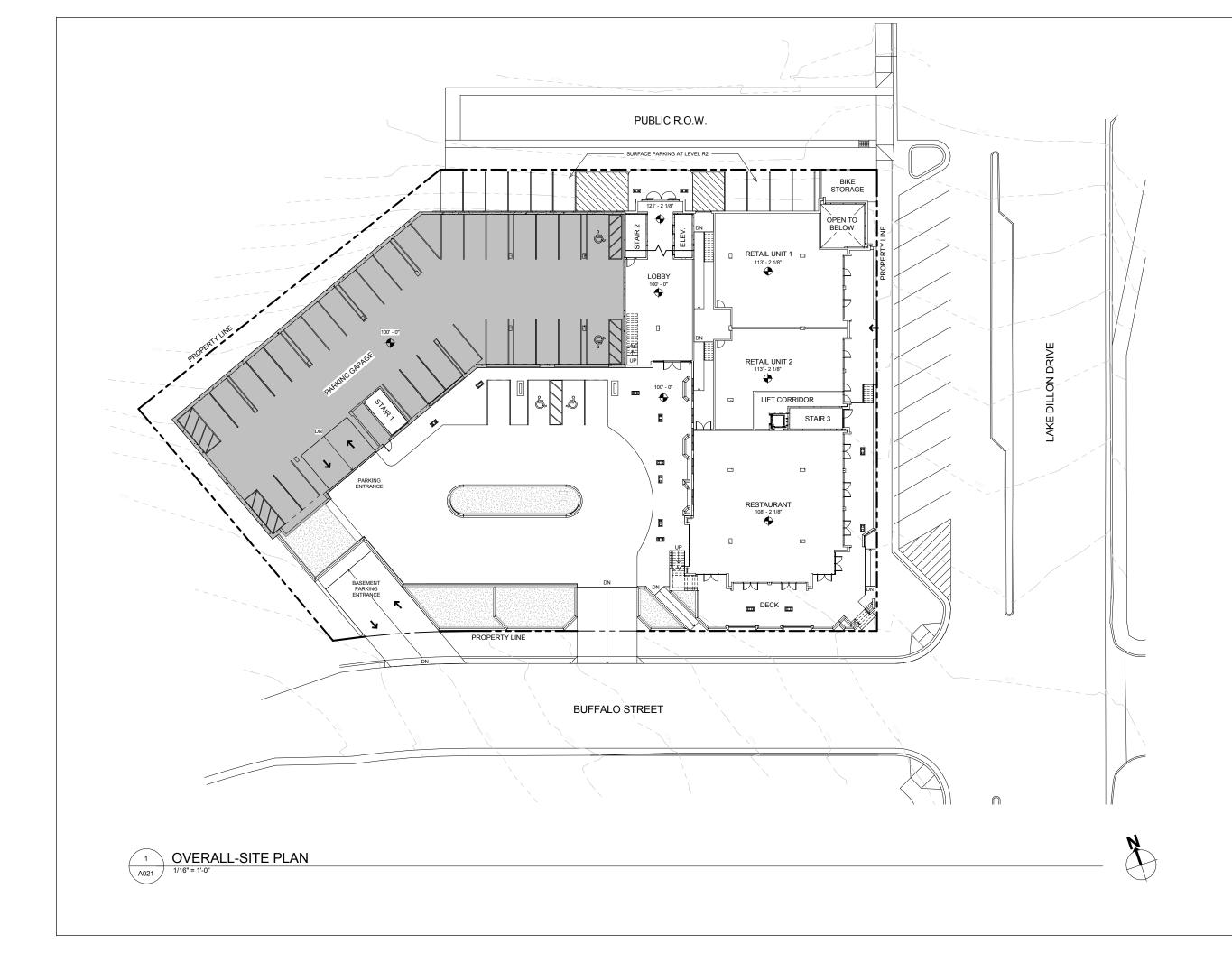
VIEW FROM SOUTH-EAST CORNER



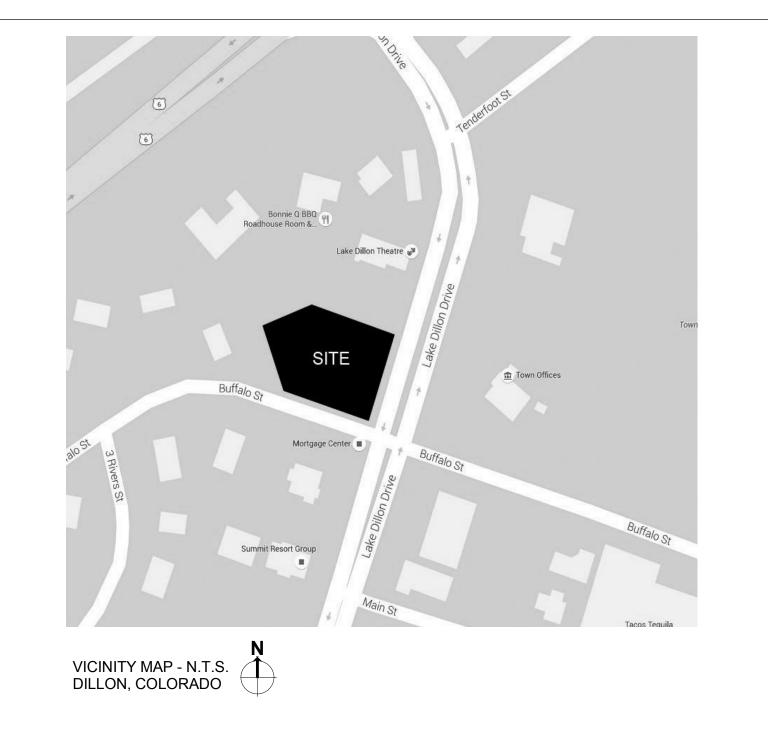


DILLON GATEWAY

06/20/16 PROGRESS



240 Lake Dillon Dr. Dillon, CO 80435	Dillon, CO 80435	
DILLON GATEWAY	LAKE DILLON DRIVE AND BUFFALO STREET DILLON, CO	
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SCHEMATI	C DESIGN	
ISSUE DATE 06/20/16 PF KEY PLAN	ROGRESS	RIGHT © 2016 PAUL T. BERGNER, AIA, ARCHITECT, PC/ALL RIGHTS RESERVED
SHEET TITLE	PLAN	RGNER, AIA, AR
SHEET NUMBER		3 PAUL T. BE
A0	21	RIGHT © 2016



GROSS BUILDING SF.		
LEVEL	AREA	
LEVEL B1	30,942 SF	
LEVEL L1	23,102 SF	
LEVEL R1	23,460 SF	
LEVEL R2	13,273 SF	
LEVEL R3	23,220 SF	
LEVEL R4	23,220 SF	
LEVEL R5	23,220 SF	
TOTAL	160,437 SF	

	ι	UNIT MIX - UNITS TOTAL			
Name	Unit Description	Area (Main Floor)	Total Area		
S1	STUDIO	558 SF	1673 SF		
S2	STUDIO	624 SF	1871 SF		
			3544 SF		
A1	1 BR 1 BA	863 SF	5178 SF		
A1 ALT 1	1 BR 1 BA	825 SF	1650 SF		
A2	1 BR 1.5 BA DEN	1002 SF	3005 SF		
A2 ALT 1	1 BR 1.5 BA DEN	939 SF	939 SF		
A3	1 BR 1 BA DEN	967 SF	2901 SF		
			13674 SF		
B1	2 BR 2 BA	1118 SF	3354 SF		
B2	2 BR 2 BA	1138 SF	1138 SF		
B2 ALT 1	2 BR 2 BA	1113 SF	1113 SF		
B2 ALT 2	2 BR 2 BA	1118 SF	1118 SF		
B3	2 BR 2 BA	1146 SF	3437 SF		
B4	2 BR 2 BA	1311 SF	3932 SF		
B4 ALT 1	2 BR 2 BA	1203 SF	3608 SF		
B4 ALT 2	2 BR 2 BA	1203 SF	2407 SF		
B4 ALT 3	2 BR 2 BA	1269 SF	2537 SF		
B5	2 BR 2 BA	1274 SF	3821 SF		
B5 ALT 1	2 BR 2 BA	1236 SF	1236 SF		
B6	2 BR 2 BA DEN	1309 SF	3928 SF		
			31629 SF		
C1	3 BR 2.5 BA	1393 SF	4179 SF		
C2	3 BR 3 BA	1470 SF	4410 SF		
C3	3 BR 2 BA	1786 SF	5359 SF		
			13948 SF		
D1	4 BR 3 BA	1804 SF	5413 SF		
D1 ALT 1	4 BR 3 BA	1900 SF	5699 SF		
			11112 SF		
GRAND TOTA	L: 62		73908 SF		

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Name	Unit Description	Area (Main Floor)	Total Area	Mix
S1	STUDIO	558 SF	1673 SF	18%
S2	STUDIO	624 SF	1871 SF	18%
-			3544 SF	35%
A1 ALT 1	1 BR 1 BA	825 SF	1650 SF	12%
A2 ALT 1	1 BR 1.5 BA DEN	939 SF	939 SF	6%
			2589 SF	18%
B2	2 BR 2 BA	1138 SF	1138 SF	6%
B2 ALT 1	2 BR 2 BA	1113 SF	1113 SF	6%
B2 ALT 2	2 BR 2 BA	1118 SF	1118 SF	6%
B4 ALT 2	2 BR 2 BA	1203 SF	2407 SF	12%
B4 ALT 3	2 BR 2 BA	1269 SF	2537 SF	12%
B5 ALT 1	2 BR 2 BA	1236 SF	1236 SF	6%
			9550 SF	47%
GRAND TO	TAL: 17		15683 SF	100%

Name	Unit Description	Area (Main Floor)	Total Area	Mix	Number
A1	1 BR 1 BA	863 SF	5178 SF	13%	6
A2	1 BR 1.5 BA DEN	1002 SF	3005 SF	7%	3
A3	1 BR 1 BA DEN	967 SF	2901 SF	7%	3
			11085 SF	27%	12
B1	2 BR 2 BA	1118 SF	3354 SF	7%	3
B3	2 BR 2 BA	1146 SF	3437 SF	7%	3
B4	2 BR 2 BA	1311 SF	3932 SF	7%	3
B4 ALT 1	2 BR 2 BA	1203 SF	3608 SF	7%	3
B5	2 BR 2 BA	1274 SF	3821 SF	7%	3
B6	2 BR 2 BA DEN	1309 SF	3928 SF	7%	3
			22080 SF	40%	18
C1	3 BR 2.5 BA	1335 SF	4179 SF	7%	3
C2	3 BR 3 BA	1470 SF	4410 SF	7%	3
C3	3 BR 2 BA		5359 SF	7%	3
			13948 SF	20%	9
D1	4 BR 3 BA	1804 SF	5413 SF	7%	3
D1 ALT 1	4 BR 3 BA	1897 SF	5699 SF	7%	3
			11112 SF	13%	6
GRAND TO	TAL: 45		58225 SF	100%	45

PARKING		
LEVELS	COUNT	DESCRIPTION
B1 T.O. SLAB	1	9X18 HANDICAP SPACE
B1 T.O. SLAB	77	9X18 STANDARD PARKING SPACE
L1 T.O. SLAB	4	9X18 HANDICAP SPACE
L1 T.O. SLAB	30	9X18 STANDARD PARKING SPACE
R2 T.O. SLAB	10	9X18 STANDARD PARKING SPACE
	122	

PARKING REQUIRED / PROVIDED			
TYPE	COUNT	REQUIREMENT	REQUIRED SPACES
4 BED	6	2 SPACES	12
3 BED	9	2 SPACES	18
2 BED	26	2 SPACES	52
1 BED	15	1.5 SPACES	23
STUDIO	6	1.5 SPACES	9
RESTAURANT	N/A	N/A	N/A
RETAIL 1	N/A	N/A	N/A
RETAIL 2	N/A	N/A	N/A
TOTAL			114
HC SPACES		2% OF TOTAL + 2 SPACES FOR RETAIL	3 + 2 = 5
GRAND TOTAL			119

DILLON GATEWAY

240 Lake Dillon Dr. Dillon, CO 80435



PBA: 1575 GUPIN STREET DENVER, CO 80218 PH: 303.592.2904 FX: 303.592.2337 www.studiopba.com

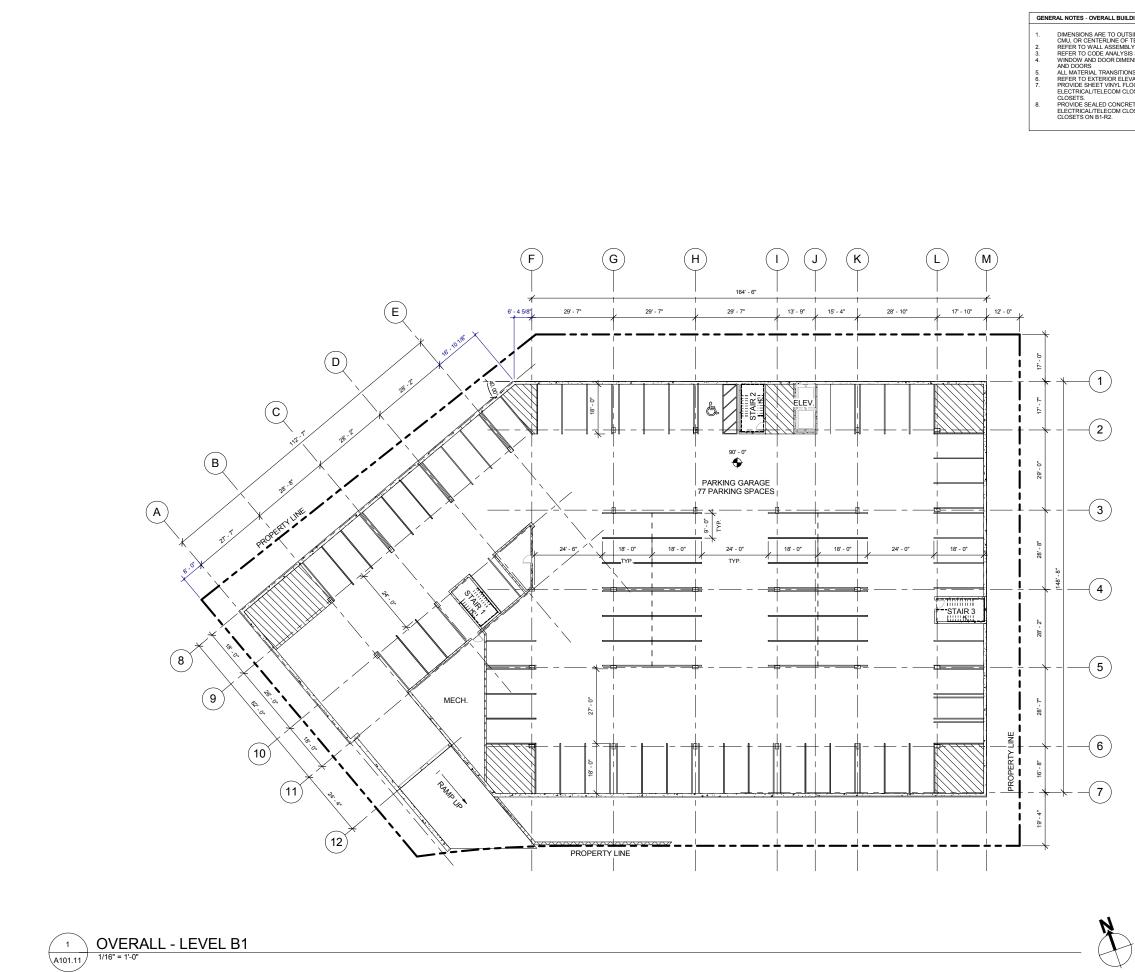
DILLON GATEWAY LAKE DILLON DRIVE AND BUFFALO STREET DILLON, CO THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEM MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED. No Descriptio Date Date 1 CURRENT PHASE

SCHEMATIC DESIGN
ISSUE DATE 06/20/16 PROGRESS
KEY PLAN
SHEET TITLE PROJECT INFORMATION
SHEET NUMBER

Mix	Number
5%	3
5%	3
10%	6
10%	6
3%	2
5%	3
2%	1
5%	3
24%	15
5%	3
2%	1
2%	1
2%	1
5%	3
5%	3
5%	3
3%	2
3%	2
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2%	1
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100%	62

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PROVIDED SPACES
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122



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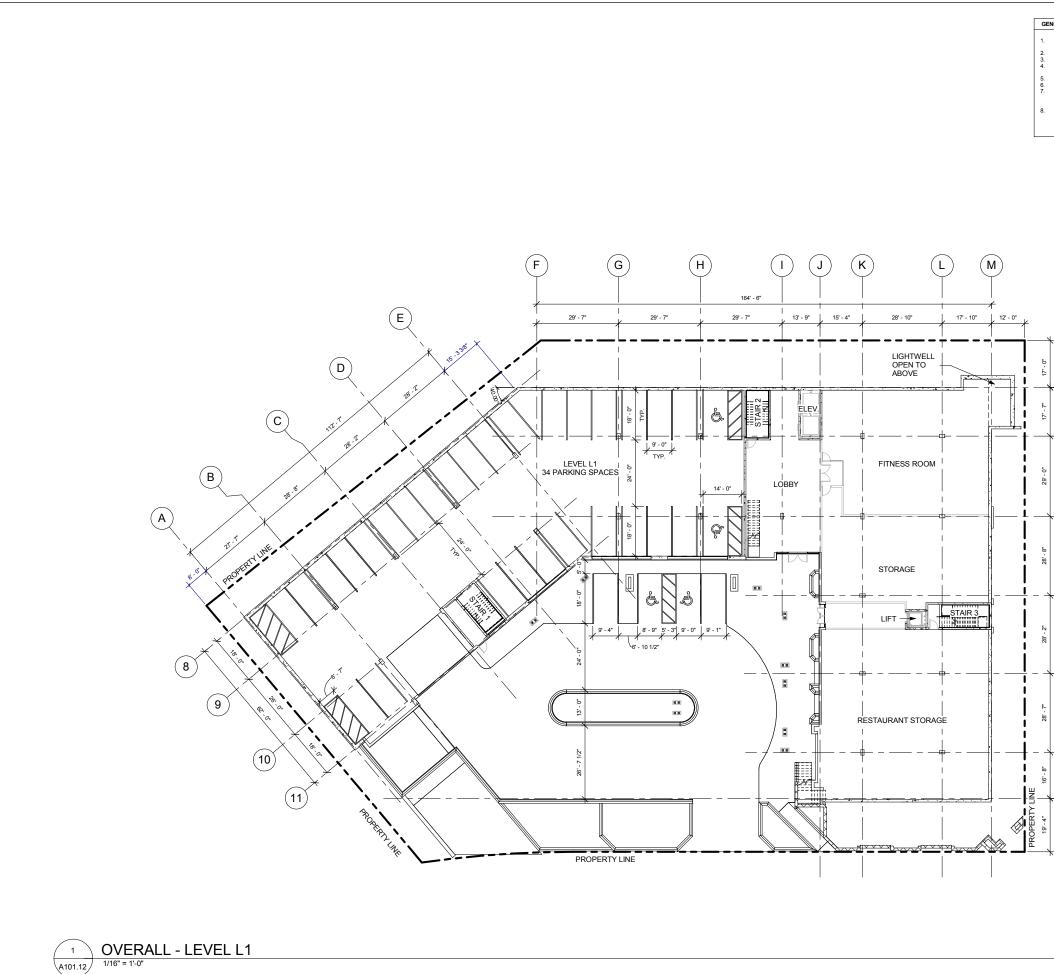
DILLON GATEWAY

240 Lake Dillon Dr. Dillon, CO 80435



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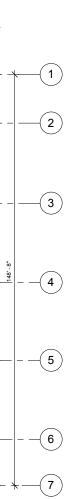
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DILLON GATEWAY

240 Lake Dillon Dr. Dillon, CO 80435

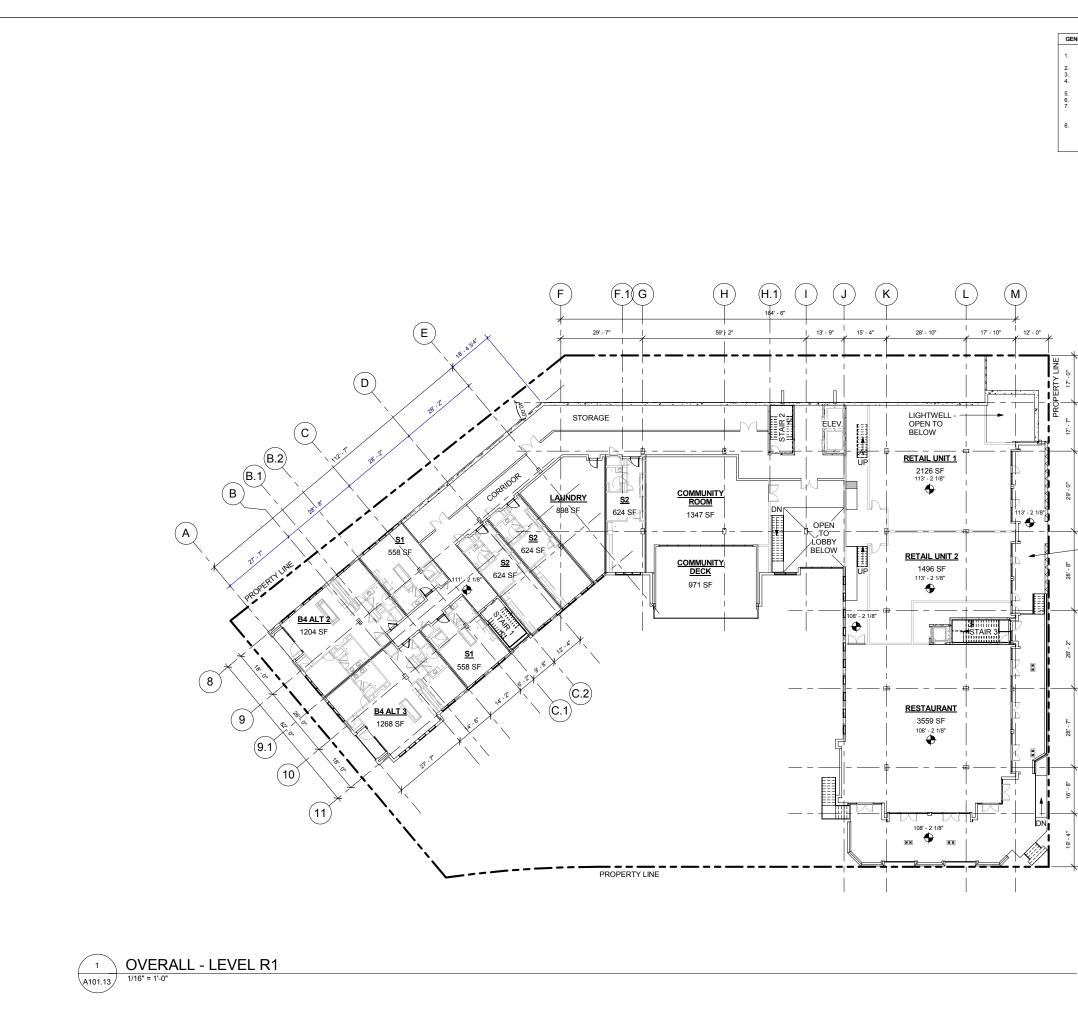


PBA 1575 GILPIN STREET DENVER, CO. 80216 PH: 303.592.9904 FX: 303.592.2387 www.studiopba.com





DILLON GATEWAY	LAKE DILLON DRIVE AND BUFFALO STREET DILLON, CO
THESE DRAWINGS ARE II INTENDED FOR CONVEYI CONCEPTS. ANY PRICIN PERFORMED WITH THES CARRY A CONTINGENCY MAY CHANCE OR BE ADI PROCESS IS COMPLETEI No. Descript	g or budgeting E drawings must To cover what items ded as the design D.
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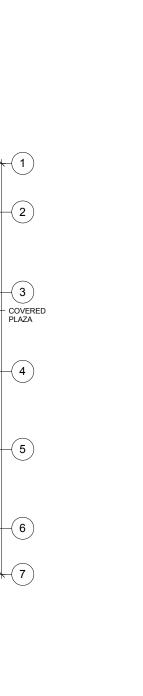
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DILLON GATEWAY

240 Lake Dillon Dr. Dillon, CO 80435

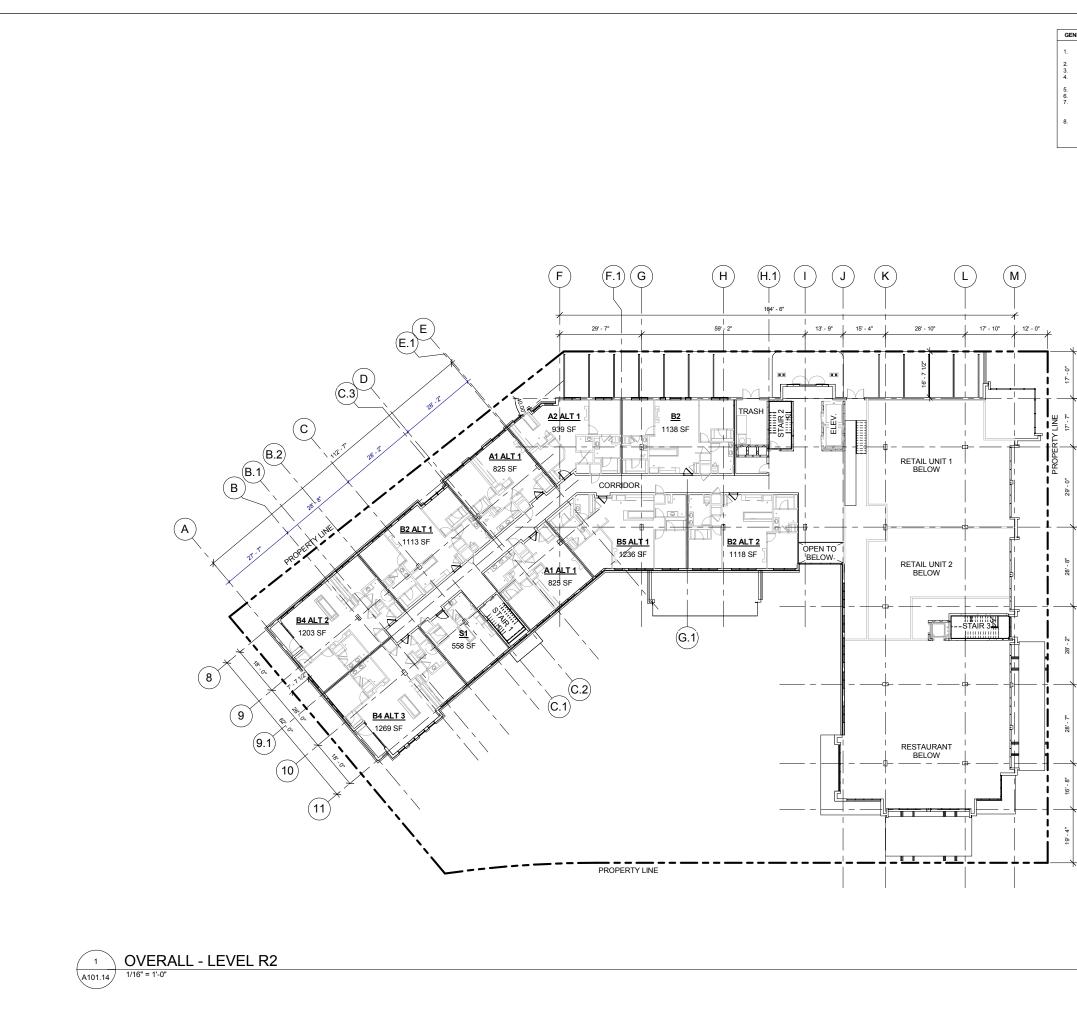


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THESE DRAWINGS ARE I INTENDED FOR CONVEY CONCEPTS. ANY PRICIN PERFORMED WITH THES CARRY A CONTINGENCY MAY CHANGE OR BE ADD PROCESS IS COMPLETEI No. Descript	D.
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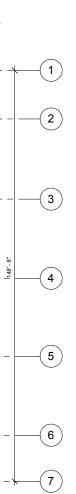
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DILLON GATEWAY

240 Lake Dillon Dr. Dillon, CO 80435

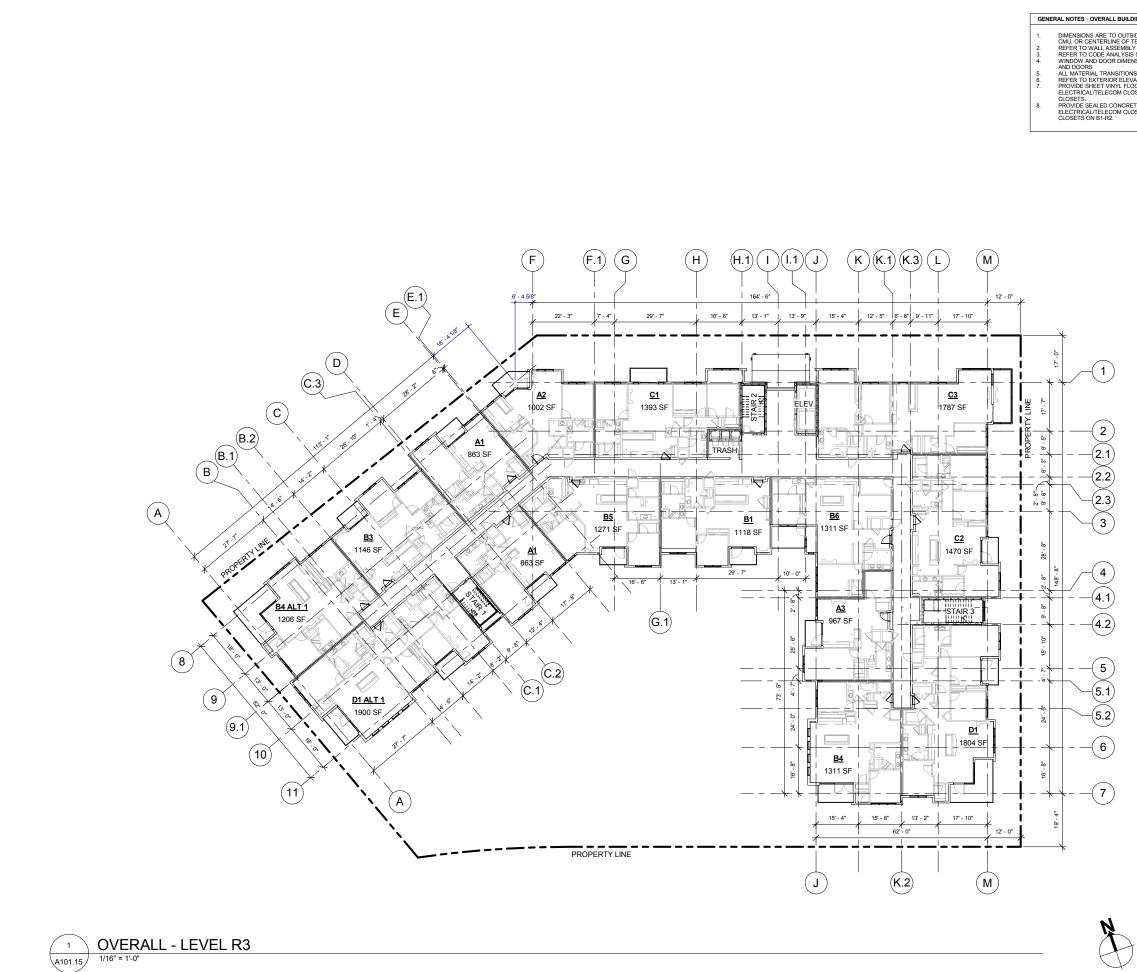


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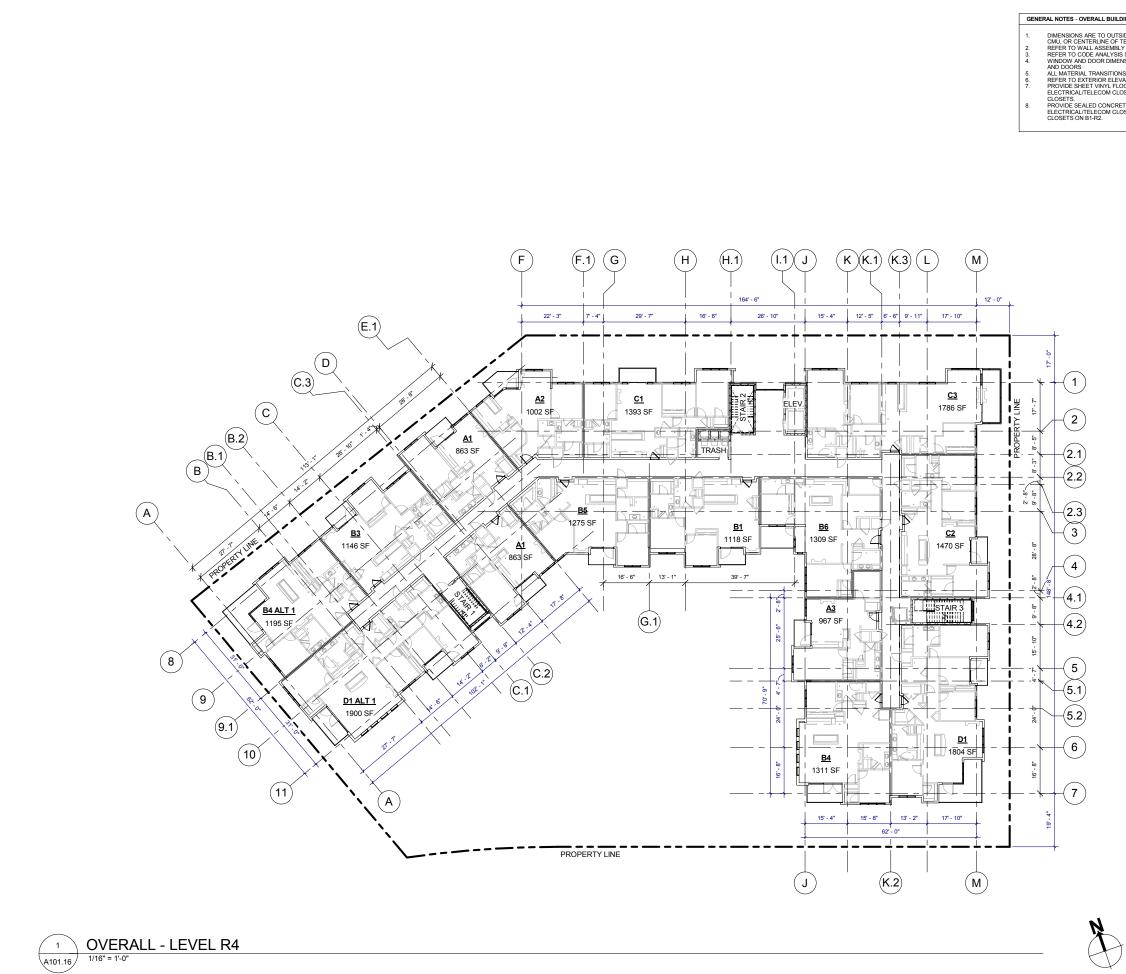
DILLON GATEWAY

240 Lake Dillon Dr. Dillon, CO 80435



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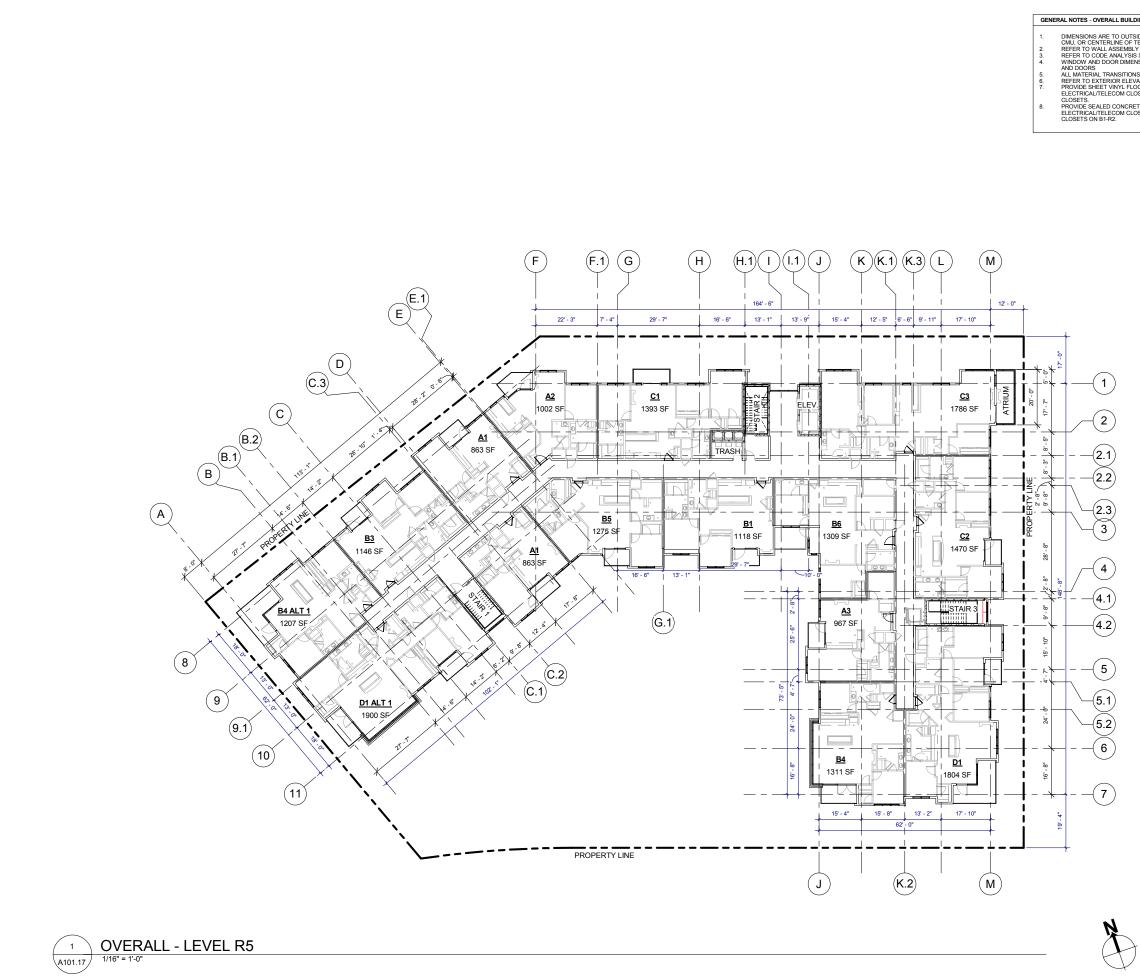
DILLON GATEWAY

240 Lake Dillon Dr. Dillon, CO 80435



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DILLON GATEWAY

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	KEYNOTES - UNITS
#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK.FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED, RE: X/A700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR, 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LCCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.

463 COUNTERTOP OVERHANG = 8" 471 24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

KEYNOTES - TYPE 'B' ACCESSIBILITY

#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND
	DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
	DISHWASHER SHALL COMPLY WITH 2003 1004.12.2.2, RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

UNIT PLAN GENERAL NOTES III PLAN GENERAL NOTES REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION REFER TO LAYOUT PLANS AND ELEVATIONS FOR REFER TO LAYOUT PLANS AND ELEVATIONS FOR BUILTS AND A STATUS AND ALEVATIONS FOR ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A080 DIMENSIONS MARKED WITH 'CL' ARE TO CENTERLINE OF TENANT SEPARATION WALL UN O. DOOR JAMBS ARE 4° FROM STUD OR CENTERED IN SPACE, U.N.O. ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP, U.N.O. SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES. 2

INDICATES FORWARD OR PARALLEL APPROACH

ACCESSIBILITY LEGEND

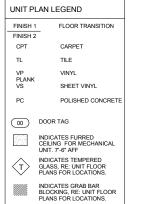
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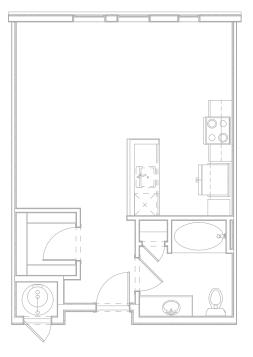
CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE

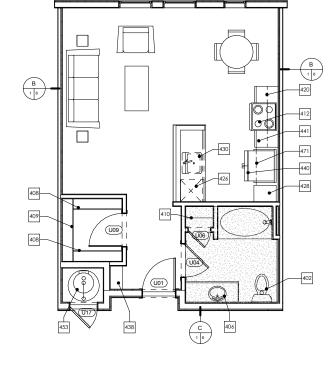
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- ALD/AUCENT FINISH FLOORING TO EAT END UNDER APPLIANCES. MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS INCLUDE RESULENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SDE, NOT ON CORRIDOR SDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANFI S
- ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), 13.
- SIDE) AND TENANT SEPARATION WALLS (2 SIDES), UN.O. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER. PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. TOLIET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURYED. FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS. 14 15.
- 16

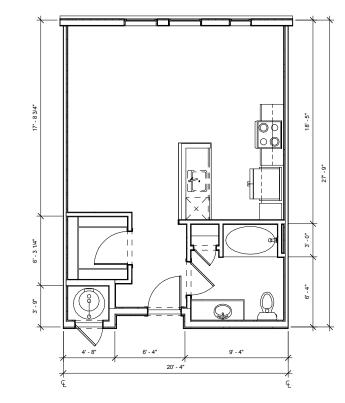
UNIT S1
 UNIT TYPE
 UNIT DESCRIPTION
 UNIT AREA

 S1
 STUDIO
 558 SF
 OCCURRENCES STUDIO









	UNIT S1 DIMEN
A301	1/4" = 1'-0" NOTE: DIMENSIONS SHOWN IN DIMENSI OR CENTER LINE OF TENANT SEPARATI





CLIENT LOGO

240 Lake Dillon Dr. Dillon, CO 80435



1575 GILPIN STREET DENVER, CO 80218 PH: 303.592.2904 FX: 303.592.2387 www.studiopba.com

GATEWAY 80 LAKE DILLON DRIVE AND BUFFALO STREET DILLON, DILLON THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEME MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED. No. Description Date CURRENT PHASE SCHEMATIC DESIGN ISSUE DATE 06/20/16 PROGRESS KEY PLAN SHEET TITLE ENLARGED UNIT PLANS - UNIT S1 SHEET NUMBER A301

ARCHITECT'S PROJECT NUMBER Project Number

ISION PLAN

ISION PLAN ARE TO FACE OF STUD, GRID LINE, TION WALL, UNLESS NOTED OTHERWISE.

	KEYNOTES - UNITS
#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK.FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED, RE: X/A700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
	DRYER. FRONT LOADING, FRONT CONTROLS
	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LCCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

3

A302

KEYNOTES - TYPE 'B' ACCESSIBILITY

- TYPE "B" ADAPTABLE DWELLING UNIT SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND
- DIAGRAMS PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
- B1
 PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.51, RE: 1/A900.

 B2
 USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.52, RE: 1/A900.

 B3
 CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.

 B6
 GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.112, RE: 1.2, 57/A902.

 B7
 BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.2, 57/A902.

 B8
 AND 904301, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901.

 B9
 KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.112, RE: 4/A904.

 B10
 DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2, RE: 4/A904.

 B11
 COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2, A RE: 8/A904.

 B12
 REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2, RE: 6/A904.

 B13
 COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2, RE: 6/A904.

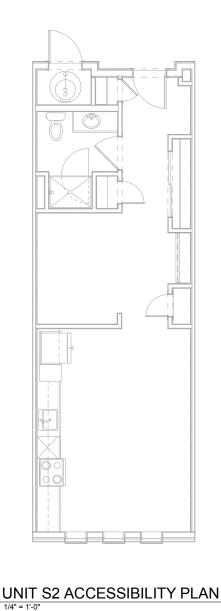
 B14
 REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2, RE: 6/A904.

 B15
 OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.

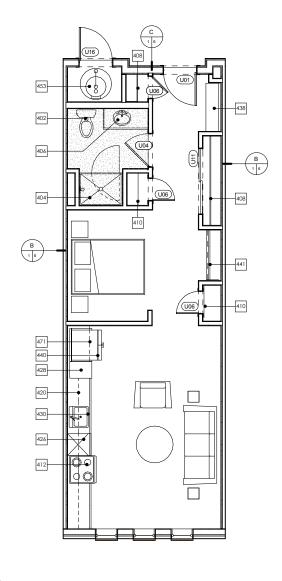
 B16
 OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

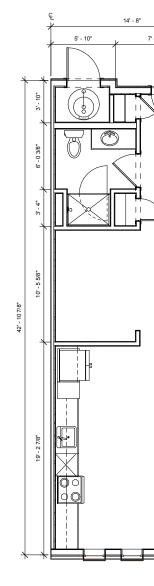
CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE UNIT TYPE UNIT DESCRIPTION UNIT PLAN LEGEND UNIT PLAN GENERAL NOTES FLOOR TRANSITION FINISH 1 FINISH 2 REFER TO LAYOUT PLANS FOR OVERALL BUILDING NETER IN DATION FOR OFFALL BIOLING REFER IND. OUT FLANS FOR OFFALL BIOLING REFER IND. REFER IND. REFER IND. ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B, RE. 4050. DMENSIONS MARKED WITH 'CL' ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O. DOOR JAMBS ARE 4' FROM STUD OR CENTERED IN SPACE, U.N.O. ALL ANGLES ON PLAN ARE 45' FROM THE ORTHOGONAL, TYP, U.N.O. SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES. INFORMATION CPT CARPET TL TILE VP PLANK VS VINYI SHEET VINYL PC POLISHED CONCRETE 00 DOOR TAG ADJACENT FINISH FLOORING TO EAL END UNDER APPLIANCES. TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O. ALL INTERIOR WALLS ARE 2X4 WALL TYPE C, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE C, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE C, U.N.O. INTERIOR SUBJECT AND A CORRIDOR SIDE DO NOT INTERIOR SUBJECT OR AND A CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS. INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF INDICATES TEMPERED GLASS, RE: UNIT FLOOR PLANS FOR LOCATIONS. $\langle T \rangle$ INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), UN O. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. - TOLIET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTIAN ROO, CURVED. FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS. INDICATES GRAB BAR BLOCKING, RE: UNIT FLOOR PLANS FOR LOCATIONS. 13. 14 15.

ACCESSIBILITY LEGEND



NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.





UNIT S2

UNIT AREA

OCCURRENCES

UNIT S2 DETAIL PLAN 2 1/4" = 1'-0" A302 NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



			Studio PBA 1575 Gill	nn street denver, co 80218 1.592.2904 fx: 303.592.2387 V.studiopba.com
	(L) X X X X X X X X X X X X X X X X X X X	*	DILLON GATEWAY	LAKE DILLON DRIVE AND BUFFALO STREET DILLON, CO
	50" 86" 6.		THESE DRAWINGS ARE INTENDED FOR CONVEY CONCEPTS ANY PROI PERFORMED WITH THES	NCOMPLETE AND ARE ING DESIGN SYSTEM GO RBUDGETING TO COVER WHAT ITEMS DED AS THE DESIGN D.
	19'-2.7/8" 3'-8" 42'-107/8"		ISSUE DATE	IC DESIGN ROGRESS
SION PL/	E OF STUD.	GRD LINE,	- UN	UNIT PLANS IT S2
IN WALL, UNLESS NO	ULU OTHER	KWIBE.	ARCHITECT'S PROJECT I	NUMBER Project Number

CLIENT LOGO

240 Lake Dillon Dr. Dillon, CO 80435

BER Project Number

	KEYNOTES - UNITS		
#	Keynote Text		
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.		
403	60" X 36" BATHTUB		
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING		
406	UNDERMOUNT VANITY SINK.FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX		
408	1 ROD / 1 SHELF		
409	2 RODS / 2 SHELVES		
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.		
411	5 SHELVES EXPOSED, RE: X/A700		
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).		
420	12" DEEP UPPER CABINETS		
423	STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)		
424	WASHER		
425	DRYER. FRONT LOADING, FRONT CONTROLS		
426	DISHWASHER		
428	24" DEEP TALL CABINET		
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL		
432	42" X 42" SHOWER		
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP		
438	BENCH. RE: SPEC. FOR LENGTHS		
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)		
441	24" DEEP BASE CABINETS		
447	GAS FIREPLACE		
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.		
463	COUNTERTOP OVERHANG = 8"		
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE		

KEYNOTES - TYPE 'B' ACCESSIBILITY TYPE "B' ADAPTABLE DWELLING UNT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004 5.1, RE: 1/A900. USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004 5.2, RE: 1/A900. CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.12, RE: 1/2, 57/A902. GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.12, RE: 1/2, 57/A902. BATHROOM FITURES SHALL COMPLY WITH 2003 ANSI 1004.12, RE: 1/2, 57/A902. MORTH 2003 ANSI 1004.12, RE: 1/2, 57/A902. BATHROOM FITURES SHALL COMPLY WITH 2003 ANSI 1004.12, RE: 1/2, 57/A902. ISTRIPHONE SHALL COMPLY WITH 2003 ANSI 1004.12, RE: 1/A901. KITCHEN SHIK SHALL COMPLY WITH 2003 ANSI 1004.12, RE: 4/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12, 2.1, RE: 4/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12, 2.3, RE: 6/A904. COCKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12, 2.3, RE: 6/A904. COCKTOP & SHALL COMPLY WITH 2003 ANSI 1004.12, 2.5, RE: 6/A904. CORKTOP & ADTHROOM SHALL COMPLY WITH AND 1004.11.3.1 OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2 OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2 B16 OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

- UNIT PLAN GENERAL NOTES REFER TO LAYOUT PLANS FOR OVERALL BUILDING NEFER TO LATOUI PLANS AND ELEVATIONS FOR INFORMATION UT FLANS AND ELEVATIONS FOR REFER TO LAND TYPES / MATERIA, RATED PER WALL TYPES / MATERIA, RATED PER WALL TYPE B, RE: A050. DIMENSIONS MARKED WITH 'CL' ARE TO CENTERLINE OF TENANT SEPARATION WALL UN O. DOOR JAMBS ARE 4'F FROM STUD OR CENTERED IN SPACE, U.N.O. LLL ANGLES ON PLAN ARE 45' FROM THE ORTHOGONAL, TYP, U.N.O. SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES. INFORMATION
- 9. 10
- ALD/AUCENT FINISH FLOORING TO EAT END UNDER APPLIANCES. MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANFI S

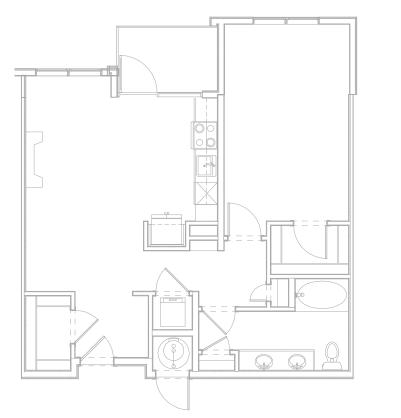
ACCESSIBILITY LEGEND

4 5. 6.

- PANELS. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), 13.
- 14
- 15.
- SIDE) AND TENANT SEPARATION WALLS (2 SIDES), UN.O. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER. PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. TOLIET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED. FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS. AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS. 16

	UN	IIT A1	
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
A1	1 BR 1 BA	863 SF	6
A1 ALT 1	1 BR 1 BA	825 SF	2
	UNIT TYPE A1 A1 ALT 1	UNIT TYPE UNIT DESCRIPTION A1 1 BR 1 BA	UNIT TYPE UNIT DESCRIPTION UNIT AREA A1 1 BR 1 BA 863 SF

UNIT PLAN LEGEND		
FINISH 1	FLOOR TRANSITION	
FINISH 2	_	
CPT	CARPET	
TL	TILE	
VP PLANK	VINYL	
VS	SHEET VINYL	
PC	POLISHED CONCRETE	
00	DOOR TAG	
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF	
	INDICATES TEMPERED GLASS, RE: UNIT FLOOR PLANS FOR LOCATIONS.	
	INDICATES GRAB BAR BLOCKING, RE: UNIT FLOOR PLANS FOR LOCATIONS.	



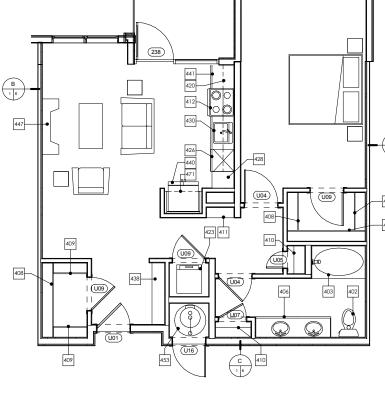
UNIT A1 ACCESSIBILITY PLAN

NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.

3

A303

1/4" = 1'-0"



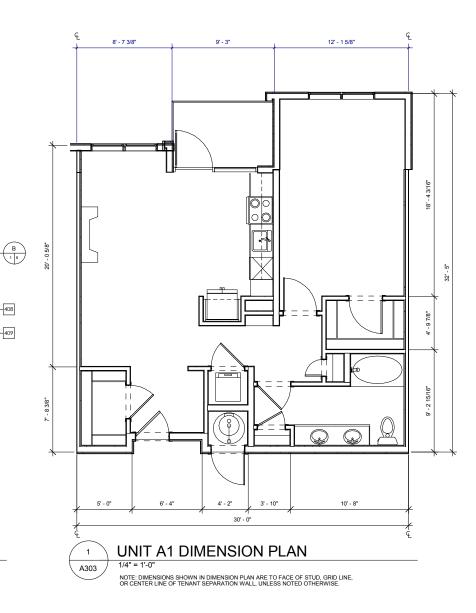
UNIT A1 DETAIL PLAN

NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.

2

A303

1/4" = 1'-0"



CLIENT LOGO

240 Lake Dillon Dr. Dillon, CO 80435



1575 GILPIN STREET DENVER, CO 80218 PH: 303.592.2904 FX: 303.592.2387 www.studiopba.com

GATEWAY 80 LAKE DILLON DRIVE AND BUFFALO STREET DILLON, DILLON THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEME MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED. No. Description Date CURRENT PHASE SCHEMATIC DESIGN ISSUE DATE 06/20/16 PROGRESS KEY PLAN SHEET TITLE ENLARGED UNIT PLANS - UNIT A1 SHEET NUMBER A303

	KEYNOTES - UNITS	ACCESSIBILITY LEGEND
#		CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	Keynote Text TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.	
		INDICATES FORWARD OR PARALLEL APPROACH
	60" X 36" BATHTUB	
	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING	
406	UNDERMOUNT VANITY SINK.FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX	
408	1 ROD / 1 SHELF	
409	2 RODS / 2 SHELVES	UNIT PLAN GENERAL NOTES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.	
411	5 SHELVES EXPOSED, RE: X/A700	 REFER TO LAYOUT PLANS FOR OVERALL BUILDING
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).	INFORMATION 2. REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
420	12" DEEP UPPER CABINETS	3. ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL
423	STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)	TYPE B. RE: A050.
424	WASHER	 DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE
425	DRYER. FRONT LOADING, FRONT CONTROLS	OF TENANT SEPARATION WALL, U.N.O.
426	DISHWASHER	5. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.
428	24" DEEP TALL CABINET	6. ALL ANGLES ON PLAN ARE 45° FROM THE
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL	ORTHOGONAL, TYP, U.N.O.
432	42" X 42" SHOWER	 SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP	8. ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
438	BENCH. RE: SPEC. FOR LENGTHS	9. MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH.
	REFRIGERATOR: 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)	10. ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O. 11. ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O. 12. WHERE CORRIDOR WALLS INCLUDE RESILIENT
441	24" DEEP BASE CABINETS	CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT
447	GAS FIREPLACE	INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.	PANELS
463	COUNTERTOP OVERHANG = 8"	13. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE	SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O.
		14. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER.

TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS PRIMARY ENTRANCE DOCRWAYS SHALL COMPLY WITH 2003 ANSI 1004.51, RE: 1/A900. USER PASSAGE DOCRWAYS SHALL COMPLY WITH 2003 ANSI 1004.52, RE: 1/A900. CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.52, RE: 1/A900. GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.2, 57/A902. BATHROOM FITURES SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.2, 57/A902. IST HOOM FITURES SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.2, 57/A902. IST HOOM NETVINES SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.4, 57/A902. IST HOOM NETVINES SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.4, 57/A902. IST HOOM SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.4, 57/A902. IST HOOM SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.4, 57/A902. ISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.4, 57/A902. ISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.4, 84/A904. ICONGTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.11.2, 2, RE: 6/A904. ICONGTOP & A OVEN SHALL COMPLY WITH 2003 ANSI 1004.11.2, 2, RE: 6/A904. ICONGTOP & ADET SHALL COMPLY WITH 2003 ANSI 1004.11.2, 2, RE: 6/A904. ICONGTOP & ADET SHALL COMPLY WITH 2003 ANSI 1004.11.2, 2, RE: 6/A904. ICONGTOP & ADET SHALL COMPLY WITH 2003 ANSI 1004.11.2, 2, RE: 6/A904. ICONGTOP & ADET SHALL COMPLY WITH 2003 ANSI 1004.11.2, 2, RE: 6/A904. ICONGTOP & ADET SHALL COMPLY WITH 2003 ANSI 1004.11.2, 2, RE: 6/A904. ICONGTOP & ADET SHALL COMPLY WITH 2003 ANSI 1004.11.2, 2, RE: 6/A904. ICONGTOP & ADET SHALL COMPLY WITH 2003 ANSI 1004.11.2, 2, RE: 6/A904. ICONGTOP & ADET SHALL COMPLY WITH 2003 ANSI 1004.11.2, 2, RE: 6/A904. ICONGTOP & ADET SHALL COMPLY WITH 2003 ANSI 1004.11.2, 2, RE: 6/A904. ICONGTOP & ADET SHALL COMPLY WITH ANSI 1004.11.3.1. ICONGTOP & ADET ROCOM SHALL COMPLY WITH ANSI 1004.11.3.2. ICONGTOP & ADET ROCOM SHALL COMPLY WITH ANSI 1004.11.3.1. ICONGTOP & ADET ROCOM SHALL COMPLY WITH ANSI 1004.11.3.1. ICONGTOP & ADET ROCOM SHALL COMPLY WITH ANSI 1004.11.3.2. ICONGTOP & ADET R

B16 OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

- UNIT PLAN GENERAL NOTES NIT PLAN GENERAL NOTES
 REFER TO LAYOUT PLANS FOR OVERALL BUILDING
 INFORMATION
 REFER TO LAYOUT PLANS AND ELEVATIONS FOR
 EXTERIOR WALL TYPES / MATERIALS
 ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL
 TYPE B, RE: A050
 DIMENSIONS MARKED WITH 'CL' ARE TO CENTERLINE
 OF TENANT SEPARATION WALL, U.N.O.
 DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN
 SPACE, U.N.O.
 ALL ANGLES ON PLAN ARE 45" FROM THE
 ORTHOGORIAL, TYP, U.N.O.
 SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS
 ADJACENT FINISH FLOORING TO EXTEND UNDER
 APPLIANCES. 1 2 4 5. 6
- ADJACENT FINISH FLOOKING TO EAT END UNDER APPLIANCES. TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C, ZX4, U.N.O. ALL INITERIOR WALLS ARE ZX4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS INCLUDE RESULENT CHANNEL, INSTALL RESILENT CHANNEL ON UNIT INTERIOR SUE, NOT ON CORRIDOR SUED. DO NOT INSTALL RESILENT CHANNEL OVER WOOD SHEAR PANEI S 11. 12
- 13.
- 15.
- INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O. SPECIFICATION PER INTERIOR DESIGNER: PROVIDE OVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER: PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BOWEL BAR TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROO, CURVED. FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS. 16

UNIT A1 ALT 1			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	
A1 ALT 1	1 BR 1 BA	825 SF	
UNIT PL	AN LEGEND		
FINISH 1	FLOOR TRANSITION		
FINISH 2	-		
CPT	CARPET		
TL	TILE		
VP PLANK	VINYL		
VS	SHEET VINYL		
PC	POLISHED CONCRET	E	
00	DOOR TAG		
40.2	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF		

INDICATES TEMPERED GLASS, RE: UNIT FLOOR PLANS FOR LOCATIONS.

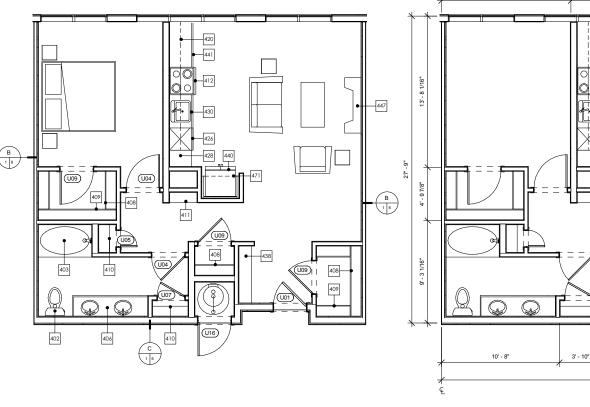
INDICATES GRAB BAR BLOCKING, RE: UNIT FLOOR PLANS FOR LOCATIONS.

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OCCURANCES

бВ









1

11' - 8 1/2"

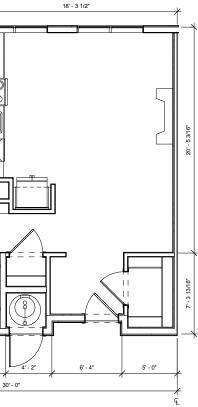
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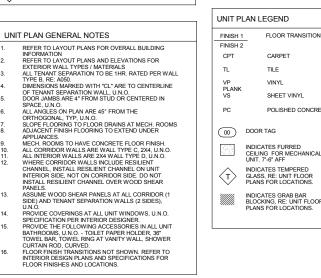
GATEWAY 80 LAKE DILLON DRIVE AND BUFFALO STREET DILLON, DILLON THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEMS MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED. No. Description Date CURRENT PHASE SCHEMATIC DESIGN ISSUE DATE 06/20/16 PROGRESS KEY PLAN SHEET TITLE ENLARGED UNIT PLANS - UNIT A1 ALT 1 SHEET NUMBER A304 ARCHITECT'S PROJECT NUMBER Project Number



	KEYNOTES - UNITS	ACCESSIBILITY LEGEND
#	Keynote Text	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	TOULET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTER INF OF W.C.	
	for X 36" BATHTUB	INDICATES FORWARD OR PARALLEL APPROACH
	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING	
	UNDERMOUNT VANITY SINK-FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX	
408	1 ROD / 1 SHELF	
409	2 RODS / 2 SHELVES	UNIT PLAN GENERAL NOTES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.	Chill Part Generate Noted
411	5 SHELVES EXPOSED, RE: X/A700	 REFER TO LAYOUT PLANS FOR OVERALL BUILDING
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).	INFORMATION 2. REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WAIL TYPES / MATERIALS
420	12" DEEP UPPER CABINETS	3. ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL
423	STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)	TYPE B, RE: A050.
	WASHER	DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE
425	DRYER. FRONT LOADING, FRONT CONTROLS	OF TENANT SEPARATION WALL, U.N.O. 5. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN
426	DISHWASHER	SPACE, U.N.O.
428	24" DEEP TALL CABINET	 ALL ANGLES ON PLAN ARE 45° FROM THE
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL	ORTHOGONAL, TYP, U.N.O.
432	42" X 42" SHOWER	 SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP	8. ADJACENT FINISH FLOOKING TO EXTEND UNDER APPLIANCES
438	BENCH. RE: SPEC. FOR LENGTHS	 MECH, ROOMS TO HAVE CONCRETE FLOOR FINISH.
440	REFRIGERATOR. 24* FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)	ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O. ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS INCLUDE RESILIENT
441	24" DEEP BASE CABINETS	CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT
447	GAS FIREPLACE	INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.	PANELS
463	COUNTERTOP OVERHANG = 8"	 ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE	SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O.
		PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER. PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS LIN.O., TOILET PAPER HOLDRER. 3°

TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900. USER PASSAE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900. USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004 5.2, RE: 1/A900. CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.5, RE: 1/A900. GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1/2, S-7/A902. BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3, TAND 1004 1.1.2, WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901. KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2, I, RE: 4/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2, J, AND 1004.12.2, A, RE: 8/A904. COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2, SAND 1004.12.2, RE: 8/A904. COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2, S. RE: 6/A904. COOKTOP & ADTHROOM SHALL COMPLY WITH 2003 ANSI 1004.12.2, S. RE: 6/A904. SOPTION A BATHROOM SHALL COMPLY WITH ANSI 1004, 11.3, 12. COOKTOP & DETHEORING AND COMPLY WITH AND 1004, 12.2, S. RE: 6/A904.

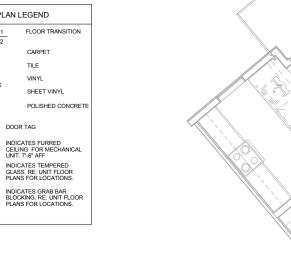
B16 OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

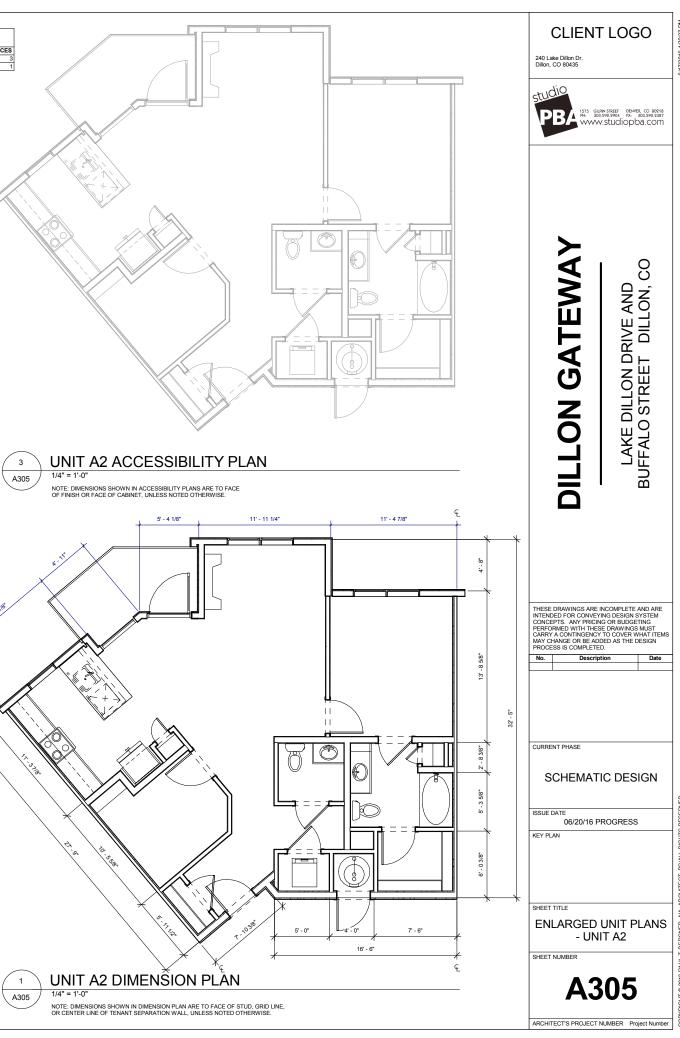


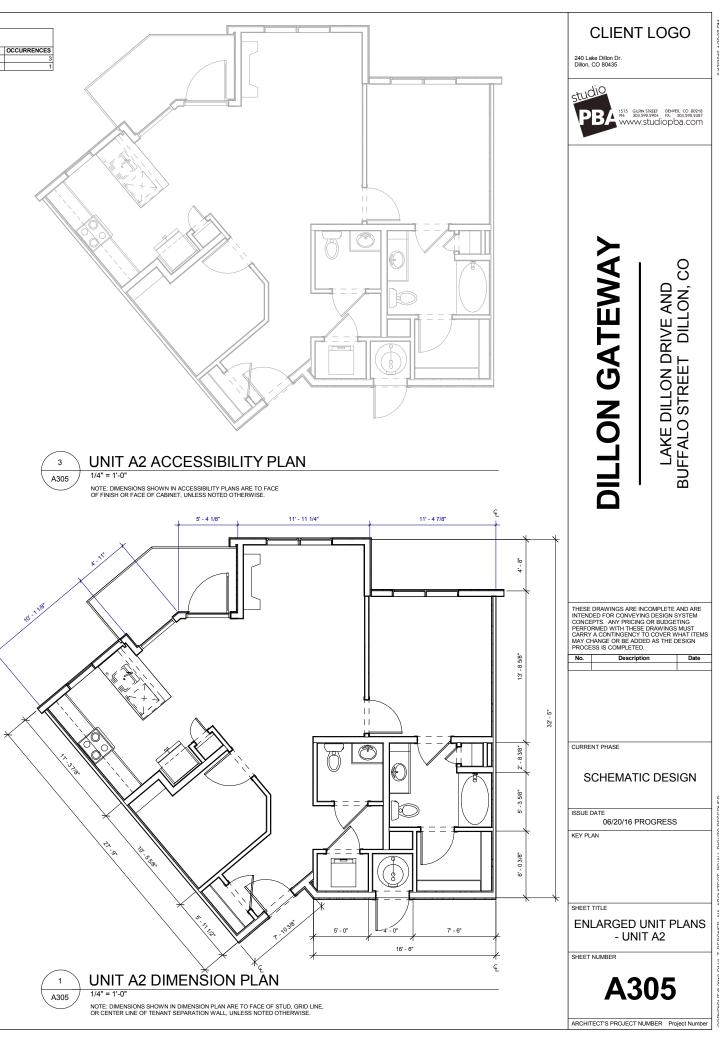
- 14
- 15.

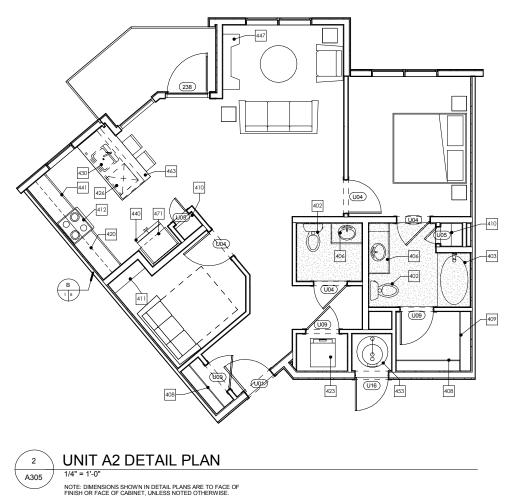
- 16

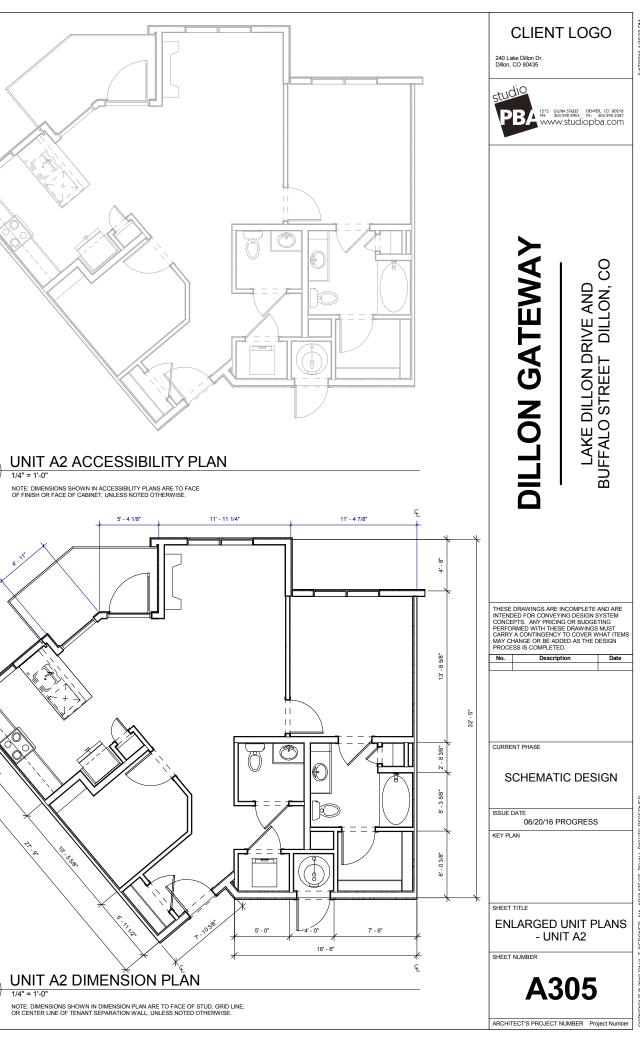
UNIT A2		
JNIT DESCRIPTION	UNIT AREA	OCCURRENC
1.5 BA DEN	1002 SF	
1.5 BA DEN	939 SF	
	1.5 BA DEN	1.5 BA DEN 1002 SF







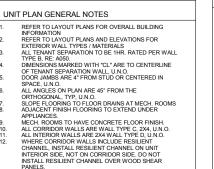




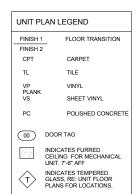
	KEYNOTES - UNITS	ACCESSIBILITY LEGEND	
#	Keynote Text	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / F	FIXTURI
	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.		
	60" X 36" BATHTUB	INDICATES FORWARD OR PARALLEL APPROACH	
		- //	
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX	-	
408	1 ROD / 1 SHELF	1	
	2 RODS / 2 SHELVES	UNIT PLAN GENERAL NOTES	
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.		
	5 SHELVES EXPOSED, RE: X/A700	1. REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION	
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).	2. REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS	
420	12" DEEP UPPER CABINETS	3 ALL TENANT SEPARATION TO BE 1HR RATED PER WA	411
423	STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)	TYPE B, RE: A050.	
424	WASHER	DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE	£
425	DRYER. FRONT LOADING, FRONT CONTROLS	OF TENANT SEPARATION WALL, U.N.O. 5. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN	
	DISHWASHER	SPACE, U.N.O.	
	24" DEEP TALL CABINET	ALL ANGLES ON PLAN ARE 45° FROM THE	
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL	ORTHOGONAL, TYP, U.N.O.	
432	42" X 42" SHOWER	7. SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOM 8. ADJACENT FINISH FLOORING TO EXTEND UNDER	٨S
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP	APPLIANCES.	
	BENCH. RE: SPEC. FOR LENGTHS	MECH, ROOMS TO HAVE CONCRETE FLOOR FINISH.	
440	REFRIGERATOR, 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)	11. ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O. 12. WHERE CORRIDOR WALLS INCLUDE RESILIENT	
441	24" DEEP BASE CABINETS	CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT	
447	GAS FIREPLACE	INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR	
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.	PANELS	
463	COUNTERTOP OVERHANG = 8"	13. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1	
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE	SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O. 14. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O.	
		14. FROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.U.	

KEYNOTES - TYPE 'B' ACCESSIBILITY TYPE "B' ADAPTABLE DWELLING UNT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004 5.1, RE: 1/A900. USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004 5.2, RE: 1/A900. CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.12, RE: 1/2, 57/A902. GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.12, RE: 1/2, 57/A902. BATHROOM FITURES SHALL COMPLY WITH 2003 ANSI 1004.12, RE: 1/2, 57/A902. MORTH 2003 ANSI 1004.12, RE: 1/2, 57/A902. BATHROOM FITURES SHALL COMPLY WITH 2003 ANSI 1004.12, RE: 1/2, 57/A902. ISTRIPHONE SHALL COMPLY WITH 2003 ANSI 1004.12, RE: 1/A901. KITCHEN SHIK SHALL COMPLY WITH 2003 ANSI 1004.12, RE: 4/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12, 2.1, RE: 4/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12, 2.3, RE: 6/A904. COCKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12, 2.3, RE: 6/A904. COCKTOP & SHALL COMPLY WITH 2003 ANSI 1004.12, 2.5, RE: 6/A904. CORKTOP & ADTHROOM SHALL COMPLY WITH AND 1004.11.3.1 OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2 OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2

B16 OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.



- 13
- 15.
- INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), UNO. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION FER INTERIOR DESIGNER. PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. TOLIET PAPER HOLDER, 3° TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED. FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS. 16

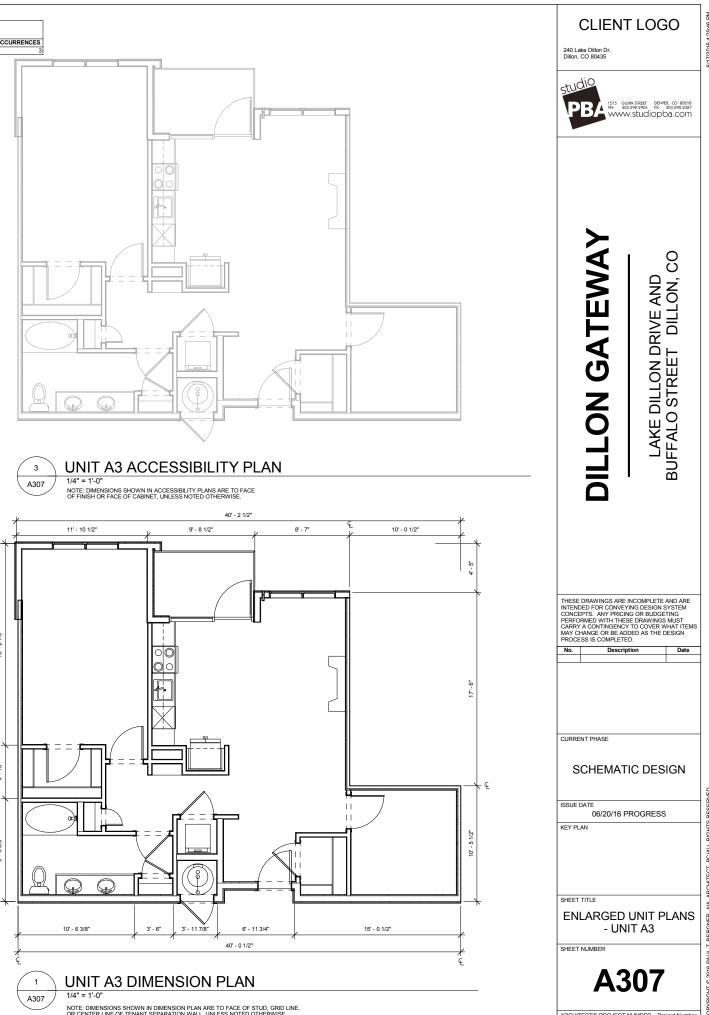


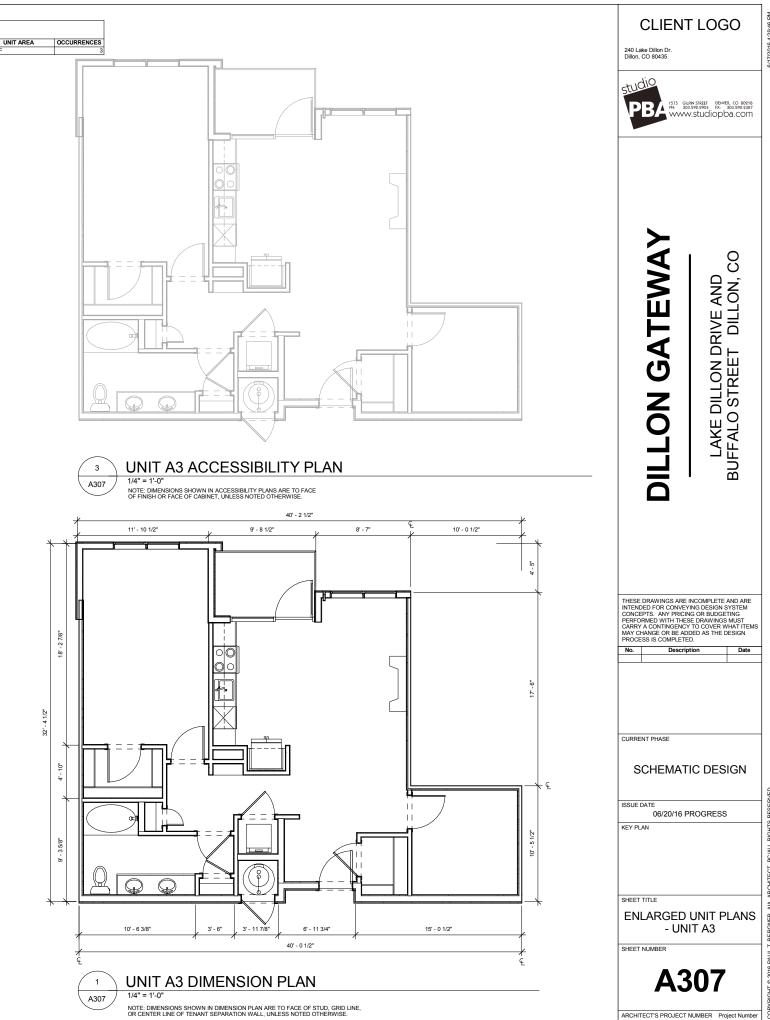
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 UNIT DESCRIPTION

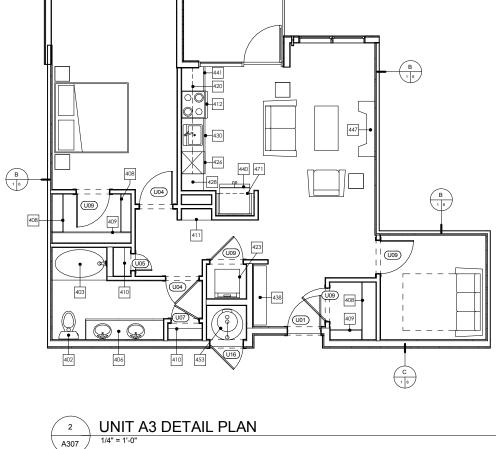
 A3
 1 BR 1 BA DEN
 96

UNIT A3

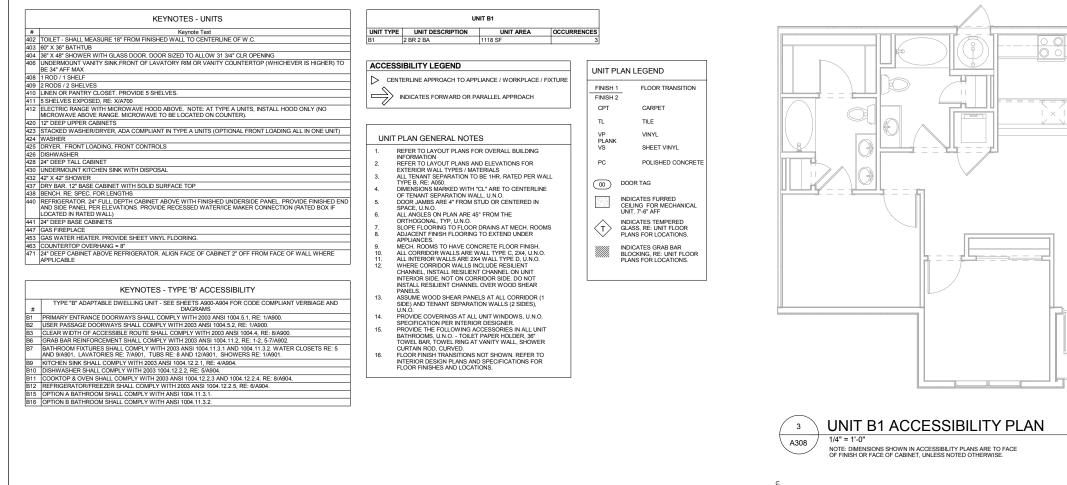


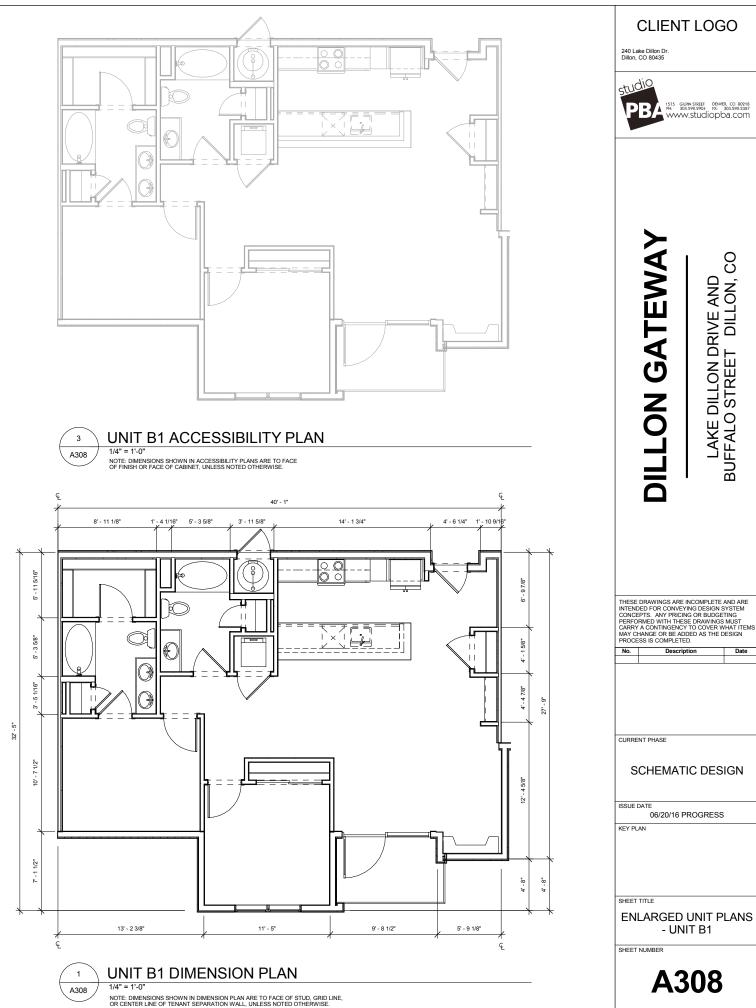


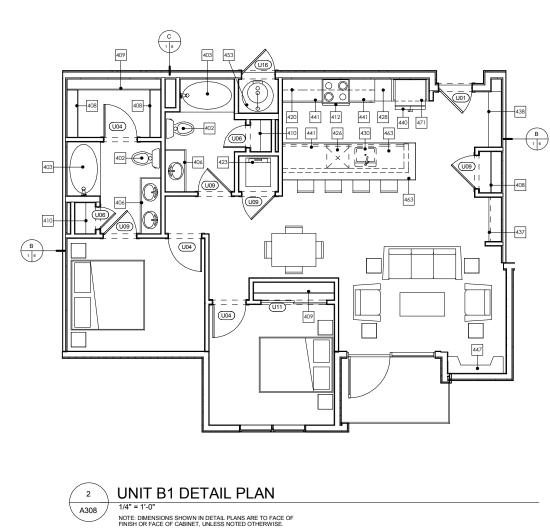












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ARCHITECT'S PROJECT NUMBER Project Number

0.000

	KEYNOTES - UNITS	ACCESSIBILITY LEGEND
#	Keynote Text	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.	
	60" X 36" BATHTUB	INDICATES FORWARD OR PARALLEL APPROACH
	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING	
	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO	
	BE 34" AFF MAX	
408	1 ROD / 1 SHELF	
	2 RODS / 2 SHELVES	UNIT PLAN GENERAL NOTES
	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.	
	5 SHELVES EXPOSED, RE: X/A700	 REFER TO LAYOUT PLANS FOR OVERALL BUILDING
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).	INFORMATION 2. REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WAIL TYPES / MATERIALS
420	12" DEEP UPPER CABINETS	3. ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL
423	STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)	TYPE B, RE: A050.
	WASHER	DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE
	DRYER. FRONT LOADING, FRONT CONTROLS	OF TENANT SEPARATION WALL, U.N.O. 5. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN
	DISHWASHER	SPACE, U.N.O.
428	24" DEEP TALL CABINET	ALL ANGLES ON PLAN ARE 45° FROM THE
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL	ORTHOGONAL, TYP, U.N.O.
	42" X 42" SHOWER	 SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER
	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP	ADJACENT FINISH FLOORING TO EXTEND UNDER
	BENCH. RE: SPEC. FOR LENGTHS	 MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH.
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END	 ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O.
	AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)	11. ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O. 12. WHERE CORRIDOR WALLS INCLUDE RESILIENT
441	24" DEEP BASE CABINETS	CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT
	GAS FIREPLACE	INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT
	GAS FIREPLACE GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.	INSTALL RESILIENT CHANNEL OVER WOOD SHEAR
	COUNTERTOP OVERHANG = 8"	PANELS. 13. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1
	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE	13. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES).
- ''	24 DEEP CABINET ABOVE REFRIGERATION. ALIGN FACE OF CABINET 2 OFF FROM FACE OF WALL WHERE APPLICABLE	U.N.Ó.
L		PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O.
		SPECIFICATION PER INTERIOR DESIGNER. 15 PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT
	KEYNOTES - TYPE 'B' ACCESSIBILITY	 PROVIDE THE FOLLOWING ACCESSURES IN ALL UNIT BATHROOMS, U.N.O TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER

TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900. USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900. USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/4900. CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/4900. GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.2, 5-7/A902. BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3, AND 1004.11.3.2, WATER CLOSETS RE: 5 AND S/A01, LAVATONES RE: 7/A901, TUBS RE: 6 AND 12/A901, SHOWERS RE: 1/A901. KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2, RE: 4/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2, AND 1004.12.2, ARE: 6/A904. COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2, SAND 1004.12.2, RE: 6/A904. COOKTOP & AVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2, SAND 1004.12.2, RE: 6/A904. COOKTOP & ADTHROON SHALL COMPLY WITH ANSI 1004.11.3, I. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2, RE: 6/A904. COOKTOP & ADTHROON SHALL COMPLY WITH ANSI 1004.11.2, I. DISHWASHER SHALL COMPLY WITH ANDI 1004.11.3, I. DISHWASHER SHALL COMPLY WITH ANDI 1004.12.2, RE: 6/A904. COOKTOP & ADTHROON SHALL COMPLY WITH ANDI 1004.11.3, I.

B16 OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

- UNIT PLAN GENERAL NOTES NIT PLAN GENERAL NOTES
 REFER TO LAYOUT PLANS FOR OVERALL BUILDING
 INFORMATION
 REFER TO LAYOUT PLANS AND ELEVATIONS FOR
 EXTERIOR WALL TYPES / MATERIALS
 ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL
 TYPE B, RE: A050
 DIMENSIONS MARKED WITH 'CL' ARE TO CENTERLINE
 OF TENANT SEPARATION WALL, U.N.O.
 DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN
 SPACE, U.N.O.
 ALL ANGLES ON PLAN ARE 45" FROM THE
 ORTHOGORIAL, TYP, U.N.O.
 SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS
 ADJACENT FINISH FLOORING TO EXTEND UNDER
 APPLIANCES. CPT TL VP PLANK VS PC SALACENT FINISH ID FLOOR DICOMING AT MEAN TRACKING SALACENT FINISH ALL CORRORS IN HAVE CONCRETE FLOOR FINISH ALL CORROR WALLS ARE WALL TYPE D. U.N.O. WHERE CORROD WALLS ARE WALL TYPE D. U.N.O. WHERE CORROD WALLS ARE WALL TYPE D. U.N.O. WHERE CORROD WALLS ARE SALAWLE TYPE THE THE TABLE THE THE TABLE THE THE TABLE THE THE TYPE THE TABLE THE TABLE THE TABLE THE TABLE THE TABLE T 00
- 13.

- 14 15.
- 16

UNIT TYPE UNIT DESCRIPTION UNIT AREA
 B2
 2 BR 2 BA

 B2 ALT 1
 2 BR 2 BA

 B2 ALT 2
 2 BR 2 BA
 UNIT PLAN LEGEND FINISH 1 FLOOR TRANSITION FINISH 2

CARPET

TILE

VINYL

DOOR TAG

 $\langle \tau \rangle$

SHEET VINYL

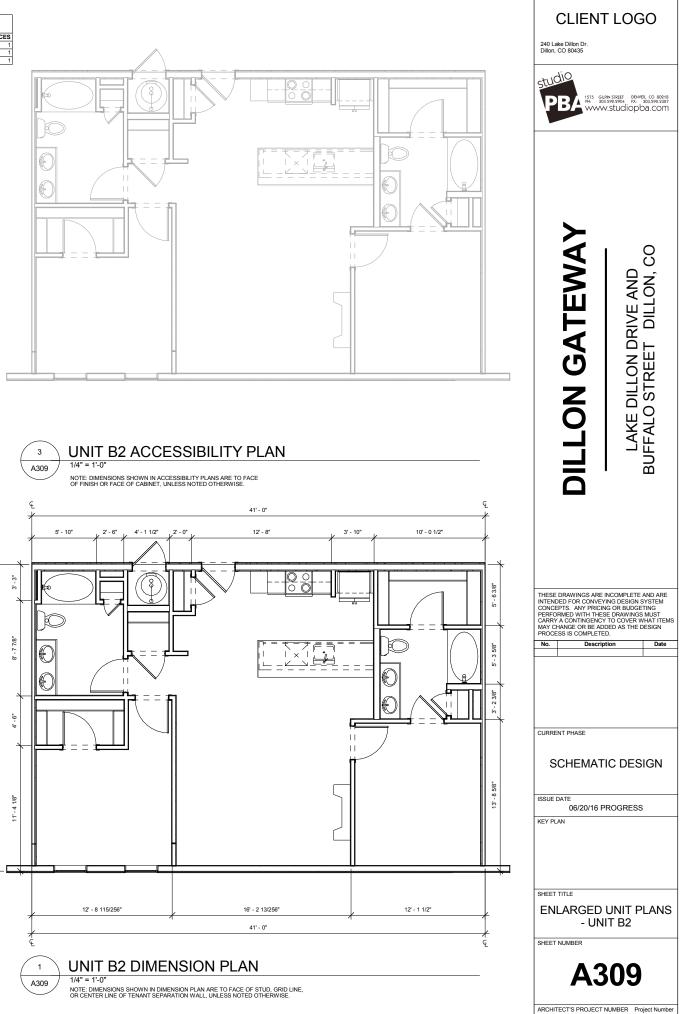
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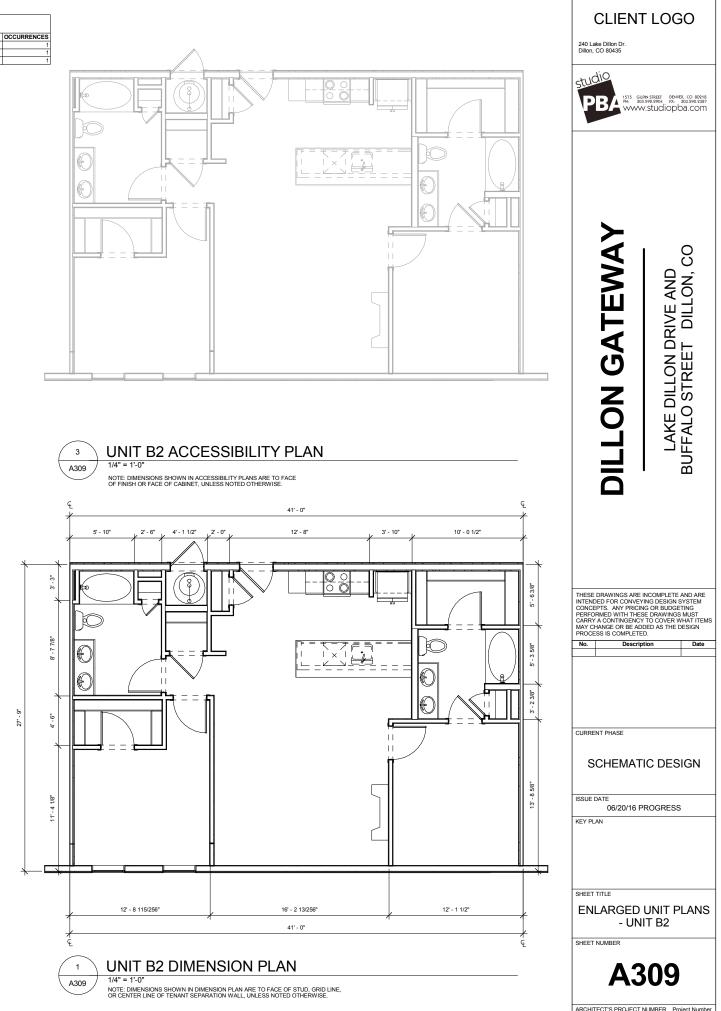
INDICATES TEMPERED GLASS, RE: UNIT FLOOR PLANS FOR LOCATIONS.

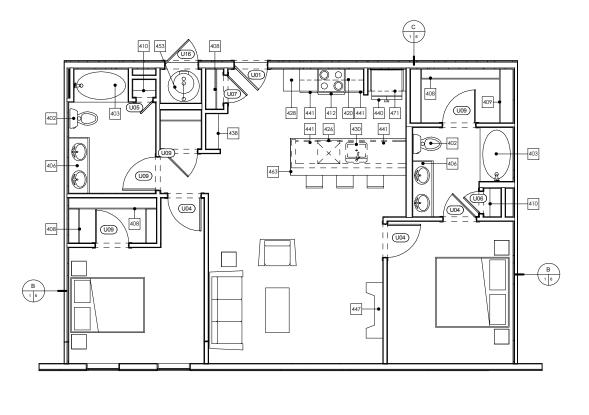
INDICATES GRAB BAR BLOCKING, RE: UNIT FLOOR PLANS FOR LOCATIONS.

POLISHED CONCRETE

UNIT B2









	KEYNOTES - UNITS
#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK.FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED, RE: X/A700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	[REFRIGERATOR, 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LCCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900. USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900. USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004 5.2, RE: 1/A900. CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.5, RE: 1/A900. GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1/2, 5/7/A902. BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3, TAND 1004 1.1.2, WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901. KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2, I, RE: 4/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2, J, RD: 4/A904. COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2, AND 1004.12.2, RE: 8/A904. CREFRIGERATOR/FREZER SHALL COMPLY WITH 2003 ANSI 1004.12.2, S, RE: 6/A904. COOKTOP & AOVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2, S, RE: 6/A904. COOKTOP & ADTHROOM SHALL COMPLY WITH 2003 ANSI 1004.12.2, S, RE: 6/A904. COOKTOP & ADTHROOM SHALL COMPLY WITH ANSI 1004.11.3, I.

B16 OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

UNIT PLAN GENERAL NOTES REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS ALL TENANT SEPARATION TO BE 11HR. RATED PER WALL TYPE B. RE: ADSO DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE 4. DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O. ALL ANKLES ON PLAN ARE 45" FROM THE ORTHOGONAL, TYP, U.N.O. SLOPE FLOOFING TO FLOOR DRAINS AT MECH. ROOMS Advancent "RISH FLOORNIS TO EXTERD UNDER 5. 6

INDICATES FORWARD OR PARALLEL APPROACH

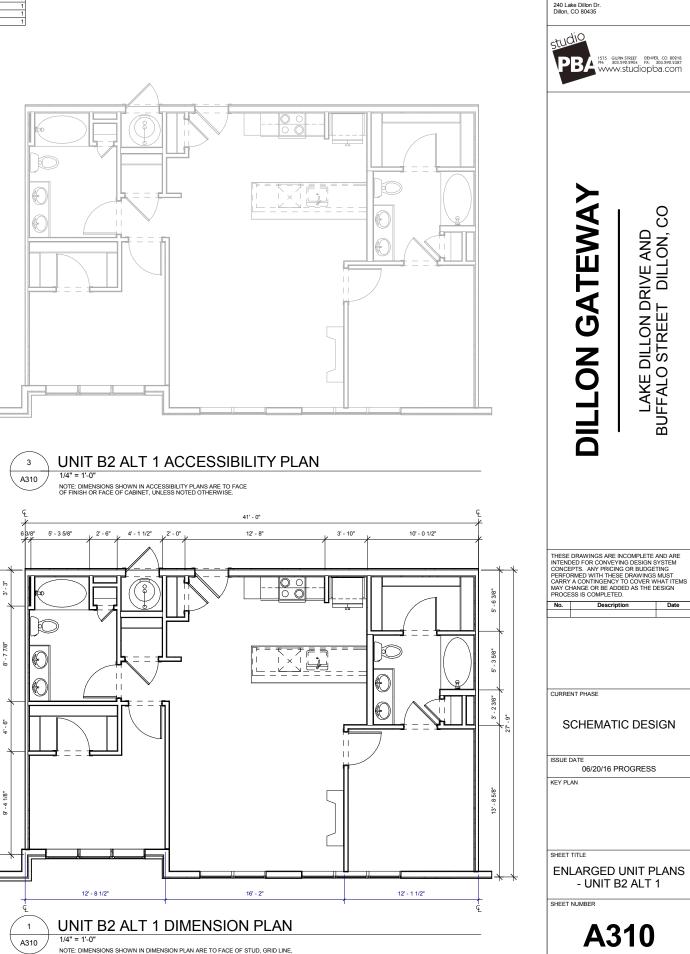
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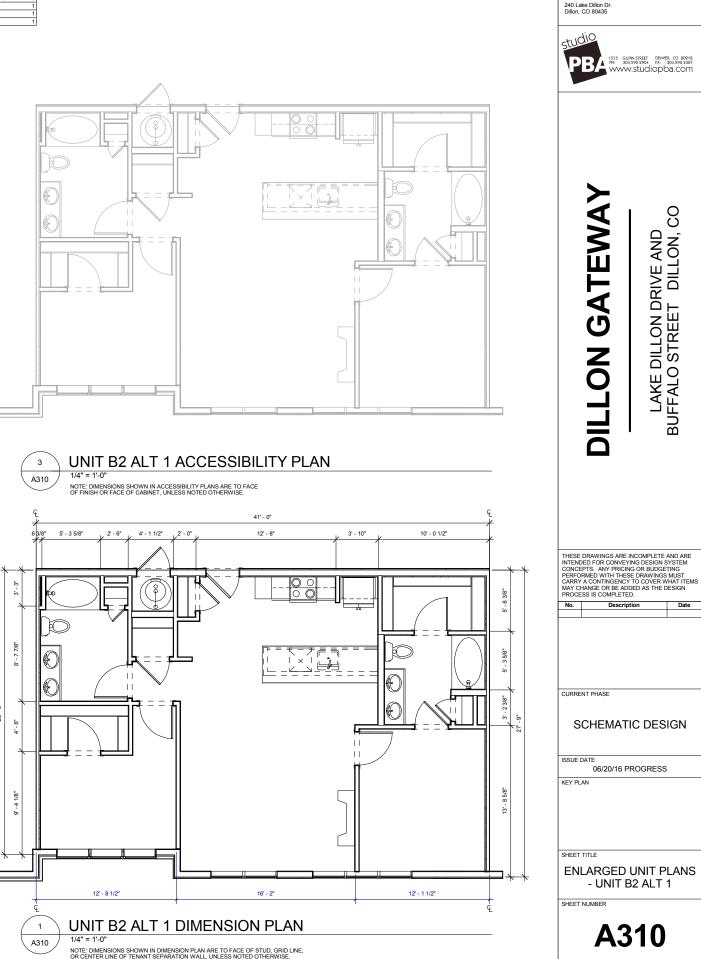
- ADJACENT FINISH FLOOKING TO EAT END UNDER APPLIANCES. TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C, ZX4, U.N.O. ALL INITERIOR WALLS ARE ZX4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS INCLUDE RESULENT CHANNEL, INSTALL RESILENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILENT CHANNEL OVER WOOD SHEAR PANEI S
- PANELS. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), 13.
- 14 15.
- SIDE) AND TENANT SEPARATION WALLS (2 SIDES), UN.O. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTENIOR DESIGNER. PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. TOLIET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED. FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS. AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS. 16

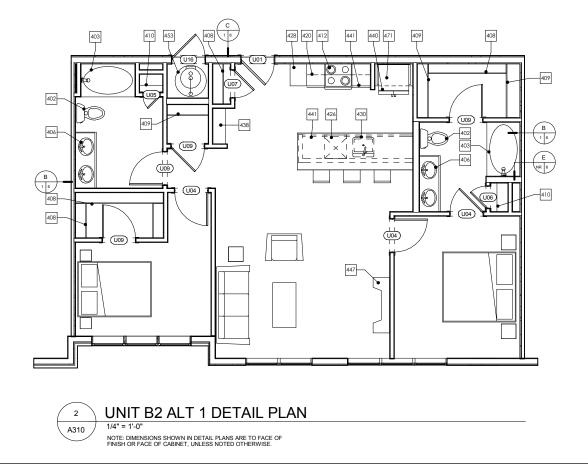
- UNIT B2 CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE UNIT TYPE UNIT DESCRIPTION UNIT AREA OCCURRENCES
 B2
 2 BR 2 BA

 B2 ALT 1
 2 BR 2 BA

 B2 ALT 2
 2 BR 2 BA
 - UNIT PLAN LEGEND FINISH 1 FLOOR TRANSITION FINISH 2 CPT CARPET TILE TL VP PLANK VS VINYL SHEET VINYI PC POLISHED CONCRETE 00 DOOR TAG INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF INDICATES TEMPERED GLASS, RE: UNIT FLOOR PLANS FOR LOCATIONS. $\langle T \rangle$
 - INDICATES GRAB BAR BLOCKING, RE: UNIT FLOOR PLANS FOR LOCATIONS.







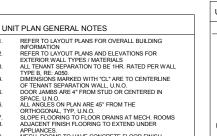
ARCHITECT'S PROJECT NUMBER Project Number

CLIENT LOGO

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423	STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR, 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LCCATED IN RATED WALL)
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453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND PRIMARY ENTRANCE DOREWAYS SHALL COMPLY WITH 2003 ANSI 1004-5.1, RE: 1/A900. USER PASSAGE DOREWAYS SHALL COMPLY WITH 2003 ANSI 1004-5.2, RE: 1/A900. USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004 5.2, RE: 1/A900. CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.5, RE: 1/A900. GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1/2, 5/7/A902. BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3, TAND 1004 1.1.2, WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901. KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2, I, RE: 4/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2, J, RD: 4/A904. COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2, AND 1004.12.2, RE: 8/A904. CREFRIGERATOR/FREZER SHALL COMPLY WITH 2003 ANSI 1004.12.2, S, RE: 6/A904. COOKTOP & AOVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2, S, RE: 6/A904. COOKTOP & ADTHROOM SHALL COMPLY WITH 2003 ANSI 1004.12.2, S, RE: 6/A904. COOKTOP & ADTHROOM SHALL COMPLY WITH ANSI 1004.11.3, I.

B16 OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.



ADJACENT FINISH FLOOKING TO EXTEND UNDER APPLIANCES. MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C, ZX4, U.N.O. WHERE CORRIDOR WALLS ARE ZX4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS INCLUDE RESULENT CHANNEL, INSTALL RESILENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILENT CHANNEL OVER WOOD SHEAR PANFI S

CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE

INDICATES FORWARD OR PARALLEL APPROACH

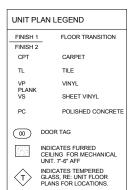
ACCESSIBILITY LEGEND

3.

4.

5. 6

- PANELS. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), 13.
- 14 15.
- SIDE) AND TENANT SEPARATION WALLS (2 SIDES), UN.O. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTENIOR DESIGNER. PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. TOLIET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED. FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS. AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS. 16

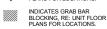


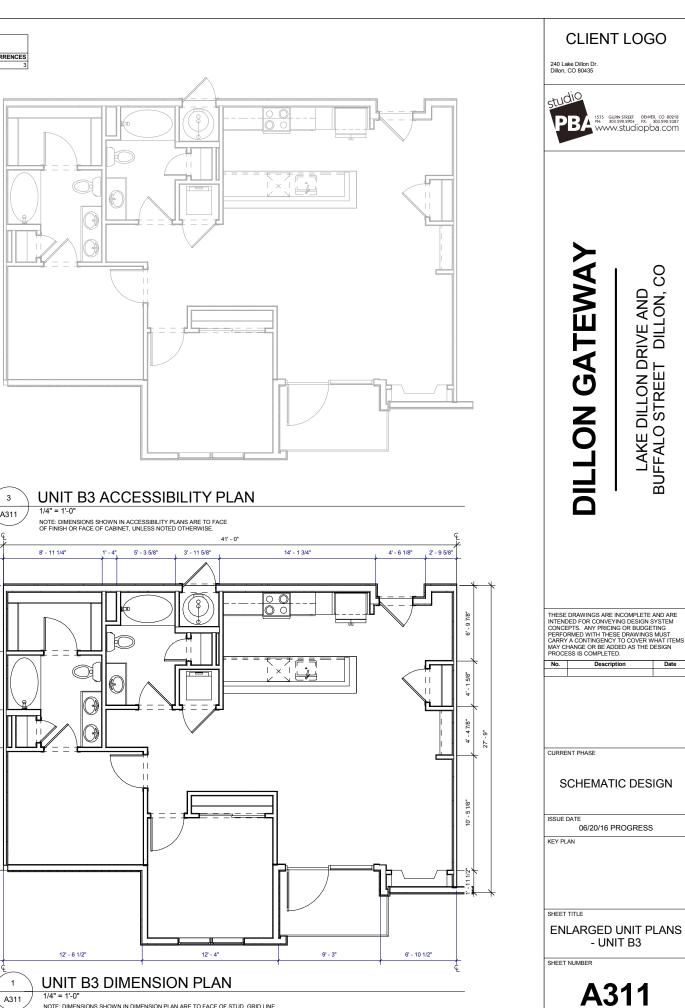
 UNIT TYPE
 UNIT DESCRIPTION

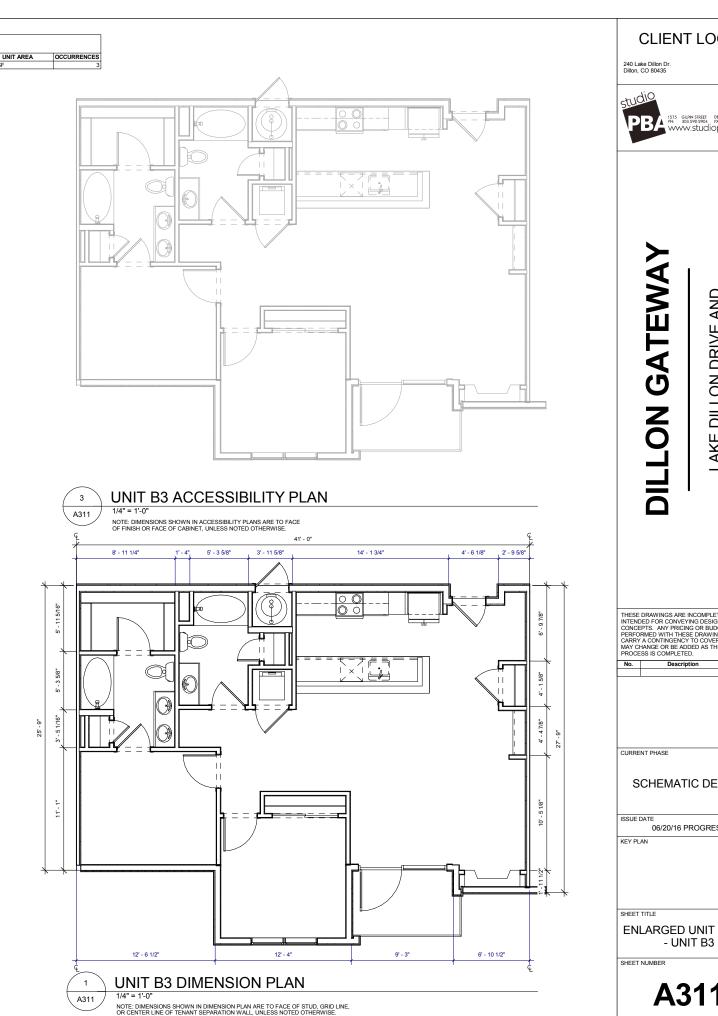
 B3
 2 BR 2 BA
 1

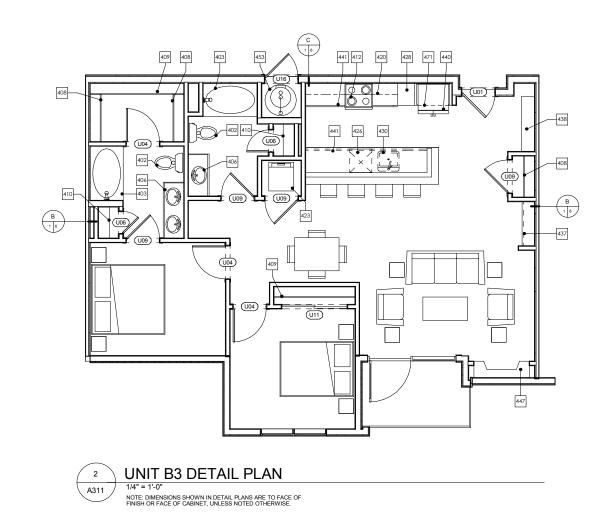
UNIT B3

1146 SF





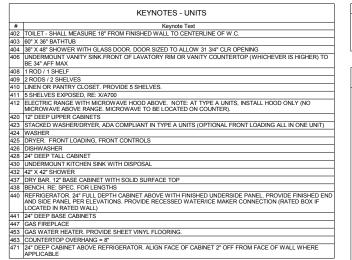




ARCHITECT'S PROJECT NUMBER Project Number

Date

80



KEYNOTES - TYPE 'B' ACCESSIBILITY TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND

ACCESSIBILITY LEGEND

4.

5. 6

9. 10

13.

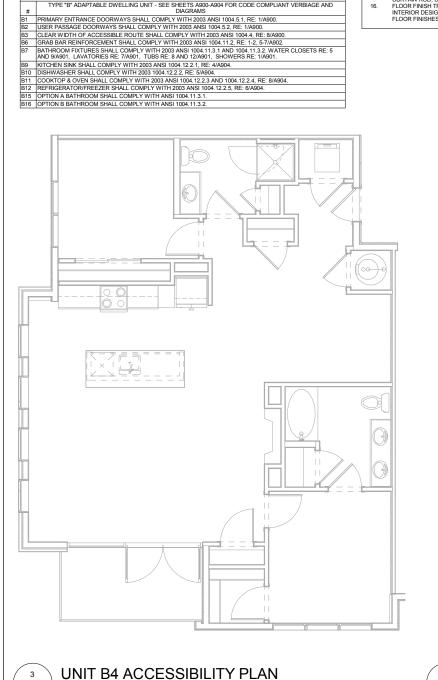
15.

16

INDICATES FORWARD OR PARALLEL APPROACH

	UN	IIT B4	
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B4	2 BR 2 BA	1311 SF	3
B4 ALT 1	2 BR 2 BA	1203 SF	3
B4 ALT 2	2 BR 2 BA	1203 SF	2
B4 ALT 3	2 BR 2 BA	1269 SF	2

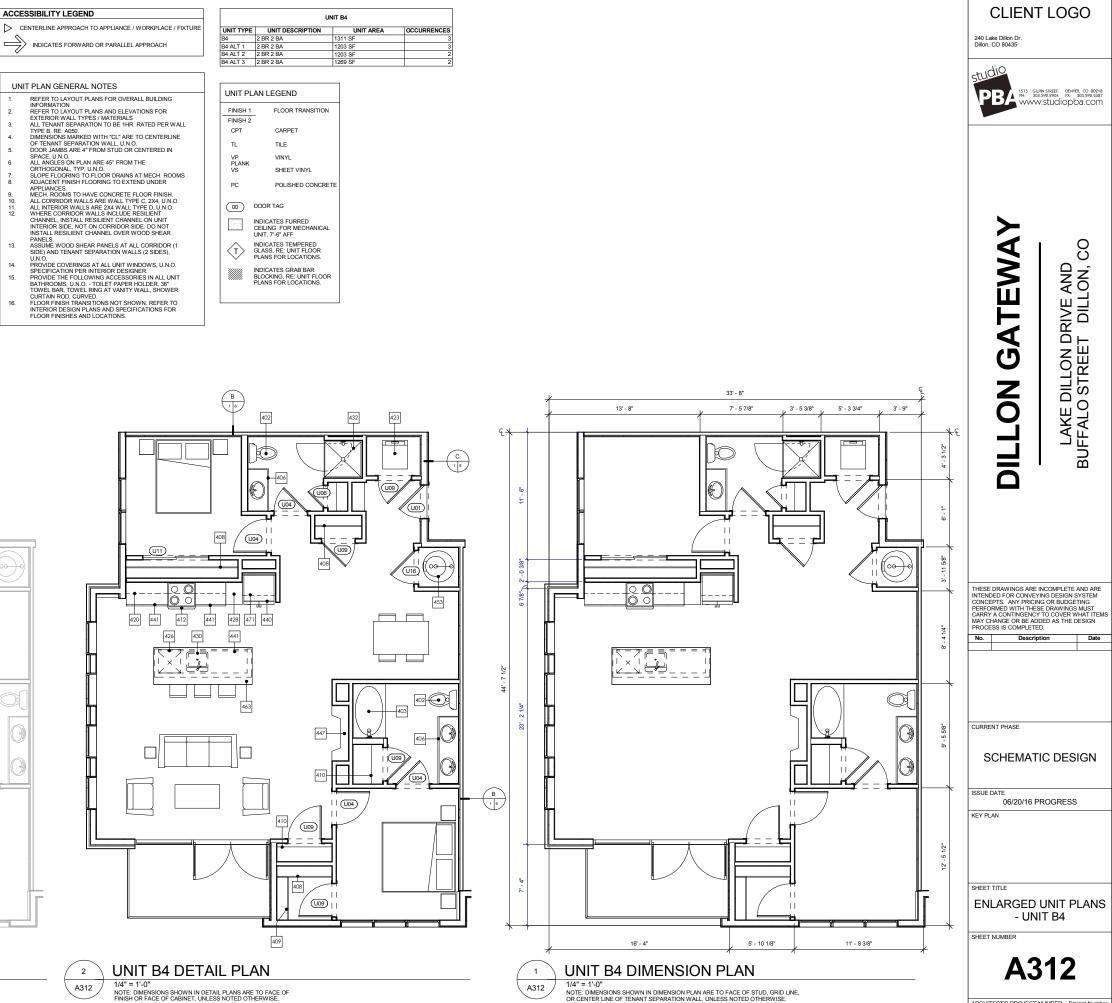
UNIT PLAN LEGEND				
FINISH 1	FLOOR TRANSITION			
FINISH 2				
CPT	CARPET			
TL	TILE			
VP	VINYL			
PLANK VS	SHEET VINYL			
PC	POLISHED CONCRETE			
00	DOOR TAG			
272	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF			
$\langle T \rangle$	INDICATES TEMPERED GLASS, RE: UNIT FLOOR PLANS FOR LOCATIONS.			

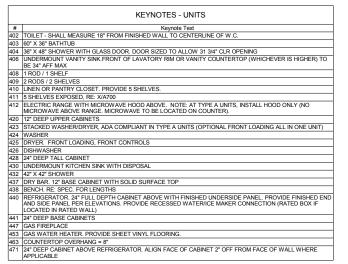


1/4" = 1'-0"

NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.

A312





TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
 PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900. USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900. CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 8/A900. GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.2, 57/A902. BATHROOM FITURES SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.2, 57/A902. BATHROOM FITURES SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.2, 57/A902. SHATHROOM FITURES SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1.2, 57/A902. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2.1, RE: 4/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2.2, AND 1004.11.2.2, ARE: 8/A904. COOKTOP & OVER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904. OVERD SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904. OVERD A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2.5, RE: 6/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2.5, RE: 6/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2.5, RE: 6/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2.5, RE: 6/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2.5, RE: 6/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2.5, RE: 6/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2.5, RE: 6/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2.5, RE: 6/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.2.5, RE: 6/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.3.1. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.3.1. DISHWASHER SHALL COMPLY AND 1004.11.3.1. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.11.3.1. DISHWASHER SHALL COMPLY AND 1004.11.3.1. DISHWASHER SHALL COMPLY AND 1004.11.3.1. DISHWASHER SHALL COMPLY AND 1004.11.3.1. DISHWASHER SHALC COMPLY AND 1004.11.3.1. DISHWASHER SHALC COMPLY AND 1004.11.3.1. DISHWAS B16 OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.



ACCESSIBILITY LEGEND

4.

UNIT PLAN GENERAL NOTES

REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION

CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE

- INFORMATION REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B, RE: A050.

- 6
- ATTYEE IS ANT SECONDATION TO BE INF. RATED FER WALL TYPE IS ANT SECONDATION TO BE INF. RATED FER WALL DIMENSIONS MARKED WITH 'U', 'ARE TO CENTERLINE DORT JAMBS MARKED WITH 'U', 'ARE TO CENTERED IN SPACE, U.N.O. ALL ANGLES ON PLAN ARE 45' FROM THE ORTHOGONAL TYP, U.N.O. SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER ADJACENT FINISH FLOORING TO EXTEND UNDER ADJACENS.
- ADJACENT FINISH FLOORING TO EATEND UNDER APPLIANCES. TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O. ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE D, U.N.O. INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
- 13.
- 15.
- 16
- INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), UN.O. PROVIDE TENANT SEPARATION WALLS (2 SIDES), UN.O. SPECIFICATION FER INTERIOR DESIGNER. PROVIDE THE FOLLOWING ACCESSORES IN ALL UNIT PROVIDE THE FOLLOWING ACCESSORES IN ALL UNIT DIVEL BAR. TOWEL RING AT WATTY WALL, SHOWER CURTAIN ROD, CURYED. FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS. AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

	U	NIT B4	
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B4	2 BR 2 BA	1311 SF	3
B4 ALT 1	2 BR 2 BA	1203 SF	3
B4 ALT 2	2 BR 2 BA	1203 SF	2
B4 ALT 3	2 BR 2 BA	1269 SF	2

UNIT PI	AN LEGEND					
FINISH 1	FINISH 1 FLOOR TRANSITION					
FINISH 2						
CPT	CARPET					
TL	TILE					
VP PLANK	VINYL					
VS	SHEET VINYL					
PC	POLISHED CONCRETE					
00	DOOR TAG					
INDICATES FURRED CEILING FOR MECHANICA UNIT. 7'-6" AFF						
	INDICATES TEMPERED GLASS, RE: UNIT FLOOR PLANS FOR LOCATIONS.					

INDICATES GRAB BAR BLOCKING, RE: UNIT FLOOR PLANS FOR LOCATIONS.

408

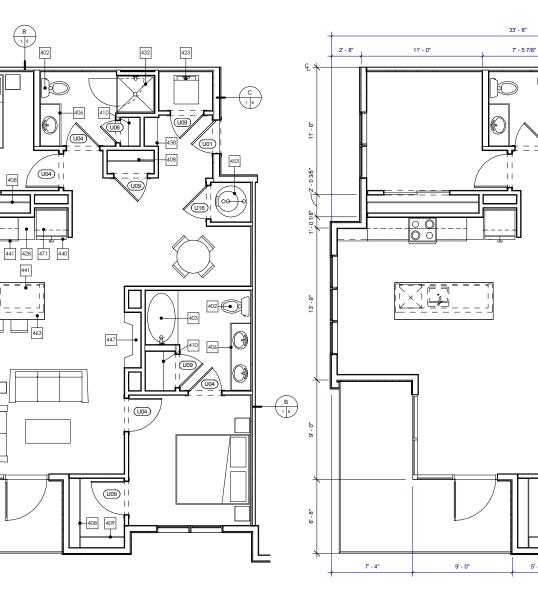
437 420 441

412

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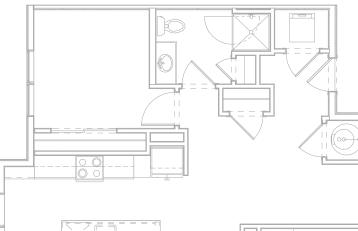
426 430

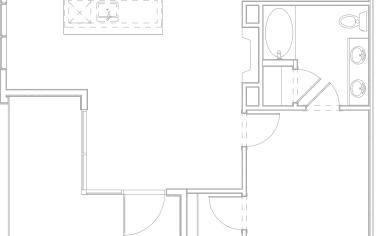


1

A313

1/4" = 1'-0"





UNIT B4 ALT 1 ACCESSIBILITY PLAN

NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.

3

A313

1/4" = 1'-0"





240 Lake Dillon Dr Dillon, CO 80435



1575 GILPIN STREET DENVER, CO 80218 PH: 303.592.2904 FX: 303.592.2387 www.studiopba.com

GATEWAY 80 LAKE DILLON DRIVE AND BUFFALO STREET DILLON, DILLON THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS: ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEM MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED. Descriptio

No. Date

URRENT PHASE

SCHEMATIC DESIGN

SUE DAT 06/20/16 PROGRESS

KEY PLAN

ENLARGED UNIT PLANS - UNIT B4 ALT 1

SHEET NUMBER



3' - 5 3/8" 5' - 3 3/4" 3' - 9" (\cdots) \bigcirc 0 0) 11

11' - 9 1/2"

UNIT B4 ALT 1 DIMENSION PLAN

5' - 6 1/2"

NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

KEYNOTES - UNITS # Keynote Text 402 TOLET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C. 403 60" X 36" BATHTUB 403 7.3 6" BATHTUB 403 7.4 46" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 34" CLR OPENING 404 18" X 44" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 34" CLR OPENING 405 UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO IBE 34" AFF MAX 408 I ROD / 1 SHELF 409 I ROD / 7 SHELF 408 1 ROD / 1 SHELF 409 2 RODS / 2 SHELVES 410 2 RODS / 2 SHELVES 411 5 SHELVES EXPOSED, RE: X/A700 412 ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE, MICROWAVE TO BE LOCATED ON COUNTER). 420 127 DEED UPPER CABINETS 420 127 DEED UPPER CABINETS 420 127 DEED UPPER CABINETS 423 STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT) 424 WASHER 425 DRYER. FRONT LOADING, FRONT CONTROLS 426 DISHWASHER 428 24" DEEP TALL CABINET 1428 124* DEEP TALL CABINET 430 UNDERMOUNT KITCHEN SINK WITH DISPOSAL 432 42* SHOWER 433 PRY BAR. 12* BASE CABINET WITH SOLID SURFACE TOP 437 BRENCH. RE: SPEC. FOR LENGTHS 438 BENCH. RE: SPEC. FOR LENGTHS 440 REFRIGERATOR. 24* FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL. PER LEVATIONS. PROVIDE RECESSED WITH FINISHED CONNECTION (RATED BOX IF LOCATED IN RATED WALL). 411 24* DEEP BASE CARINETS 441 24" DEEP BASE CABINETS 141 24' DEEP BASE CABINETS 147 GAS FIREPLACE 483 GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING. 463 COUNTERTOP OVERHANG = 8" 471 24' DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

KEYNOTES - TYPE 'B' ACCESSIBILITY

 KEYNOTES - TYPE 'B' ACCESSIBILITY

 TYPE 'B' ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS

 PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.

 USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.

 USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.

 CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.1.2, RE: 1/a900.

 GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.1.2, RE: 1/a900.

 GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.1.2, RE: 1/a901.

 KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.1.2, RE: 1/a901.

 KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.1.2, RE: 1/A901.

 KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.1.2, RE: 1/A901.

 DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.1.2, RE: 1/A904.

 DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.1.2, RE: 1/A904.

 DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.1.2, 2.3, RE: 1/A904.

 COCKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.1.2, 2.5, RE: 8/A904.

 REFRIGERATOR/REEZER SHALL COMPLY WITH 2003 ANSI 1004.1.2, 2.5, RE: 6/A904.

 REFRIGERATOR/REEZER SHALL COMPLY WITH 2003 ANSI 1004.1.2, 2.5, RE: 6/A904.

 OPTION & BATHROON SHALL COMPLY WITH ANSI 1004.11.3.1.

 OPTION A BATHROON SHALL COMPLY WITH ANSI 1004.11.3.2.
 B16 OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

UNIT PLAN GENERAL NOTES REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE. A030. DE TENANT SEPARATION USE 1 LIN ACTION TO THE SEPARATION WALL LIN ACTION DE TENANT SEPARATION WALL LIN ACTION TO THE SEPARATION WALL LIN ACTION TO THE SERVICE DE SEPARATION WALL LIN ACTION TO THE SEPARATION 4

CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE

INDICATES FORWARD OR PARALLEL APPROACH

- 5.
- 6

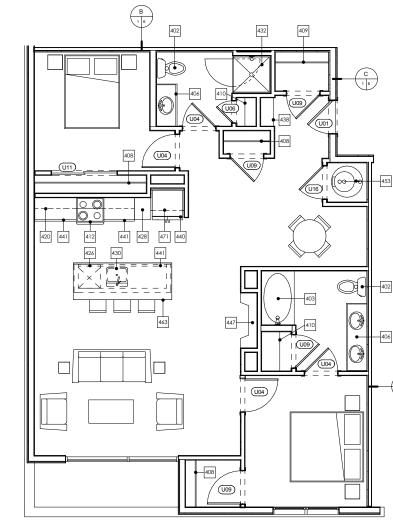
ACCESSIBILITY LEGEND

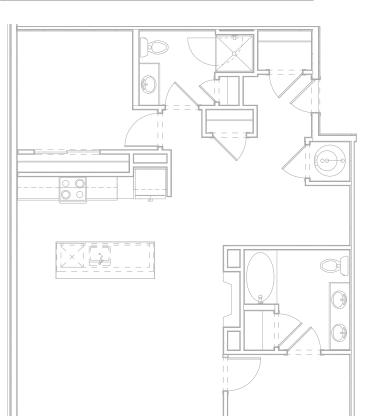
- DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O. ALL ANGLES ON PLAN ARE 45" FROM THE ORTHOGONAL, TYP, U.N.O. SLOPE FLOOFING TO FLOOR DRAINS AT MECH. ROOMS ADDUCT FINISH FLOORNIS TO EXTEND UNDER ADDUCT FINISH FLOORNIS TO EXTEND UNDER
- ADJACENT FINISH FLOOKING TO EAT END UNDER APPLIANCES TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O. ALL INITERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE D, U.N.O. INTERIOR SUBJECT OR CONCRETE TO A SUBJECT OF THE OTHER CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SUBJEC, NOT ON CORRIDOR SUBJECT ON THE INTERIOR SUBJECT OF AND A SUBJECT OF THE OTHER PANELS
- PANELS. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), 13.
- 15.
- SIDE) AND TERMIN BEPARATION INCLUTE (EDUC), UNIC. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER. PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. TOLIET PAPER HOLDER, 36 TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED. FLOOR FINISH TRANSITIONS NOT SHOWN. REPER TO INTEGIND DESIGN DI ANS AND SPECIFICATIONS FOR 16
- INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

	UN	IIT B4	
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B4	2 BR 2 BA	1311 SF	3
B4 ALT 1	2 BR 2 BA	1203 SF	3
B4 ALT 2	2 BR 2 BA	1203 SF	2
B4 ALT 3	2 BR 2 BA	1269 SF	2

UNIT P	UNIT PLAN LEGEND				
FINISH	1 FLOOR TRANSITION				
FINISH 2	2				
CPT	CARPET				
п	TILE				
VP	VINYL				
PLANK VS	SHEET VINYL				
PC	POLISHED CONCRETE				
00	DOOR TAG				
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF				
	INDICATES TEMPERED GLASS, RE: UNIT FLOOR PLANS FOR LOCATIONS.				

INDICATES GRAB BAR BLOCKING, RE: UNIT FLOOR PLANS FOR LOCATIONS.





UNIT B4 ALT 2 ACCESSIBILITY PLAN

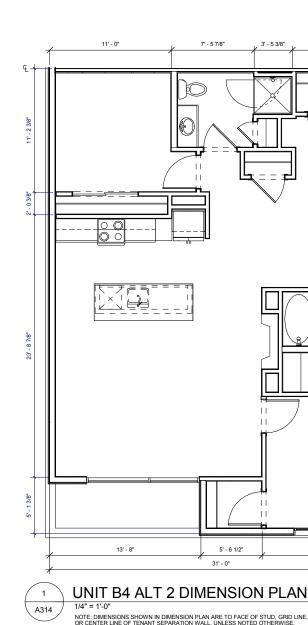
NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.

3

A314

1/4" = 1'-0"





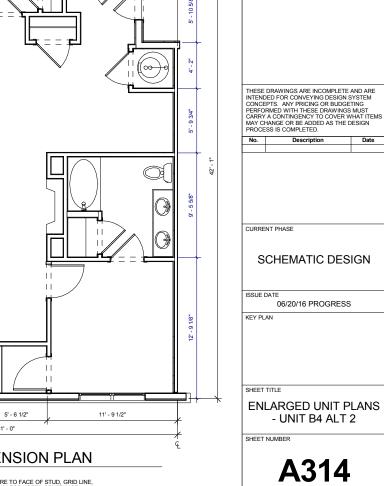
CLIENT LOGO

240 Lake Dillon Dr Dillon, CO 80435



1575 GILPIN STREET DENVER, CO 80218 PH: 303.592.2904 FX: 303.592.2387 www.studiopba.com





3' - 5 3/8"

5' - 3 3/4"

3' - 9"

A314

- UNIT B4 ALT 2

KEYNOTES - UNITS Keynote Text Z TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C 3 60" X 36" BATHTUB 403 B0 X 36 BATHTUB 404 36 X 45 SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 34" CLR OPENING 406 UNDERMOUNT VANITY SINK-FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX 408 1 ROD / 1 SHELF 409 2 RODS / 2 SHELVES 410 LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES. [10] LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES. 411 5 SHELVES EXPOSED, RE: X/A700 412 ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO IMCROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER). 420 12' DEEP UPPER CABINETS 423 STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT) 424 WASHER 425 DRYER. FRONT LOADING, FRONT CONTROLS 426 DISHWASHER 428 24* DEEP TALL CABINET 430 UNDERMOUNT KITCHEN SINK WITH DISPOSAL 430 UNDERWOUNT KITCHEN SINK WITH DISPOSAL 432 427 427 427 SHOWER 433 EXCHAT SHOWER 434 DRY BAR. 12* BASE CABINET WITH SOLID SURFACE TOP 438 BERCHAT RE: SPEC. FOR LENGTHS 439 DERCHAT RE: SPEC. FOR LENGTHS 440 REFRIGERATOR, 24* FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL PROVIDE FINISHED END NADI SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERVICE MAKER CONNECTION (RATED BOX IF LOCATED IN NATED WALL) 441 247 DEED DASE CABINETS 441 24" DEEP BASE CABINETS 141 24' DEEP BASE CABINETS 147 GAS FIREPLACE 483 GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING. 463 COUNTERTOP OVERHANG = 8" 471 24' DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

KEYNOTES - TYPE 'B' ACCESSIBILITY

 KEYNOTES - TYPE 'B' ACCESSIBILITY

 #
 TYPE 'B' ADAPTABLE DWELLING UNIT. SEE SHEETS A900.4904 FOR CODE COMPLIANT VERBIAGE AND DRGRAMS

 B1
 PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.

 B2
 USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.

 B3
 CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.

 B4
 GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.112, RE: 1/A900.

 B6
 GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.112, RE: 1/A901.

 B7
 BATHROOM FRYTURES SHALL COMPLY WITH 2003 ANSI 1004.112, RE: 1/A901.

 B7
 BATHROOM FRYTURES SHALL COMPLY WITH 2003 ANSI 1004.112, RE: 1/A901.

 B9
 KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12, 2, RE: 4/A904.

 B10
 DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12, 2, RE: 6/A904.

 B11
 COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12, 2, RE: 6/A904.

 B12
 REFREATOR/REFEER SHALL COMPLY WITH 2003 ANSI 1004.12, 2, RE: 6/A904.

 B13
 CORTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12, 2, RE: 6/A904.

 B14
 REFREATOR/REFEER SHALL COMPLY WITH 2003 ANSI 1004.12, 2, RE: 6/A904.

 B15
 OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11, 3, 2.

 B15
 OPTION B BATH

UNIT PLAN GENERAL NOTES REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS ALL TENANT SEPARATION TO BE 11HR. RATED PER WALL TYPE B. RE: ADSO DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE

CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE

INDICATES FORWARD OR PARALLEL APPROACH

- 4.
- DIMENSIONS MARKED WITH "CL" ARE TO CENTERLIN OF TENANT SEPARATION WALL, U.N.O. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O. ALL ANGLES ON PLAN ARE 45° FROM THE
- 5.
- 6

ACCESSIBILITY LEGEND

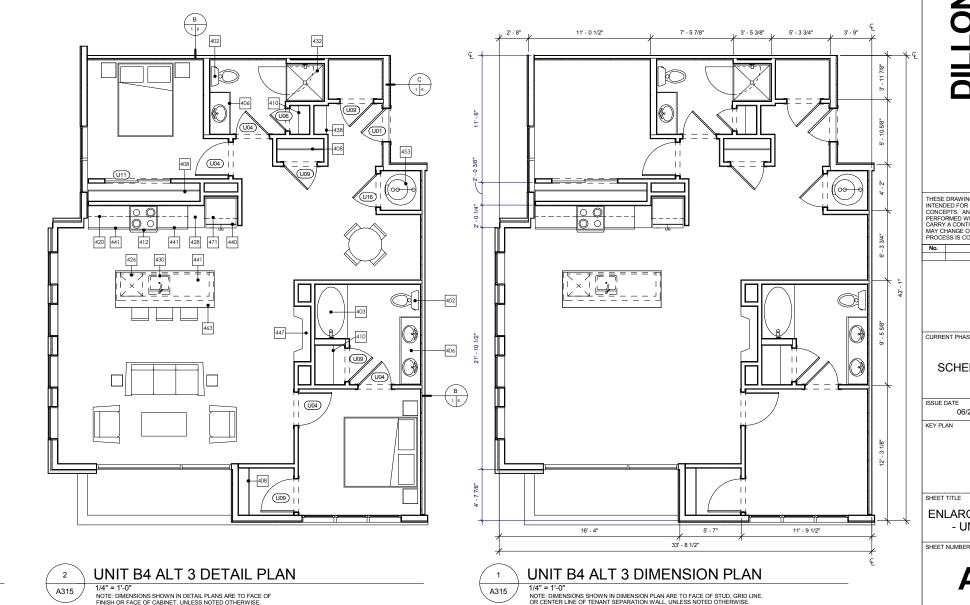
- ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP, U.N.O. SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER
- 9. 10
- ADJACENT FINISH FLOOKING TO EAT END UNDER APPLIANCES. MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE O, ZX4, U.N.O. ALL INTERIOR WALLS ARE ZX4 WALL TYPE O, U.N.O. WHERE CORRIDOR WALLS ARE ZX4 WALL TYPE O, U.N.O. WHERE CORRIDOR WALLS ARE ZX4 WALL TYPE O, U.N.O. INTERIOR SUBJECT OR CORRIDOR SUBJECT OF THE ONE INTERIOR SUBJECT OF AN ADVISION OF THE ONE OF T
- PANELS. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), 13.
- 15.
- SIDE) AND TENANT SEPARATION WALLS (2 SIDES), UN.O. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTENIOR DESIGNER. PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. TOLIET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED. FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS. AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS. 16

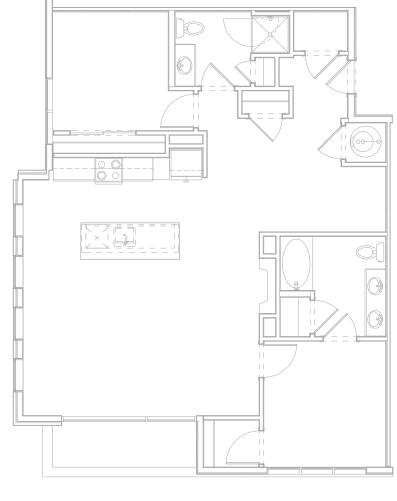
	U	NIT B4	
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B4	2 BR 2 BA	1311 SF	3
B4 ALT 1	2 BR 2 BA	1203 SF	3
B4 ALT 2	2 BR 2 BA	1203 SF	2
B4 ALT 3	2 BR 2 BA	1269 SF	2

UNIT PLAN LEGEND				
FINISH 1 FLOOR TRANSITION				
FINISH 2	2			
CPT	CARPET			
TL	TILE			
VP PLANK	VINYL			
VS	SHEET VINYL			
PC	POLISHED CONCRETE			
00	DOOR TAG			
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF			
$\langle T \rangle$	INDICATES TEMPERED GLASS, RE: UNIT FLOOR PLANS FOR LOCATIONS.			

INDICATES GRAB BAR BLOCKING, RE: UNIT FLOOR PLANS FOR LOCATIONS.

NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.





UNIT B4 ALT 3 ACCESSIBILITY PLAN 3 1/4" = 1'-0" A315 NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.

CLIENT LOGO

240 Lake Dillon Dr. Dillon, CO 80435



1575 GILPIN STREET DENVER, CO 80218 PH: 303.592.2904 FX: 303.592.2387 www.studiopba.com



THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEMS MAY CHANGE OR BE ADDED ST HE DESIGN PROCESS IS COMPLETED.

No. Description Date

URRENT PHASE

SCHEMATIC DESIGN



SHEET TITLE

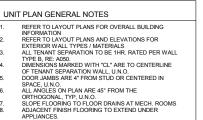
ENLARGED UNIT PLANS - UNIT B4 ALT 3

A315

	KEYNOTES - UNITS		ACCE	SSIBILITY LEGEND
#	Keynote Text	-		ENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
#			5	
403	60" X 36" BATHTUB			INDICATES FORWARD OR PARALLEL APPROACH
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING			
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX	1		
408	1 ROD / 1 SHELF	1 '		
409	2 RODS / 2 SHELVES	1 '	UN	IT PLAN GENERAL NOTES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.	1 '		
	5 SHELVES EXPOSED, RE: X/A700] '	1.	REFER TO LAYOUT PLANS FOR OVERALL BUILDING
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).		2.	INFORMATION REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
420	12" DEEP UPPER CABINETS	1 '	3	ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL
423	STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)	1'		TYPE B. RE: A050.
424	WASHER		4.	DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE
425	DRYER. FRONT LOADING, FRONT CONTROLS		5	OF TENANT SEPARATION WALL, U.N.O. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN
	DISHWASHER] '	5.	SPACE UNO
	24" DEEP TALL CABINET	1	6.	ALL ANGLES ON PLAN ARE 45° FROM THE
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL] '		ORTHOGONAL, TYP, U.N.O.
432	42" X 42" SHOWER	1 '	7.	SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP	1	8.	ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES
438	BENCH. RE: SPEC. FOR LENGTHS] '	9.	MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH.
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)]	10. 11. 12.	ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O. ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS INCLUDE RESILIENT
441	24" DEEP BASE CABINETS	1		CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT
447	GAS FIREPLACE	ין		INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.	1 '		PANELS
463	COUNTERTOP OVERHANG = 8"	1 '	13.	ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE]		SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O.

TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND PRIMARY ENTRANCE DOREWAYS SHALL COMPLY WITH 2003 ANSI 1004-5.1, RE: 1/A900. USER PASSAGE DOREWAYS SHALL COMPLY WITH 2003 ANSI 1004-5.2, RE: 1/A900. USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004 5.2, RE: 1/A900. CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.5, RE: 1/A900. GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1/2, 5/7/A902. BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3, TAND 1004 1.1.2, WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901. KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2, I, RE: 4/A904. DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2, J, RD: 4/A904. COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2, AND 1004.12.2, RE: 8/A904. CREFRIGERATOR/FREZER SHALL COMPLY WITH 2003 ANSI 1004.12.2, S, RE: 6/A904. COOKTOP & AOVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2, S, RE: 6/A904. COOKTOP & ADTHROOM SHALL COMPLY WITH 2003 ANSI 1004.12.2, S, RE: 6/A904. COOKTOP & ADTHROOM SHALL COMPLY WITH ANSI 1004.11.3, I.

B16 OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.



- AUJACENT FINISH FLOORING TO EATEND UNDER APPLIANCES. MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS INCLUDE RESULENT CHANNEL, INSTALL RESILENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILENT CHANNEL OVER WOOD SHEAR PANFI S
- PANELS. ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), 13.
- 15.
- SIDE) AND TENANT SEPARATION WALLS (2 SIJED), UN.O. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. TOLIET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROO, CURVED. FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS. 16



UNIT PLAN LEGEND

CARPE

TILE

VINYL

FINISH 1

FINISH 2

CPT

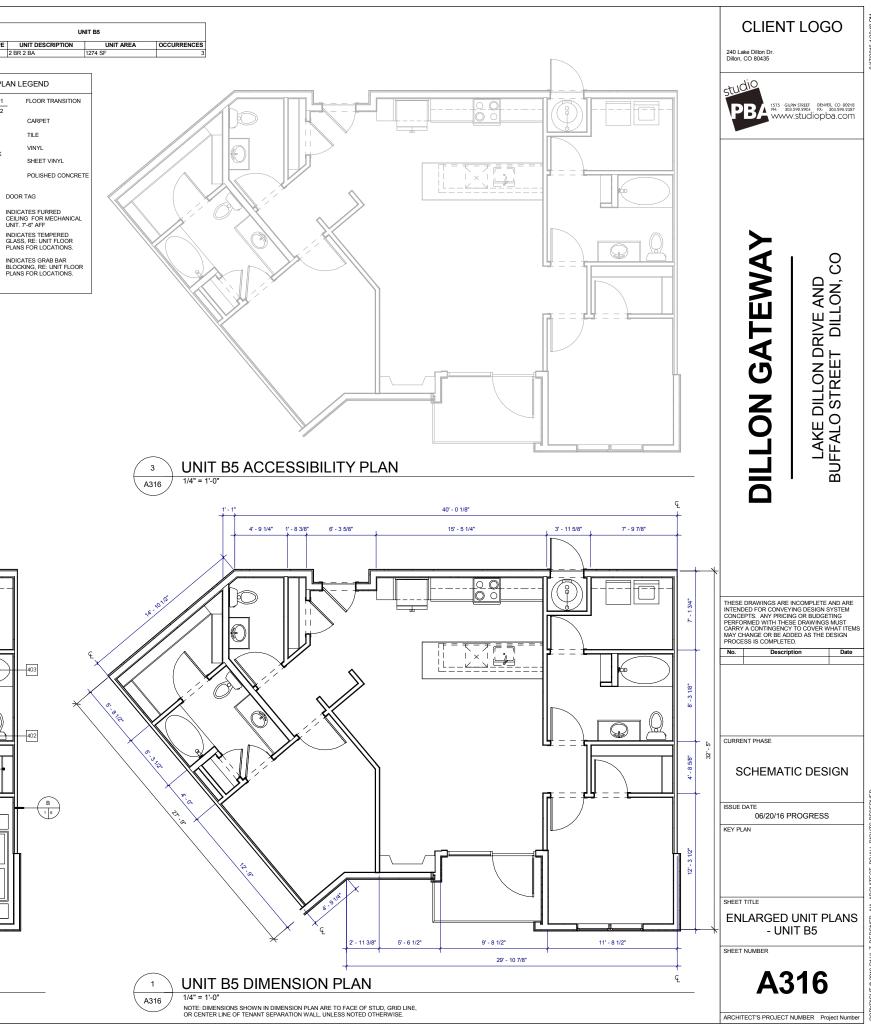
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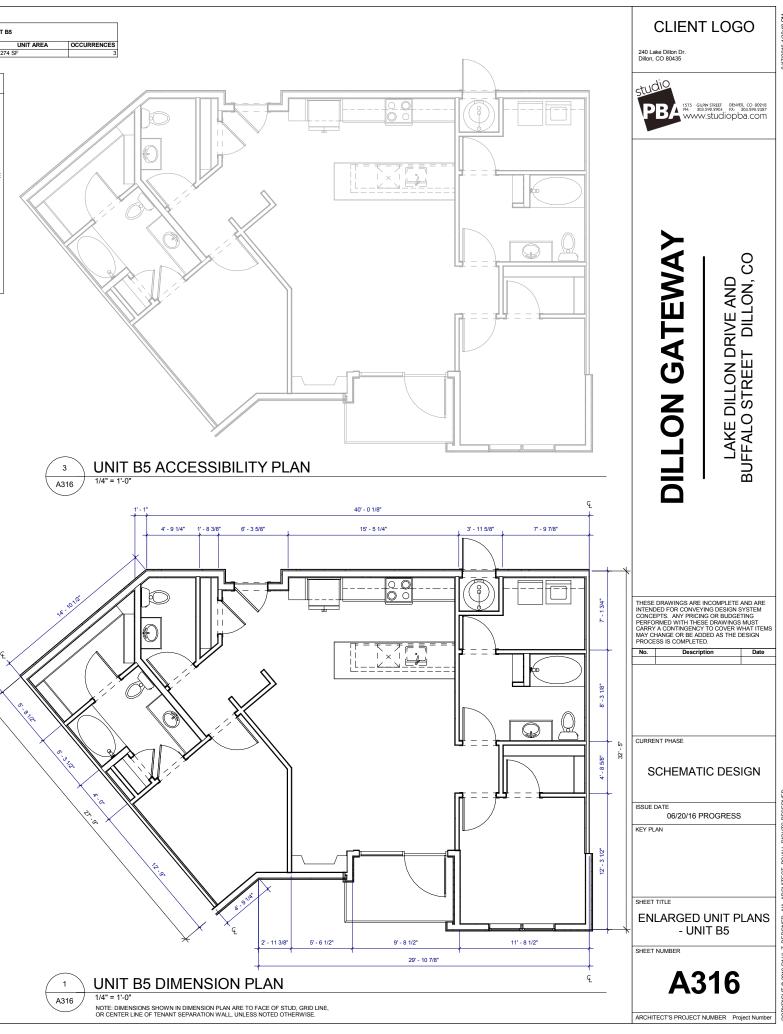
PC

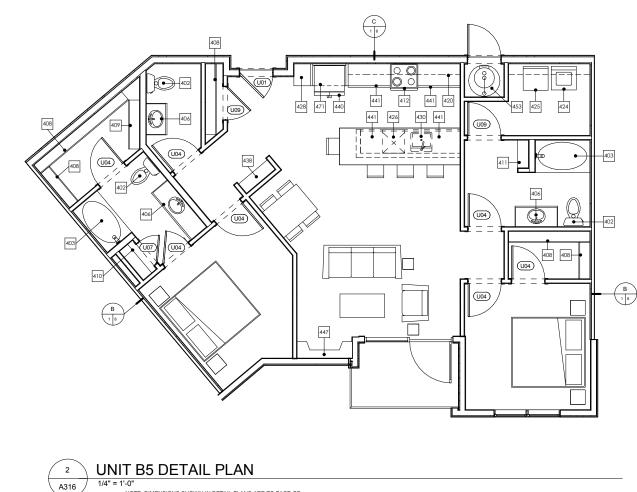
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VP PLANK VS

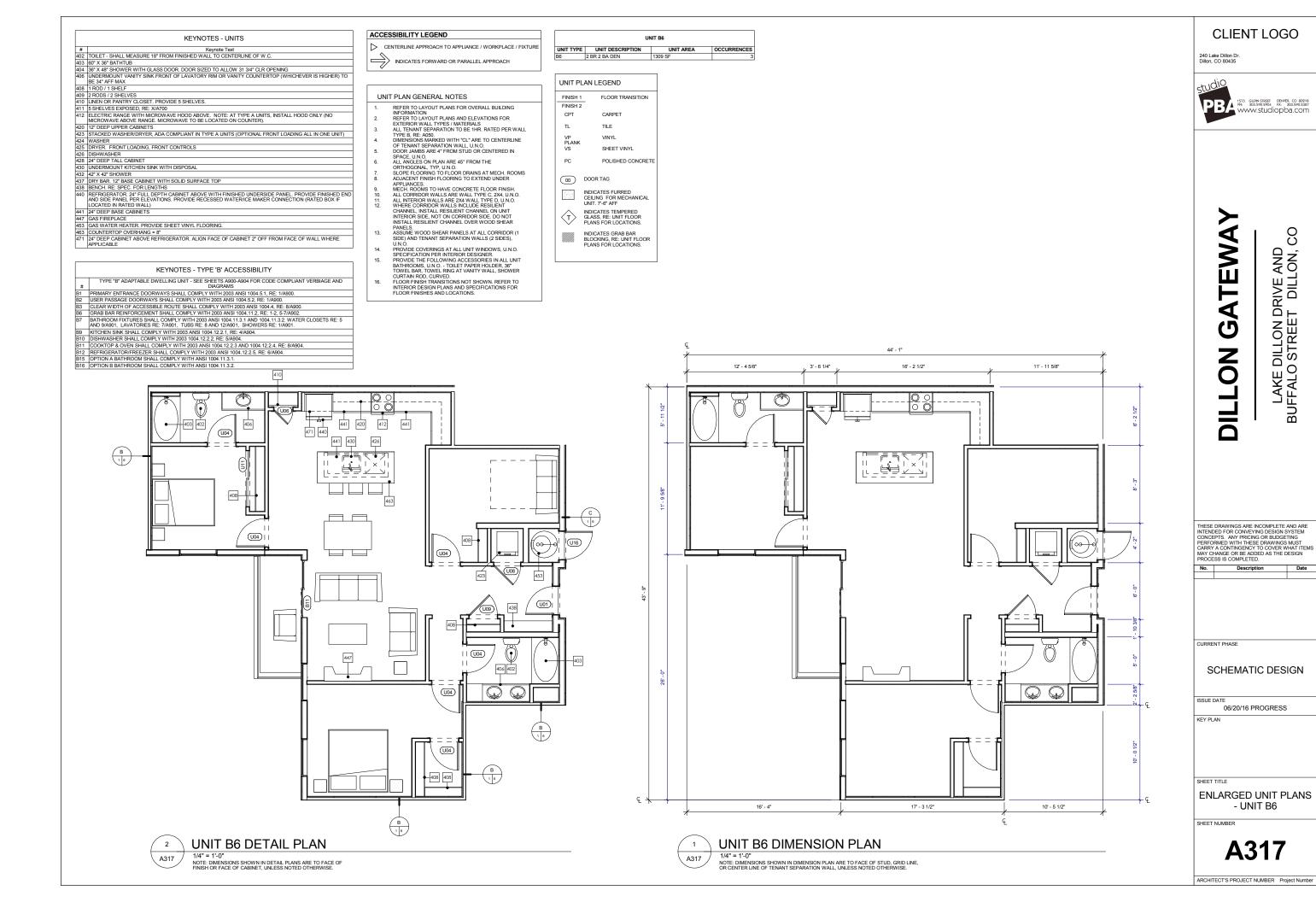
00 DOOR TAG







NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



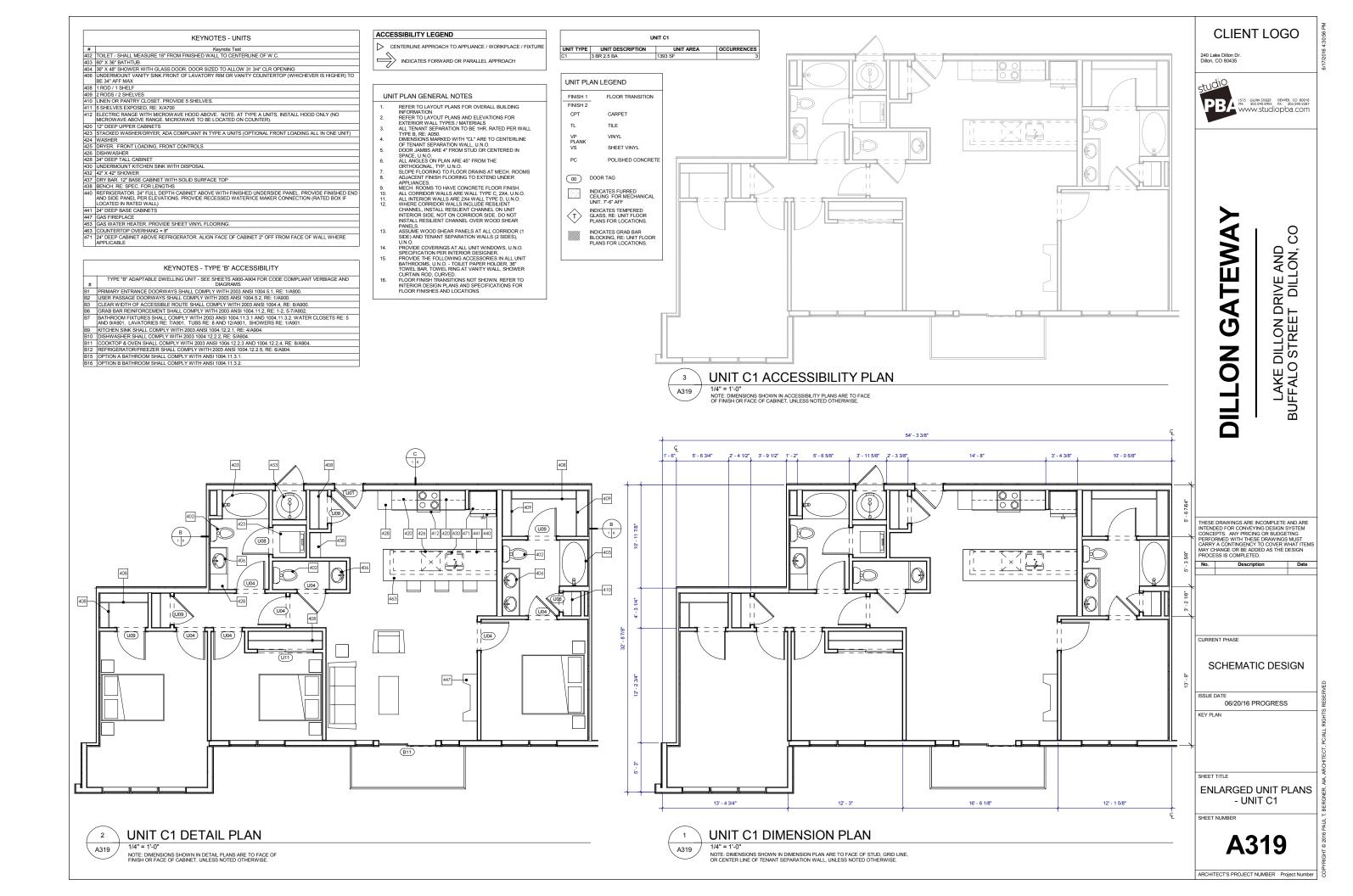
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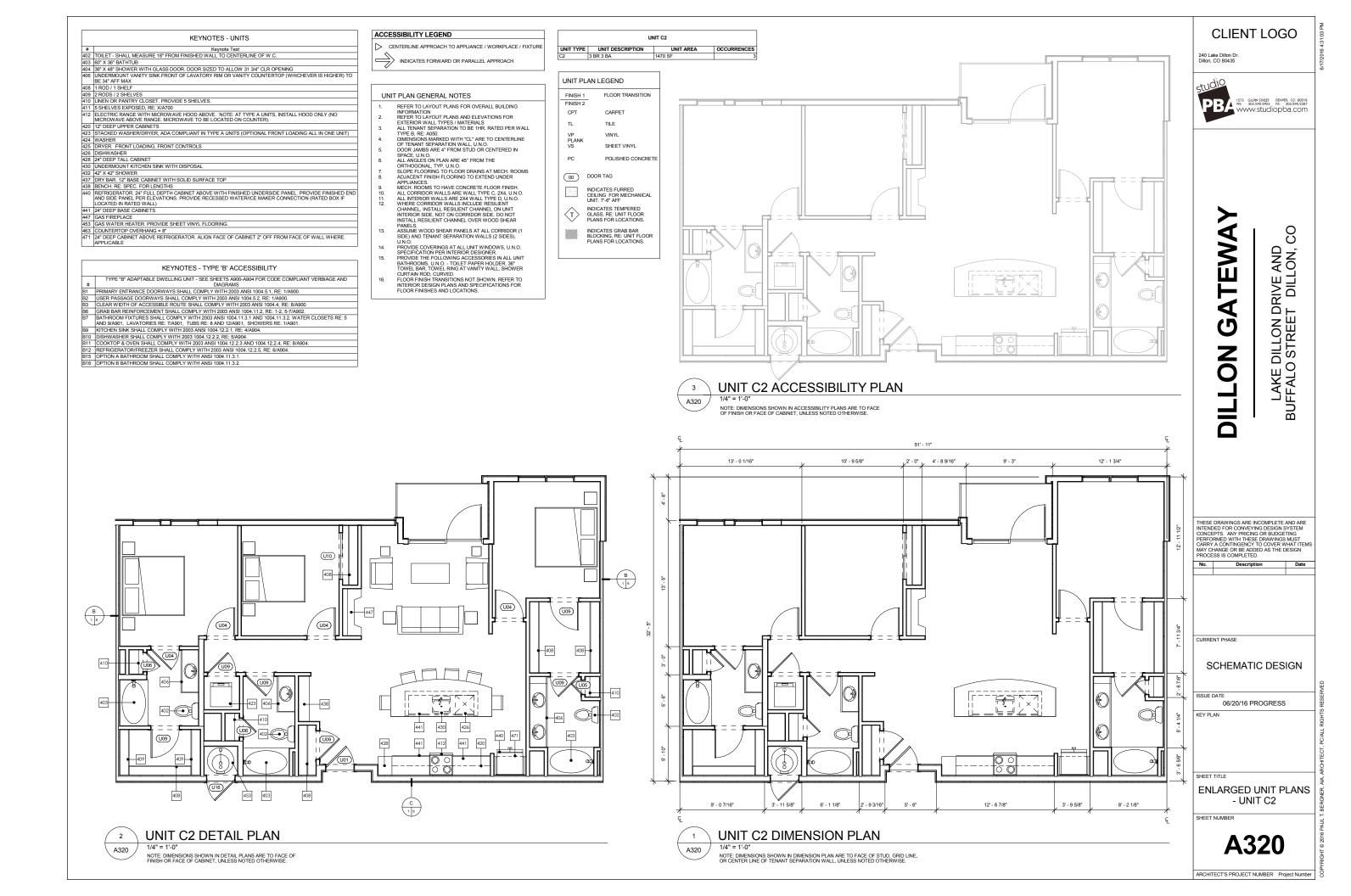
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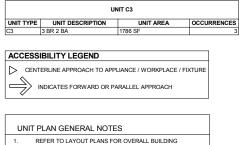
GATEWAY 80 LAKE DILLON DRIVE AND BUFFALO STREET DILLON, DILLON THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEM MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED. No. Description Date URRENT PHASE SCHEMATIC DESIGN ISSUE DATE 06/20/16 PROGRESS KEY PLAN SHEET TITLE ENLARGED UNIT PLANS - UNIT B6 SHEET NUMBER A317





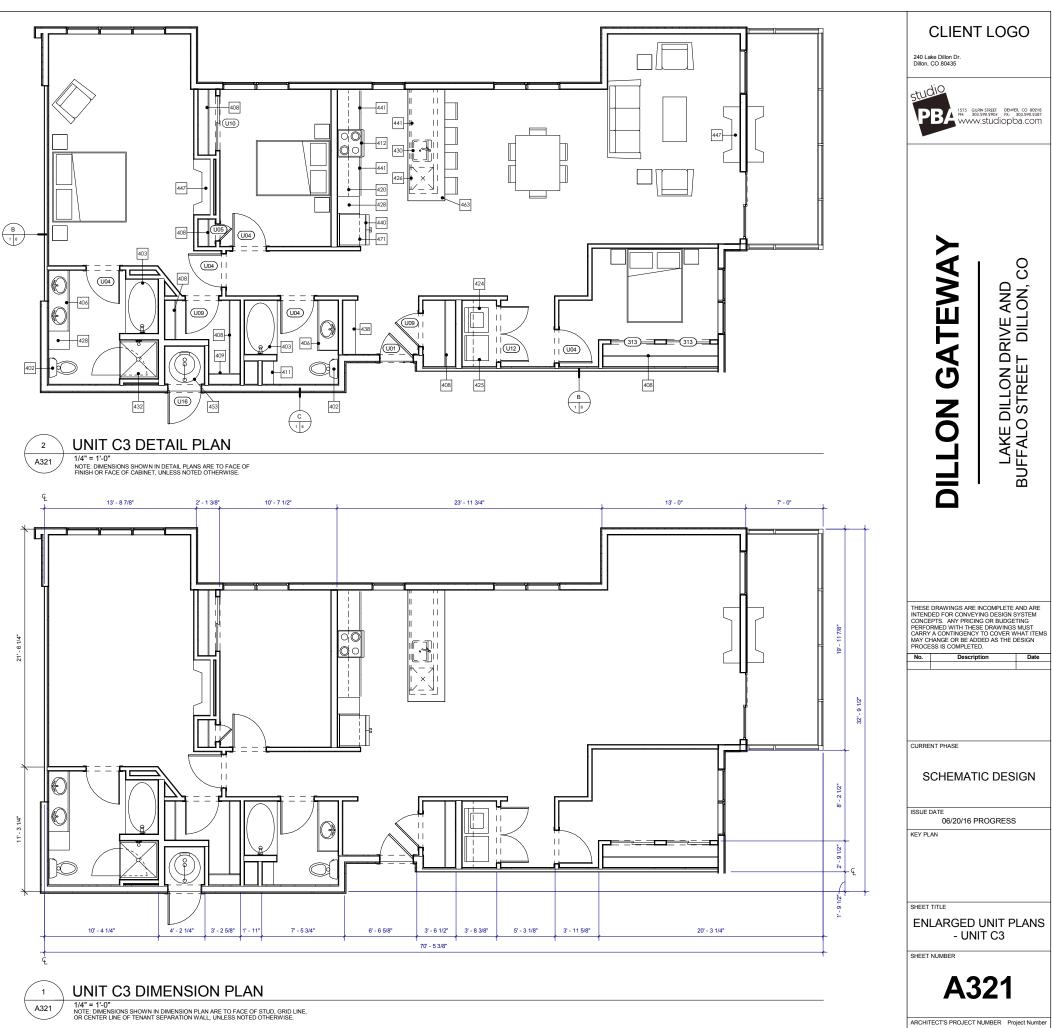
Dielt - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C. 36 07 X 36" BATHTUB 36 07 X 36" BATHTUB 40 36 X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 34" CLR OPENING 36 UNDERMOUNT VANITY SINK-FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER)' 36 1 ROD / 1 SHELF 90 2 RODS / 2 SHELVES 10 LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES. 11 SHELVES EXPOSED, RE: XIA700 12 ELECTRC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER). 12 TO EEP UPPER CABINETS 23 STACKED WASHERDRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT WARKING WASHERD 25 DRYER. FRONT LOADING, FRONT CONTROLS 26 DISHWASHER 28 24" DEEP TALL CABINET 30 UNDERMOUNT KITCHEN SINK WITH DISPOSAL 31 24" X 42" SHOWER 32 BENCH. RE: SPEC. FOR LENGTHS 33 BENCH. RE: SPEC. FOR LENGTHS 340 REFRIGERATOR, 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL, PROVIDE FINISHED 34" DEP PARLE PRE ELEVATIONS. PROVIDE SHECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 14 24" DEP BASE CABINETS 14 24" DEP BASE CABINETS 35 GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING. 36 COUNTERTO		KEYNOTES - UNITS
367 X 38° BATHTUB 367 X 38° BATHTUB 368 X 38° BATHTUB 37 AFF MAX 38 1 ROD / 1 SHELF 39 1 CRD / 1 SHELF 30 1 LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES. 11 1 SHELF 31 ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MCROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER). 31 TACKED WASHERDRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT STACKED WASHERDRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT 24 WASHER 32 MOVERNOUTI KITCHEN SINK WITH DISPOSAL 32 W 27 X 42° SHOWER 31 DRY BAR. 12° BASE CABINET WITH SOLD SURFACE TOP 38 BENCH. RE: SPEC. FOR LENGTHS 40 REFRIGERATOR, 24° FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL PROVIDE FINISHED AND SIDE PANEL PER RELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 41 24° DEEP BASE CABINETS<	#	Keynote Text
101 102 <td>402</td> <td>TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.</td>	402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
6 UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) ' BE 34' APF MAX 08 1 ROD / 1 SHELF 09 2 RODS / 2 SHELVES 01 LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES. 11 5 SHELVES EXPOSED, RE: XI/X00 12 ELECTRC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER). 21 12' DEEP UPPER CABINETS 23 STACKED WASHER/IDRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT 44' WASHER 25 DRYER. FRONT LOADING, FRONT CONTROLS 26 INDERMOUNT KITCHEN SINK WITH DISPOSAL 21 24' ZEP TALL CABINET 30 UNDERMOUNT KITCHEN SINK WITH DISPOSAL 32 24' X 42' SHOWER 31 ORY BAR. 12' BASE CABINET WITH SOLID SURFACE TOP 32 BERCH, RE: SPEC. FOR LENGTHS 41 44' DEEP BASE CABINET S 42 AFINET DEPT CABINET 43 FREPRIGRATOR. 24' FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 41 24' DEEP BASE CABINETS <	403	60" X 36" BATHTUB
BE 34* AFF MAX BI ROD / 1 SHELF 09 2 RODS / 2 SHELVES 101 LINEN OR RANTRY CLOSET. PROVIDE 5 SHELVES. 11 SHELVES 11 SHELVES 11 SHELVES 11 SHELVES 11 SHELVES 11 SHELVES 12 SLECTRIC RANCE WITH MICROWAVE HODD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER). 20 TOZER CABINETS 21 STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT 24 WASHER 25 DRYER. FRONT LOADING, FRONT CONTROLS 26 DISHWASHER 28 24* OEEP TALL CABINET 29 UNDERMOUNT KITCHEN SINK WITH DISPOSAL 21 24* X4* SHOWER 23 27* X42* SHOWER 24 VASTERTOR, 24* FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL PROVIDE FINISHED 24 PAREL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 24 Z4* DEEP PASE CABINET S 26 <t< td=""><td>404</td><td>36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING</td></t<>	404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
99 2 RODS / 2 SHELVES 10 LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES. 11 11 5 SHELVES EXPOSED, RE: X/A700 12 ELECTRIC RANCE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO 12 ELECTRIC RANCE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO 12 ELECTRIC RANCE WITH MICROWAVE TO BE LOCATED ON COUNTER). 20 12* DEEP UPPER CABINETS 23 STACKED WASHER/REX 24 WASHER 25 DRYER, FRONT LOADING, FRONT CONTROLS 26 DISHWASHER 28 24* DEEP TALL CABINET 21 27 X 42* SHOWER 21 DRY BR. T? BASE CABINET WITH SOLD SURFACE TOP 38 BENCH, RE: SPEC, FOR LENGTHS 40 REFRIGERATOR, 24* FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL PROVIDE FINISHED 41 24* DEEP FAAL PER RELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 41 24* DEEP FAAE 47 GAS FIREPLACE 32 GAS WATER HEATER. PROVIDE SHEET VINL FLOORING. 34 24* DEEP GASE CABINETS 47 GAS FIREPLACE 36 <td>406</td> <td>UNDERMOUNT VANITY SINK.FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX</td>	406	UNDERMOUNT VANITY SINK.FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
INEN OR PANTRY CLOSET. PROVIDE 5 SHELVES. If SHELVES EXPOSED, RE: XIA700 If SHELVES EXPOSED, RE: XIA700 If SHELVES EXPOSED, RE: XIA700 If Z DEET RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER). If Z'DEET PUPPER CABINETS If Z'DEET UPPER CABINET XIASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT WASHER ZO THE FRONT LOADING, FRONT CONTROLS DISTANCES ZAF DEET PALL CABINET ZAF DEET PALL CABINET XIASHER ZAF DEET PALL CABINET ZAF DEET PALL CABINET ZAF DEET PALL CABINET ZAF DEET PARSE CABINET WITH DISPOSAL ZAF ZER TALL CABINET ZAF DEET PASE CABINET WITH SOLID SURFACE TOP REFRIGERATOR. 24 FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED LOCATED IN RATED WALL) ZAF DEEP BASE CABINETS ZAF DEEP	408	1 ROD / 1 SHELF
11 SHELVES EXPOSED, RE: XIA700 12 ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE: NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER). 12 TEZECTRIC RANGE WITH MICROWAVE TO BE LOCATED ON COUNTER). 13 STACKED WASHER/DREYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT 3 24 WASHER 25 DRYER, FRONT LOADING, FRONT CONTROLS 26 DISHWASHER 28 24" DEEP TALL CABINET 30 UNDERMOUNT KITCHEN SINK WITH DISPOSAL 32 42" X 42" SHOWER 33 DRY BAR. 12" BASE CABINET WITH SOLD SURFACE TOP 38 BENCH. RE: SPEC. FOR LENGTHS 40 REFRIGERATOR. 34" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL PROVIDE FINISHED AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 41 24" DEEP BASE CABINETS 47 GAS FIREPLACE 33 CASWATER HEATER. PROVIDE SHEET VINL FLOORING. 34 CASWATER HEATER. PROVIDE SHEET VINL FLOORING. 34 CASINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE	409	2 RODS / 2 SHELVES
12 ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO 12 ELECTRIC RANGE WITH MICROWAVE TO BE LOCATED ON COUNTER). 20 12'DEEP UPPER CABINETS 23 STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT 24 WASHER 25 DISHWASHER 26 DISHWASHER 27 DISHWASHER 28 VASHER 29 DISHWASHER 29 DISHWASHER 20 UNDERMOUNT KITCHEN SINK WITH DISPOSAL 23 47 24 47 SHOWER 31 ORY BAR, TOR 2, SOLINE KITH SOLID SURFACE TOP 38 BENCH, RE: SPEC, FOR LENGTHS 40 REFRIGERATOR, 24'F LLOPETH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL, PROVIDE FINISHED 41 24'DEEP BASE CABINETS 41 24'DEEP BASE CABINETS 41 24'DEEP BASE CABINETS 42' GASH FIRELEXATIONS, FROVIDE RECESSED WATERVICE MAKER CONNECTION (RATED BOX IF LOADING) 41 24'DEEP BASE CABINETS 42' GASE RE HEATER, ROVIDE SHEET VINUL FLOORING. 43 GAS WATER HEATER, ROVIDE SHEET VINUL	410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER). 21 27 DEEP UPPER CABINETS 23 STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT 24 WASHER 25 DRYER, FRONT LOADING, FRONT CONTROLS 26 DISHWASHER 28 24' DEEP TALL CABINET 30 UNDERMOUNT KITCHEN SINK WITH DISPOSAL 32 42' X 42' SHOWER 31 DRYEAR, 12' BASE CABINET WITH SOLID SURFACE TOP 38 BENCH, RE: SPEC, FOR LENGTHS 40 REFRIGERATOR, 24' FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED 41 PAR LO PER ALE VATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 41 24' DEEP BASE CABINETS 47 GAS FIREPLACE 30 GAS WATER HEATER. PROVIDE SHEET VINVL FLOORING. 30 CONTERTOP OVERHANG = 8'' 10 4' DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2' OFF FROM FACE OF WALL WHERE	411	5 SHELVES EXPOSED, RE: X/A700
STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT WASHER SUPPORT FRONT LOADING, FRONT CONTROLS DISHWASHER SUPPORT FRONT LOADING, FRONT CONTROLS UNDERMOUNT KITCHEN SINK WITH DISPOSAL WASHER VIDERMOUNT KITCHEN SINK WITH DISPOSAL VIDERMOUNT KITCHEN SINK WITH DISPOSAL VIDERMOUNT KITCHEN SINK WITH SOLID SURFACE TOP TORY BAR, 12° BASE CABINET WITH SOLID SURFACE TOP TORY BAR, 12° BASE CABINET WITH SOLID SURFACE TOP TORY BAR, 12° BASE CABINET WITH SOLID SURFACE TOP TORY BAR, 12° BASE CABINET SOLID SURFACE TOP SUBTIONALLY DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED LOCATED IN RATED WALL) SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) SAS FIREPLACE SAS GAR WERENCE SAS WATER HEATER. PROVIDE SHEET VINUL FLOORING. SOLONTERTOP OVERHANG = 8° TORY BARE, DEPT FROM FREGREGRATOR. ALIGN FACE OF CABINET 2° OFF FROM FACE OF WALL WHERE	412	
24 WASHER 25 DRYER, FRONT LOADING, FRONT CONTROLS 26 DISHWASHER 26 DISHWASHER 28 DEP TALL CABINET 28 DEP TALL CABINET 29 DEP TALL CABINET 20 UNDERNOUNT KITCHEN SINK WITH DISPOSAL 22 42" X 42" SHOWER 31 DRY BAR, CABINET WITH SOLD SURFACE TOP 38 DEPCH, RE: SPEC, FOR LENGTHS 40 REFRIGERATOR, 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL, PROVIDE FINISHED AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 14 DEPT AGBINET ABOVE WITH FINISHED UNDERSIDE PANEL, PROVIDE FINISHED 41 GAS FIREPLACE 3 GAS WATER HEATER, PROVIDE SHEET VINL FLOORING. 3 GOUNTERTOP OVERHANG = 8" 12 47 DEPC CABINET SAMER FERRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE	420	12" DEEP UPPER CABINETS
25 DRYER, FRONT LOADING, FRONT CONTROLS 26 DISHWASHER 28 DISHWASHER 30 UNDERMOUNT KITCHEN SINK WITH DISPOSAL 32 42° X 42° SHOWER 31 DRY BAR. 12° BASE CABINET WITH SOLID SURFACE TOP 38 BENCH, RE: SPEC, FOR LENGTHS 40 REFRIGERATOR. 24° FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL, PROVIDE FINISHED I AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 41 24' DEEP BASE CABINETS 47 GAS FIREPLACE 53 GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING. 64 COUNTERTOP OVERHANG & 8'' 12 44' DEEP CABINET AGINET FARGERATOR. ALIGN FACE OF CABINET 2' OFF FROM FACE OF WALL WHERE	423	STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
22 DISHWASHER 23 24" DEEP TALL CABINET 24 24" DEEP TALL CABINET 25 UNDERNOUNT KITCHEN SINK WITH DISPOSAL 23 42" X 42" SHOWER 23 42" SHOWER 23 42" SHOWER 24 24" SHOWER 25 DISPOSING SHOW THIS SOLID SURFACE TOP 26 DISPOSING SHOW THIS SOLID SURFACE TOP 27 DISPOSING SHOW THIS SOLID SURFACE TOP 28 DISPOSING SHOW THIS SOLID SURFACE TOP 29 DISPOSING SHOW THIS SOLID SURFACE SHOW THIS SOLID SURFACE TOP SOLID SUPERACE 29 DISPOSING SHOW THIS SOLID SURFACE SOLID SUPERACE 29 DISPOSING SHOW THIS SOLID SURFACE SOLID SUPERACE 29 DISPOSING SHOW THIS SOLID SURFACE SOLID SUPERACE 29 DISPOSING SHOW THIS SOLID SUPERACE 29 DISPOSING SHOW THIS SOLID SUPERACE 29 DISPOSING SHOW THIS SOLID SUPERACE 29 DISPOSING SOLID	424	WASHER
24 ^o DEEP TALL CABINET 24 ^o DEEP TALL CABINET 24 ^o X4 ^o SHOWER 30 UNDERMOUNT KITCHEN SINK WITH DISPOSAL 32 4 ^o X4 ^o SHOWER 37 DRY BAR. 12 ^o BASE CABINET WITH SOLID SURFACE TOP 38 BENCH. RE: SPEC. FOR LENGTHS 40 REFRIGERATOR. 24 ^o FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED 1 AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 12 ^d DEEP BASE CABINETS 41 CAS FIREPLACE 53 GAS WATER HEATER. PROVIDE SHEET VIN'L FLOORING. 53 COUNTERTOP OVERHANG = 8 ^o 12 ^d VDEEP CABINET BOVE REFRIGERATOR. ALIGN FACE OF CABINET 2 ^o OFF FROM FACE OF WALL WHERE	425	DRYER. FRONT LOADING, FRONT CONTROLS
UNDERMOUNT KITCHEN SINK WITH DISPOSAL 22 42" X 42" SHOWER 12 44" X 42" SHOWER 12 MASE CABINET WITH SOLID SURFACE TOP 18 BERICH. RE: SPEC. FOR LENGTHS 18 BERICH. RE: SPEC. FOR LENGTHS 19 REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED 10 AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 12 4" DEEP BASE CABINETS 14 CAST DEPTH CABINET SHOLD 15 GAS WATER HEATER. PROVIDE SHEET VINUL FLOORING. 16 GAS FIREPLACE 16 GAS FIREPLACE 16 GAS OUNTERTOP OVERHANG = 8" 12 4" DEEP CABINET BAD'E MERTIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE	426	DISHWASHER
22 42" X 42" SHOWER 24" X 42" SHOWER 27 DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP 38 BENCH. RE: SPEC. FOR LENGTHS 40 REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL, PROVIDE FINISHED 40 AD SIDE PANEL PRE FLEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 12" DEEP BASE CABINETS 41 24" DEEP BASE CABINETS 41 24" DEEP FLACE 53 GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING. 53 COUNTERTOP OVERHANG & 8" 12" 14" DEEP CABINET BOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE		
7 DRY BAR. 12' BASE CABINET WITH SOLID SURFACE TOP 8 BENCH. RE: SPEC. FOR LENGTHS 8 BENCH. RE: SPEC. FOR LENGTHS 8 BENCH. RE: SPEC. FOR LENGTHS 10 REFRIGERATOR. 24' FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED I AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 12' DEEP BASE CABINETS 12' GAS FIREPLACE GAS WATER HEATER. PROVIDE SHEET VIN'L FLOORING. 12' OUNTERTOP OVERHANG = 8'' 12' 4' DEEP CABINET SAUCH STATUS		
BENCH. RE: SPEC. FOR LENGTHS REFRIGERATOR, 24' FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) SIDE MASS PANEL PER ELEVATIONS. TO SIDE TABLE SIDE SIDE SIDE SIDE SIDE SIDE SIDE SID		
REFRIGERATOR. 24 FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERVICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 124 DEEP BASE CABINETS 124 GAS FIREPLACE GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING. 124 ODEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2' OFF FROM FACE OF WALL WHERE		
AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL) 11 24* DEEP BASE CABINETS 14 GAS FIREPLACE 15 GAS WATER HEATER. PROVIDE SHEET VINUL FLOORING. 15 GAS WATER HEATER. PROVIDE SHEET VINUL FLOORING. 16 COUNTERTOP OVERHANG = 8" 1 24* DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE		
47 GAS FIREPLACE 53 GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING. 63 COUNTERTOP OVERHANG = 8" 124* DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE	440	AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF
GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING. COUNTERTOP OVERHANG = 8" COUNTERTOP OVERHANG = 8" 1 24" DEPC ABINET ABOVE REFERIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE	441	24" DEEP BASE CABINETS
63 COUNTERTOP OVERHANG = 8" 71 24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE	147	GAS FIREPLACE
1 24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE	153	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
	463	COUNTERTOP OVERHANG = 8"
	471	

#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 1004.12.2.2, RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.



- 3
- 4.
- 5.
- 6.

- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES (MATERIALS) ALL TENANT SEPARATION TO BE IHR. RATED PER WALL TYPE B, RE: 4050. DIMENSIONS MARKED WITH "CL" ARE TO CENTEREINE OF TENANT SEPARATION WALL, U.N.O. DOOR JAMES ARE 4" FROM STUD OR CENTERED IN SPACE. U.N.O. PLAN ARE 45" FROM THE SACE U.N.O. PLAN ARE 45" FROM THE SICOPE THORNE SEPARATION FOLOR DRAINS AT MECH. ROOMS ADLACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES. MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS ARE 2X4 WALL TYPE D, U.N.O. MITERIOR SUBLE, NOT ON CORRIDOR SUBLED ON TH INTERIOR SUBLE, NOT ON CORRIDOR SUBLED ON TO INSTALL RESILIENT CHANNEL OVER WOODS SHEAR PRESSEL 9. 10. 11. 12.
- ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), 13.
- 14.
- SIDE JAND TENANT SEPARATION WALLS (2 SIDES), UN O. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTENIOR DESIGNER PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. TOLIET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS. 15.
- 16.



	KEYNOTES - UNITS
#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK.FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED, RE: X/A700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER, ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR, 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED ENL AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATER/ICE MAKER CONNECTION (RATED BOX IF LCCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

	#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
E	31	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
E	32	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
E	33	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
E	36	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
E	37	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901.
E	39	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
E	810	DISHWASHER SHALL COMPLY WITH 2003 1004.12.2.2, RE: 5/A904.
E	311	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
E	312	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
E	315	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
E	316	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

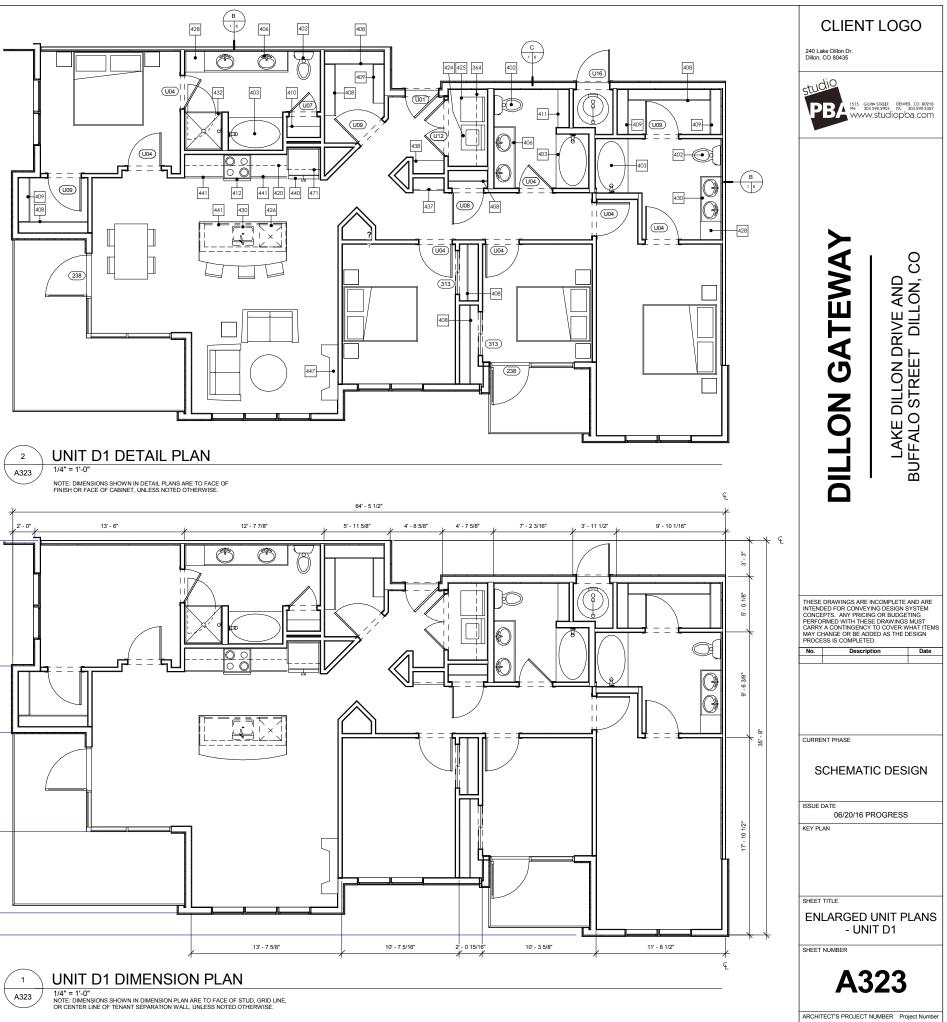
UNIT D1			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
D1	4 BR 3 BA	1804 SF	3
D1 ALT 1	4 BR 3 BA	1900 SF	3

ACCESSIBILITY LEGEND

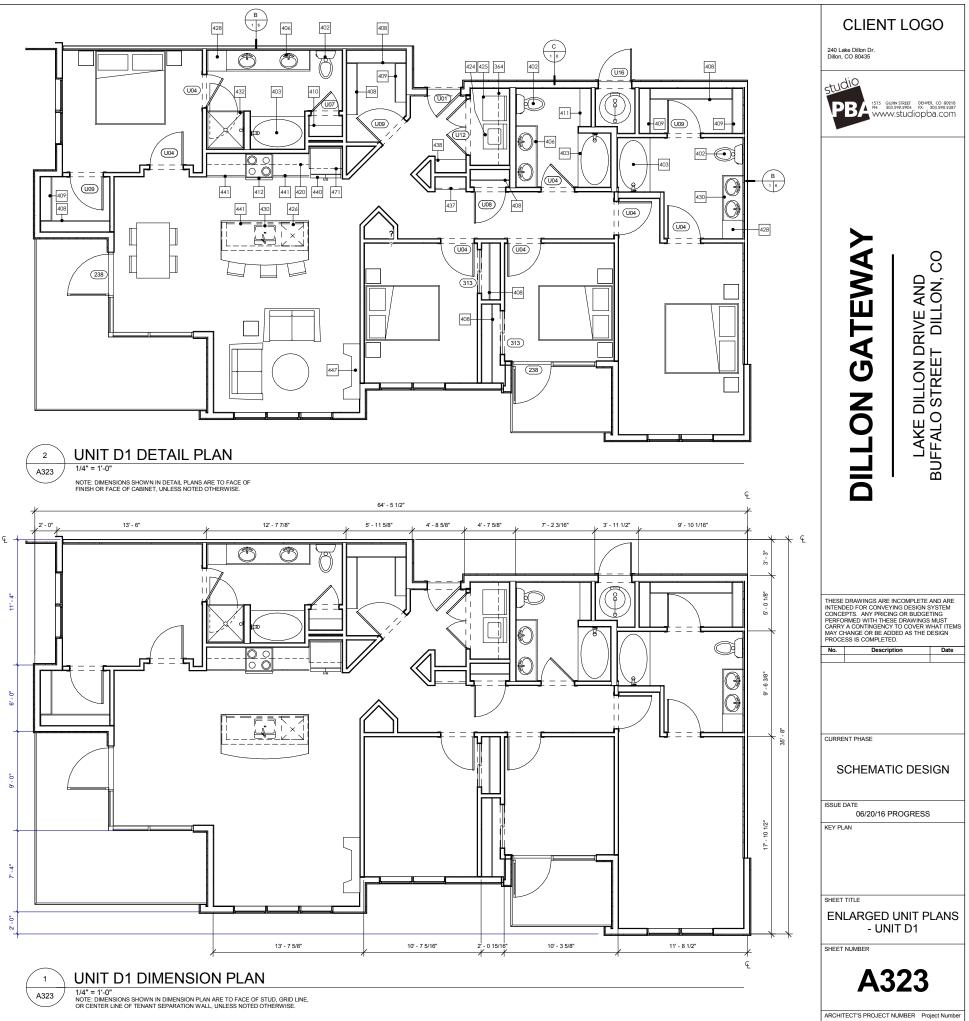
CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTU
INDICATES FORWARD OR PARALLEL APPROACH

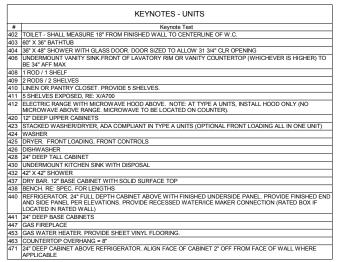
UN	IT PLAN GENERAL NOTES		UNIT PI	AN LEGEND
1.	REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION		FINISH 1	FLOOR TRANSITION
2.	REFER TO LAYOUT PLANS AND ELEVATIONS FOR		FINISH 2	
	EXTERIOR WALL TYPES / MATERIALS		CPT	CARPET
3.	ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A050.			
4.	DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE		TL	TILE
-	OF TENANT SEPARATION WALL, U.N.O.		VP	VINYI
5.	DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.		PLANK	
6.	ALL ANGLES ON PLAN ARE 45° FROM THE		VS	SHEET VINYL
-	ORTHOGONAL, TYP, U.N.O.		PC	POLISHED CONCRETE
7.	SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER		FC	POEISHED CONCRETE
	APPLIANCES.			
9. 10.	MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C. 2X4. U.N.O.		(00)	DOOR TAG
11.	ALL INTERIOR WALLS ARE 2X4 WALL TYPE C, 2X4, U.N.O.			
12.	WHERE CORRIDOR WALLS INCLUDE RESILIENT			INDICATES FURRED CEILING FOR MECHANICAL
	CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT		2.6	UNIT. 7'-6" AFF
	INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR			INDICATES TEMPERED
	PANELS.			GLASS, RE: UNIT FLOOR
13.	ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES).			PLANS FOR LOCATIONS.
	U.N.O.			INDICATES GRAB BAR
14.	PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O.			BLOCKING, RE: UNIT FLOOR
15	SPECIFICATION PER INTERIOR DESIGNER. PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT			PLANS FOR LOCATIONS.
15.	BATHROOMS, U.N.O TOILET PAPER HOLDER, 36"			
	TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER			
	CURTAIN ROD, CURVED.			
16.	FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO	1		

FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.





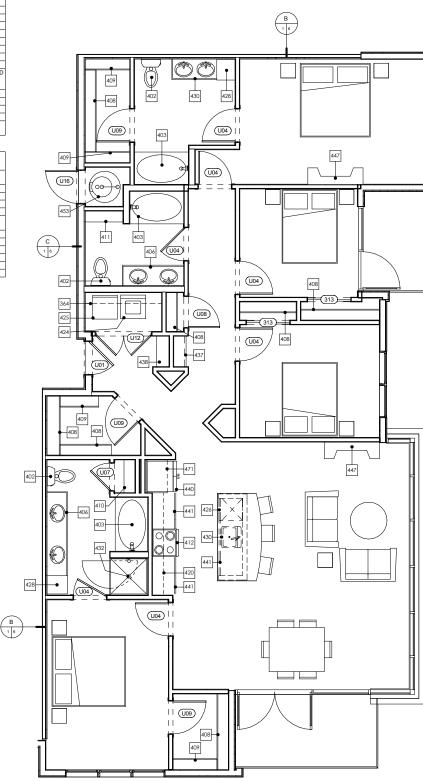


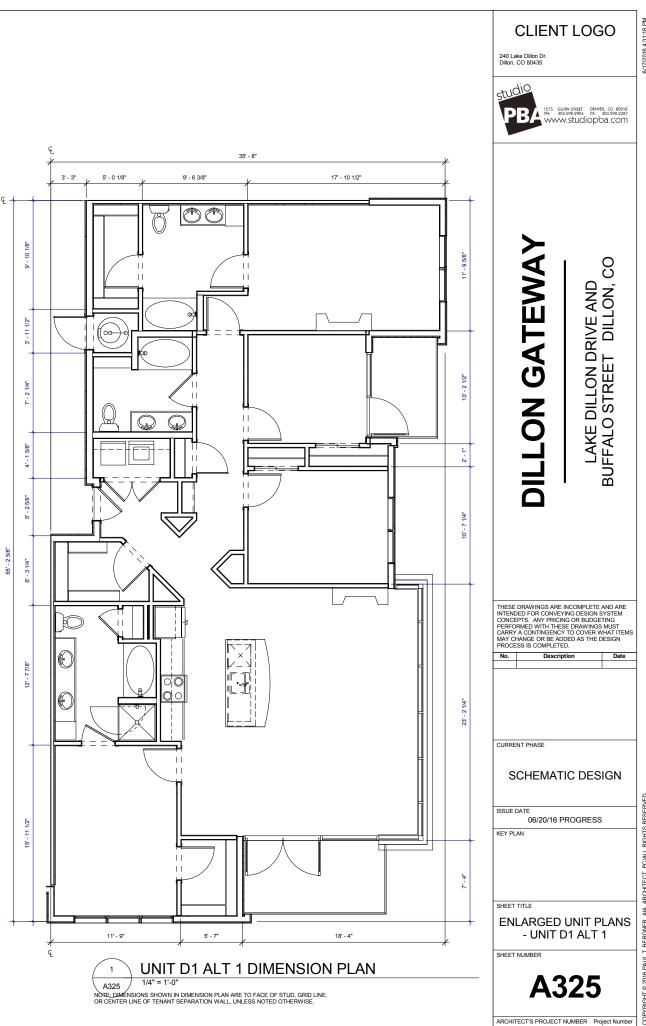


ACCESSIBILITY LEGEND CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE

INDICATES FORWARD OR PARALLEL APPROACH

	UNIT D1					
Е	UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES		
	D1	4 BR 3 BA	1804 SF	:		
	D1 ALT 1	4 BR 3 BA	1900 SF			





KEYNOTES - TYPE 'B' ACCESSIBILITY

#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
31	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
32	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
33	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
36	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
37	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901.
39	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
810	DISHWASHER SHALL COMPLY WITH 2003 1004.12.2.2, RE: 5/A904.
311	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
312	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
315	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
316	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

UNIT PLAN GENERAL NOTES

- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
- INFORMATION REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B, RE: ASO DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O. DOOR JAMBS, ARE 4" FROM STUD OR CENTERED IN DOOR JAMBS, ARE 4" FROM STUD OR CENTERED IN
- 4
- 5.

- SPACE UNO. ALLANGLES ON PLAN ARE 45° FROM THE SICIPE FLOGONAL. TYP, U.N.O. SLOPE FLOGORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER
- 9. 10. 11. 12.
- ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES. MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C, ZX4, U.N.O. ALL INTERIOR WALLS ARE ZX4 WALL TYPE C, U.N.O. WHERE CORRIDOR WALLS ARE ZX4 WALL TYPE C, U.N.O. WHERE CORRIDOR WALLS ARE ZX4 WALL TYPE C, U.N.O. WHERE CORRIDOR WALLS ARE DEVELOP TO HISTALL RESILENT CHANNEL ON UNIT INTERIOR SOLE. NOT ON CORRIDOR SIDE DO NOT INSTALL RESILENT CHANNEL OVER WOOD SHEAR ASSUME WOOD SHEAR PARELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES).
- 13.
- 14.
- 15.
- SIDE) AND TENANT SEPARATION WALLS (2 situes), UN.O. PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER. PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. TOLIET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED. FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATION.
- 16.

