

**TOWN OF DILLON
PLANNING AND ZONING COMMISSION
REGULAR MEETING
Wednesday, July 6th, 2016
5:30 p.m.
Dillon Town Hall
275 Lake Dillon Dr.**



REVISED AGENDA

1. **Call to Order**
2. **A. Elect New Chairperson and Vice Chairperson**
 - B. **Approval of the minutes** of the May 11th, 2016 special meeting.
3. **Public Comments:** Open comment period for planning and zoning topics not on tonight's agenda.
4. **Consideration of Resolution PZ 04-16, Series of 2016;** A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, RECOMMENDING THE AMENDING OF CHAPTER 16, "ZONING," ARTICLE XI, "SIGN REGULATIONS," SECTION 16-11-20 "DEFINITIONS," AND SECTION 16-11-50 "EXEMPTIONS," OF THE DILLON MUNICIPAL CODE OF THE TOWN OF DILLON, COLORADO, FOR THE PURPOSES OF ADDING PROVISIONS FOR DONATION AND SPONSORSHIP SIGNAGE; AND, SETTING FORTH DETAILS IN RELATION THERETO.
PUBLIC HEARING
5. **Consideration of Resolution PZ 05-16, Series of 2016;** A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING THE REVISED ARCHITECTURAL ELEVATIONS FOR THE DILLON GATEWAY PLANNED UNIT DEVELOPMENT AT 240 LAKE DILLON DRIVE, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.
6. Discussion Item:
7. Other Business
8. Adjournment

RECORD OF PROCEEDINGS

**TOWN OF DILLON
PLANNING AND ZONING COMMISSION
SPECIAL MEETING
WEDNESDAY, MAY 11, 2016
5:30 p.m.
Town Hall**

CALL TO ORDER

The special meeting of the Planning and Zoning Commission of the Town of Dillon, Colorado, was held on Wednesday, May 11, 2016, at Dillon Town Hall. Chairman Nat Nosari called the meeting to order at 5:30 p.m. Commissioners present were: Teresa England, Charlotte Jacobsen, and Jerry Peterson. Amy Gaddis was absent. Staff members present were Dan Burroughs, Town Engineer; Scott O'Brien, Public Works Director; Ned West, Engineering Inspector/Town Planner; Carri McDonnell, Finance Director and Corrie Fischer, Recording Secretary.

Chairman Nosari introduced Teresa England the new Planning and Zoning Commissioner.

APPROVAL OF THE MINUTES OF APRIL 6, 2016 REGULAR MEETING

Commissioner Jacobsen moved to approve the minutes from the April 6, 2016 meeting. Commissioner Peterson seconded the motion, which passed unanimously.

PUBLIC COMMENTS

There were no public comments.

CONSIDERATION OF RESOLUTION PZ 03-16, SERIES OF 2016

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING A LEVEL III DEVELOPMENT APPLICATION FOR A CONDITIONAL USE PERMIT FOR AN ACCESSORY DWELLING UNIT AT 11 CORINTHIAN CIRCLE, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.

PUBLIC HEARING

The Town received an application for a Conditional Use Permit for an Accessory Dwelling Unit at 11 Corinthian Circle, Lot 1A, Block 1, Corinthian Hill Subdivision, Dillon, Colorado. The proposed project would include the construction of a one car garage addition with a small Accessory Dwelling Unit above it. The application demonstrates conformance to the Code Sections pertaining to Conditional Use Permits and Accessory Dwelling Units, Section 16-5-220 and Section 16-4-40, respectively.

The application for a Conditional Use Permit for an Accessory Dwelling unit meets the requirements of the Dillon Municipal Code.

The Public Hearing for this Resolution ran in the newspaper on Friday, April 29, 2016. The property was posted for the Public Hearing on Tuesday, May 3, 2016.

The following conditions are attached to the Conditional Use Permit for the Accessory Dwelling Unit:

1. The applicant shall re-vegetate all disturbed areas by planting a native grass seed or turf grass seed mix, ensure growth through watering or irrigation, and maintain a vegetative ground cover.
2. The applicant shall pay the required water and sewer tap fees.

RECORD OF PROCEEDINGS

3. The applicant shall file with the Town the required restrictive covenant preventing subdividing into separate ownership.
4. The applicant shall file with the Town of Dillon a deed restriction that prevents short term rentals of the Accessory Dwelling Unit.
5. The applicant shall provide an Improvement Location Certification plat indicating the as-built location of the foundation meeting the setback requirements, and provide a building height certification meeting the maximum building height limit.
6. The applicant shall verify the functionality of the water service curbstop valve. The curbstop water service valve shall be observed and documented as functional by the Dillon Water Department. It is the owner's responsibility to maintain the curbstop valve in an operational condition.

Chairman Nosari opened the public hearing at 5:45 pm.

Leonard Szmurlo, owner of 11 Corinthian Circle explained that he wanted to add an accessory apartment that could also be included as part of the main house and the additional garage space.

Chairman Nosari closed the public hearing at 5:46 pm.

Commissioner Peterson moved to approve Resolution PZ 03-16, Series of 2016 with the recommended conditions. Commissioner England second the motion, which passed unanimously upon roll call vote.

Discussion Item: Developing sign regulations for Town owned parks and open space zoned property. This item will be moved to the June Planning and Zoning meeting.

OTHER BUSINESS

The Commission was concerned that accessory dwelling units do not allow short term rentals. Dan explained that the Town Manager is working with other towns and Summit County to review rules for short term rentals within an accessory dwelling unit. Dan explained some of the concerns about the impacts to the single family home neighborhood including parking. This topic will be brought to a future Planning and Zoning meeting.

Dan updated the Commission on the Gateway Project on where they are in the process.

ADJOURNMENT

There being no further business, the meeting adjourned at 6:02 p.m.

Respectfully submitted,

Carri McDonnell
Secretary to the Commission

**TOWN COUNCIL ACTION ITEM
STAFF SUMMARY
July 6, 2016 PLANNING AND ZONING COMMISSION MEETING**

DATE: June 28, 2016

AGENDA ITEM NUMBER: 4

ACTION TO BE CONSIDERED:

Consideration of Resolution NO. PZ 04-16 Series of 2016, **PUBLIC HEARING**

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, RECOMMENDING THE AMENDING OF CHAPTER 16, "ZONING," ARTICLE XI, "SIGN REGULATIONS," SECTION 16-11-20 "DEFINITIONS," AND SECTION 16-11-50 "EXEMPTIONS," OF THE DILLON MUNICIPAL CODE OF THE TOWN OF DILLON, COLORADO, FOR THE PURPOSES OF ADDING PROVISIONS FOR DONATION AND SPONSORSHIP SIGNAGE; AND, SETTING FORTH DETAILS IN RELATION THERETO.

SUMMARY:

This Resolution adds three definitions and two exemptions to Chapter 16 "Zoning", Article XI "Sign Regulations" for the purposes of allowing signage as part of a Town of Dillon donation or sponsorship program. As the Code stands prior to this Code amendment, donors would not be able to achieve much in the way of recognition for their contributions to the benefit of the public. As the Town of Dillon recognizes the need to promote community involvement and active participation in quality of life components throughout the community, this Resolution aims to provide a mechanism through donation and sponsorship programs for contributor recognition otherwise unavailable as the Code currently reads.

STAFF RECOMMENDATION:

Staff recommends approval of Resolution PZ 04-16, Series of 2016.

ACTION REQUESTED: Motion, Second, Vote.

Recommended motion language: "I move to approve Resolution PZ 04-16, Series of 2016."

At least three (3) affirmative votes will be required for approving this resolution.

STAFF MEMBER RESPONSIBLE: Ned West, Town Planner

RESOLUTION NO. PZ 04-16
Series of 2016

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, RECOMMENDING THE AMENDING OF CHAPTER 16, “ZONING,” ARTICLE XI, “SIGN REGULATIONS,” SECTION 16-11-20 “DEFINITIONS,” AND SECTION 16-11-50 “EXEMPTIONS,” OF THE DILLON MUNICIPAL CODE OF THE TOWN OF DILLON, COLORADO, FOR THE PURPOSES OF ADDING PROVISIONS FOR DONATION AND SPONSORSHIP SIGNAGE; AND, SETTING FORTH DETAILS IN RELATION THERETO.

WHEREAS, the Planning and Zoning Commission of the Town of Dillon, desires to amend Article XI, “Sign Regulations,” of Chapter 16, “Zoning,” of the Dillon Municipal Code of the Town of Dillon, Colorado, for the purposes of adding provisions for donation and sponsorship recognition signage; and

WHEREAS, following the required notice, a public hearing was held on July 6th, 2016, before the Planning and Zoning Commission of the Town of Dillon on the amending of Article XI, “Sign Regulations,” of Chapter 16, “Zoning,” of the Dillon Municipal Code of the Town of Dillon, Colorado; and

WHEREAS, following the public hearing the Planning and Zoning Commission of the Town of Dillon has determined that it is in the best interest of the Town to make a recommendation to the Town Council of the Town of Dillon to amend Article XI, “Sign Regulations,” of Chapter 16, “Zoning,” of the Dillon Municipal Code of the Town of Dillon, Colorado, as set forth herein below.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, AS FOLLOWS:

Section 1. That the Planning and Zoning Commission of the Town of Dillon hereby makes a recommendation to the Town Council of the Town of Dillon to amend Chapter 16, “Zoning,” Article XI, “Sign Regulations,” Section 16-11-20 “Definitions” of the Dillon Municipal Code of the Town of Dillon adding the following definitions:

Donation Program means a program developed by the Town and approved by the Town Manager, which allows individuals, groups, non-profits or businesses to donate money, real property, or personal property to the Town for a particular public purpose, in exchange for some type of signage to recognize the donation for a certain time period as defined in the Donation Program.

Donation Program Signage means signage associated with a Town managed Donation Program located on Town property. The quantity, size, materials, location, and duration of the display of the signs are set forth in the Donation Program approved in writing by the Town Manager. Signage may include plaques, pavers and other signs set forth in the Donation Program.

Sponsorship Signage means Temporary Signage by businesses, groups, non-profits and individuals who in part sponsor a Town sanctioned event located on Town Property, which has an approved special use permit for a specific event or for the amphitheater season. The quantity, size, materials, location, and duration of display of the signs are set forth in the Special Use Permit for the Event as approved in writing by the Town Manager.

Section 2. That the Planning and Zoning Commission of the Town of Dillon hereby makes a recommendation to the Town Council of the Town of Dillon to amend Article XI, "Sign Regulations," of Chapter 16, "Zoning," Section 16-11-50 "Exemptions" of the Dillon Municipal Code of the Town of Dillon adding the following exemptions:

(29) Donation Program Signage. Signage associated with a Town managed Donation Program may be displayed in accordance with the parameters of the Donation Program.

(30) Sponsorship Signage. Signage associated with the sponsorship of a Town sanctioned event may be displayed in accordance with the criteria set forth in the special use permit as approved by the Town Manager in writing.

**APPROVED AND ADOPTED THIS 6th DAY OF JULY, 2016 BY THE
PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON,
COLORADO.**

**PLANNING AND ZONING COMMISSION,
TOWN OF DILLON**

By: _____
Nathan Nosari, Chairperson

ATTEST:

By: _____
Corrie Fischer, Secretary to the Commission

**TOWN COUNCIL ACTION ITEM
STAFF SUMMARY
July 6, 2016 PLANNING AND ZONING COMMISSION MEETING**

DATE: June 28, 2016

AGENDA ITEM NUMBER: 5

ACTION TO BE CONSIDERED:

Consideration of Resolution NO. PZ 05-16 Series of 2016

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING THE REVISED ARCHITECTURAL ELEVATIONS FOR THE DILLON GATEWAY PLANNED UNIT DEVELOPMENT AT 240 LAKE DILLON DRIVE, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.

SUMMARY:

Following the public hearing on December 2, 2015, the Planning and Zoning Commission of the Town of Dillon recommended, with conditions, the approval of Resolution PZ 19-15, Series of 2015 for the Level IV Development Application for a new Planned Unit Development for the Dillon Gateway project located at 240 Lake Dillon Drive, more specifically described as Lot 1DEF, Block B, New Town of Dillon Subdivision, Dillon, Colorado. The Planning and Zoning Commission conditioned the recommendation for approval of the Dillon Gateway PUD requiring revisions to the architectural façade showing façade articulation and fenestrations in plan and elevation through condition “I” of Section 2 of Resolution PZ 19-15, Series of 2015.

The application was then approved by Town Council, with conditions, following the public hearing on January 5, 2016, by Resolution 02-16, Series of 2016 with condition “I” of Section 2 requiring revisions to the architectural façade showing façade articulation and fenestrations in plan and elevation.

The Town of Dillon has received revised architectural drawings for the Dillon Gateway PUD showing architectural façade articulation and fenestrations in plan and elevation. The drawings were prepared by a new architect for the project, Studio PBA from Denver, Colorado. The architectural elevations show façade articulation and fenestrations substantially different, and of greater detail, than those previously provided during the initial PUD hearings.

STAFF RECOMMENDATION:

Staff recommends approval of Resolution PZ 05-16, Series of 2016.

ACTION REQUESTED: Motion, Second, Vote.

Recommended motion language: “I move to approve Resolution PZ 05-16, Series of 2016.”

At least three (3) affirmative votes will be required for approving this resolution.

STAFF MEMBER RESPONSIBLE: Ned West, Town Planner

RESOLUTION NO. PZ 05-16
Series of 2016

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING THE REVISED ARCHITECTURAL ELEVATIONS FOR THE DILLON GATEWAY PLANNED UNIT DEVELOPMENT AT 240 LAKE DILLON DRIVE, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.

WHEREAS, following the public hearing on December 2, 2015, the Planning and Zoning Commission of the Town of Dillon recommended, with conditions, the approval of Resolution PZ 19-15, Series of 2015 for the Level IV Development Application for a new Planned Unit Development for the Dillon Gateway project located at 240 Lake Dillon Drive, more specifically described as Lot 1DEF, Block B, New Town of Dillon Subdivision, Dillon, Colorado; and

WHEREAS, the Planning and Zoning Commission conditioned the recommendation for approval of the Dillon Gateway PUD requiring revisions to the architectural façade showing façade articulation and fenestrations in plan and elevation through condition “I” of Section 2 of Resolution PZ 19-15, Series of 2015; and

WHEREAS, following the public hearing on January 5, 2016, the Town Council of the Town of Dillon approved the Dillon Gateway PUD by Resolution 02-16, Series of 2016 with condition “I” of Section 2 requiring revisions to the architectural façade showing façade articulation and fenestrations in plan and elevation; and

WHEREAS, the Town of Dillon has received revised architectural drawings for the Dillon Gateway PUD showing architectural façade articulation and fenestrations in plan and elevation; and

WHEREAS, the Planning and Zoning Commission of the Town of Dillon has determined that the revised architectural drawings provide the level of architectural façade articulation and fenestration requested of the applicant as a condition of the Dillon Gateway PUD approval.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, AS FOLLOWS:

Section 1. That the Planning and Zoning Commission of the Town of Dillon, reviewed the revised architectural façade articulation and fenestrations in plan and elevation and makes the following findings of fact:

A. That the applicant worked with an architect to provide a new architectural design for the Dillon Gateway PUD.

B. That the revised architectural building elevation drawings provide building façade articulation and fenestrations reflecting thoughtful architectural design which visually breaks up large wall segments.

C. That the proposed architecture for the Dillon Gateway Planned Unit Development at 240 Lake Dillon Drive meets the applicable Dillon Municipal Code of the Town of Dillon (“Code”) sections.

Section 2. That the Planning and Zoning Commission of the Town of Dillon hereby approves the revised architectural elevations for the Dillon Gateway Planned Unit Development at 240 Lake Dillon Drive.

**APPROVED AND ADOPTED THIS 6TH DAY OF JULY 2016 BY THE
PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON,
COLORADO.**

**PLANNING AND ZONING COMMISSION,
TOWN OF DILLON**

By: _____

Nathan Nosari, Chairperson

ATTEST:

By: _____

Corrie Fischer, Secretary to the Commission



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studio
PBA ARCHITECTURE & PLANNING
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www.studlopba.com

240 Lake Dillon Dr.
Dillon, CO 80435

IVANO
OTTOBORGO

DILLON GATEWAY

06/20/16 PROGRESS

RENDERING





EAST ELEVATION

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240 Lake Dillon Dr.
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IVANO OTTOBORGO

DILLON GATEWAY
06/20/16 PROGRESS

ELEVATIONS
1/16" = 1'-0"



COURTYARD EAST ELEVATION



EAST-WING SOUTH ELEVATION

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DILLON GATEWAY
06/20/16 PROGRESS

ELEVATIONS
1/16" = 1'-0"

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COURTYARD WEST ELEVATION



COURTYARD SOUTH ELEVATION

MAX. BLDG. HEIGHT
9151' - 0"

R1 T.O. SLAB
9098' - 2 1/8"

L1 T.O. SLAB
9087' - 0"

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240 Lake Dillon Dr.
Dillon, CO 80435

**IVANO
OTTOBORGO**

DILLON GATEWAY

06/20/16 PROGRESS

ELEVATIONS

1/16" = 1'-0"

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NORTH-WEST ELEVATION



WEST-WING SOUTH ELEVATION

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DILLON GATEWAY
06/20/16 PROGRESS

ELEVATIONS
1/16" = 1'-0"

240 Lake Dillon Dr.
Dillon, CO 80435



NORTH ELEVATION



VIEW FROM SOUTH



VIEW FROM NORTH-EAST CORNER



VIEW FROM NORTH-WEST CORNER



VIEW FROM SOUTH-EAST CORNER

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240 Lake Dillon Dr.
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**IVANO
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DILLON GATEWAY

06/20/16 PROGRESS

PERSPECTIVES

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DILLON GATEWAY
LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO

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No.	Description	Date

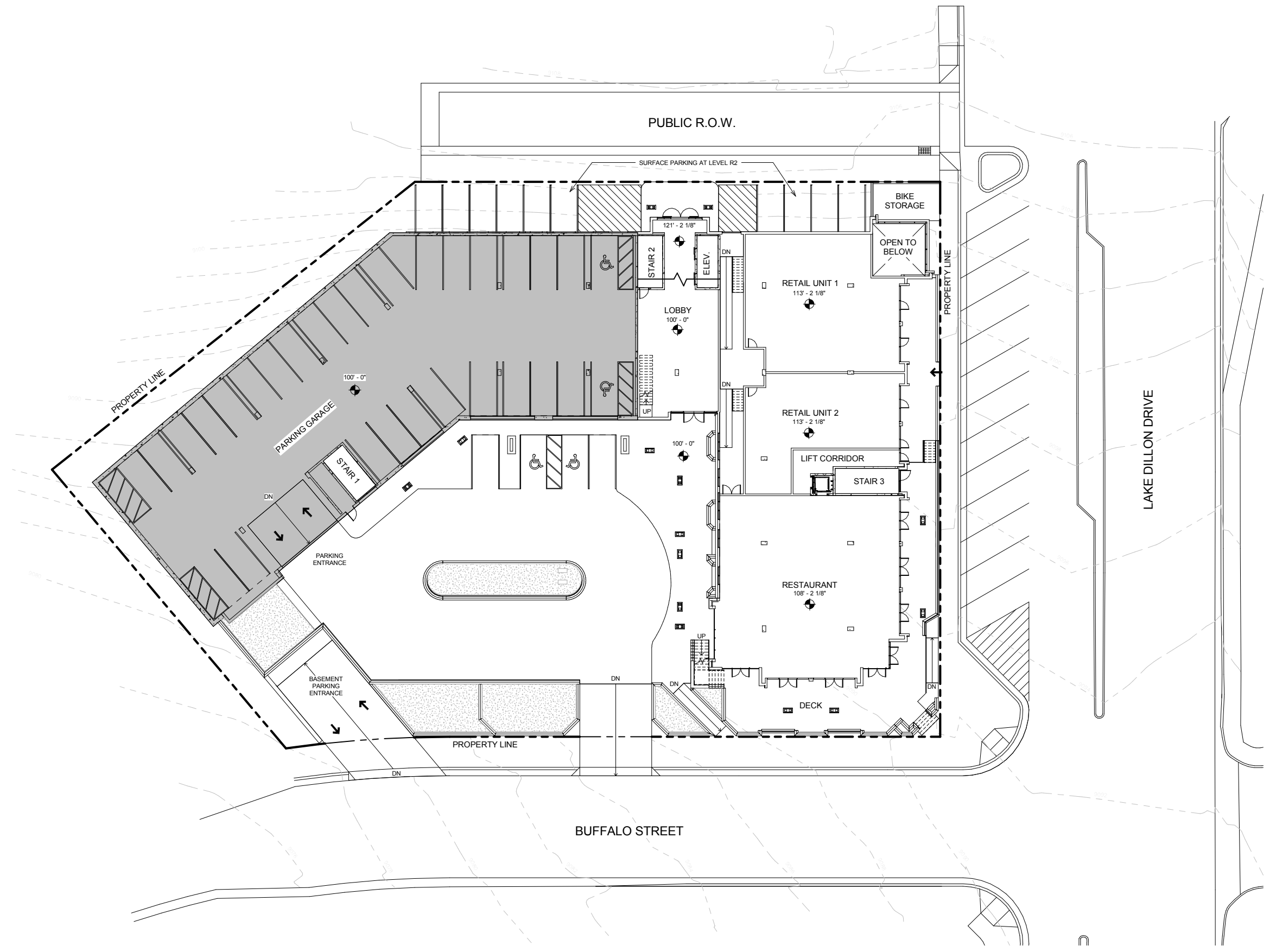
CURRENT PHASE
SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
SITE PLAN

SHEET NUMBER
A021

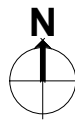


1 OVERALL-SITE PLAN
A021 1/16" = 1'-0"





VICINITY MAP - N.T.S.
DILLON, COLORADO



GROSS BUILDING SF.	
LEVEL	AREA
LEVEL B1	30,942 SF
LEVEL L1	23,102 SF
LEVEL R1	23,460 SF
LEVEL R2	13,273 SF
LEVEL R3	23,220 SF
LEVEL R4	23,220 SF
LEVEL R5	23,220 SF
TOTAL	160,437 SF

UNIT MIX - UNITS TOTAL					
Name	Unit Description	Area (Main Floor)	Total Area	Mix	Number
S1	STUDIO	558 SF	1673 SF	5%	3
S2	STUDIO	624 SF	1871 SF	5%	3
		3544 SF		10%	6
A1	1 BR 1 BA	863 SF	5178 SF	10%	6
A1 ALT 1	1 BR 1 BA	825 SF	1650 SF	3%	2
A2	1 BR 1.5 BA DEN	1002 SF	3005 SF	5%	3
A2 ALT 1	1 BR 1.5 BA DEN	939 SF	939 SF	2%	1
A3	1 BR 1 BA DEN	967 SF	2901 SF	5%	3
		13674 SF		24%	15
B1	2 BR 2 BA	1118 SF	3354 SF	5%	3
B2	2 BR 2 BA	1138 SF	1138 SF	2%	1
B2 ALT 1	2 BR 2 BA	1113 SF	1113 SF	2%	1
B2 ALT 2	2 BR 2 BA	1118 SF	1118 SF	2%	1
B3	2 BR 2 BA	1146 SF	3437 SF	5%	3
B4	2 BR 2 BA	1311 SF	3932 SF	5%	3
B4 ALT 1	2 BR 2 BA	1203 SF	3608 SF	5%	3
B4 ALT 2	2 BR 2 BA	1203 SF	2407 SF	3%	2
B4 ALT 3	2 BR 2 BA	1269 SF	2537 SF	3%	2
B5	2 BR 2 BA	1274 SF	3821 SF	5%	3
B5 ALT 1	2 BR 2 BA	1236 SF	1236 SF	2%	1
B6	2 BR 2 BA DEN	1309 SF	3928 SF	5%	3
		31629 SF		42%	26
C1	3 BR 2.5 BA	1393 SF	4179 SF	5%	3
C2	3 BR 3 BA	1470 SF	4410 SF	5%	3
C3	3 BR 2 BA	1786 SF	5359 SF	5%	3
		13948 SF		15%	9
D1	4 BR 3 BA	1804 SF	5413 SF	5%	3
D1 ALT 1	4 BR 3 BA	1900 SF	5699 SF	5%	3
		11112 SF		10%	6
GRAND TOTAL: 62			73908 SF	100%	62

UNIT MIX - RENTALS R1 - R2					
Name	Unit Description	Area (Main Floor)	Total Area	Mix	Number
S1	STUDIO	558 SF	1673 SF	18%	3
S2	STUDIO	624 SF	1871 SF	18%	3
		3544 SF		35%	6
A1 ALT 1	1 BR 1 BA	825 SF	1650 SF	12%	2
A2 ALT 1	1 BR 1.5 BA DEN	939 SF	939 SF	6%	1
		2589 SF		18%	3
B2	2 BR 2 BA	1138 SF	1138 SF	6%	1
B2 ALT 1	2 BR 2 BA	1113 SF	1113 SF	6%	1
B2 ALT 2	2 BR 2 BA	1118 SF	1118 SF	6%	1
B4 ALT 2	2 BR 2 BA	1203 SF	2407 SF	12%	2
B4 ALT 3	2 BR 2 BA	1269 SF	2537 SF	12%	2
B5 ALT 1	2 BR 2 BA	1236 SF	1236 SF	6%	1
		9550 SF		47%	8
GRAND TOTAL: 17			15683 SF	100%	17

UNIT MIX - CONDOS R3 - R5					
Name	Unit Description	Area (Main Floor)	Total Area	Mix	Number
A1	1 BR 1 BA	863 SF	5178 SF	13%	6
A2	1 BR 1.5 BA DEN	1002 SF	3005 SF	7%	3
A3	1 BR 1 BA DEN	967 SF	2901 SF	7%	3
		11085 SF		27%	12
B1	2 BR 2 BA	1118 SF	3354 SF	7%	3
B3	2 BR 2 BA	1146 SF	3437 SF	7%	3
B4	2 BR 2 BA	1311 SF	3932 SF	7%	3
B4 ALT 1	2 BR 2 BA	1203 SF	3608 SF	7%	3
B5	2 BR 2 BA	1274 SF	3821 SF	7%	3
B6	2 BR 2 BA DEN	1309 SF	3928 SF	7%	3
		22090 SF		40%	18
C1	3 BR 2.5 BA	1335 SF	4179 SF	7%	3
C2	3 BR 3 BA	1470 SF	4410 SF	7%	3
C3	3 BR 2 BA	1786 SF	5359 SF	7%	3
		13948 SF		20%	9
D1	4 BR 3 BA	1804 SF	5413 SF	7%	3
D1 ALT 1	4 BR 3 BA	1897 SF	5699 SF	7%	3
		11112 SF		13%	6
GRAND TOTAL: 45			58225 SF	100%	45

PARKING		
LEVELS	COUNT	DESCRIPTION
B1 T.O. SLAB	1	9X18 HANDICAP SPACE
B1 T.O. SLAB	77	9X18 STANDARD PARKING SPACE
L1 T.O. SLAB	4	9X18 HANDICAP SPACE
L1 T.O. SLAB	30	9X18 STANDARD PARKING SPACE
R2 T.O. SLAB	10	9X18 STANDARD PARKING SPACE
	122	

PARKING REQUIRED / PROVIDED				
TYPE	COUNT	REQUIREMENT	REQUIRED SPACES	PROVIDED SPACES
4 BED	6	2 SPACES	12	
3 BED	9	2 SPACES	18	
2 BED	26	2 SPACES	52	
1 BED	15	1.5 SPACES	23	
STUDIO	6	1.5 SPACES	9	
RESTAURANT	N/A	N/A	N/A	N/A
RETAIL 1	N/A	N/A	N/A	N/A
RETAIL 2	N/A	N/A	N/A	N/A
TOTAL			114	122
HC SPACES		2% OF TOTAL + 2 SPACES FOR RETAIL	3 + 2 = 5	5
GRAND TOTAL			119	122

DILLON GATEWAY

240 Lake Dillon Dr.
Dillon, CO 80435



DILLON GATEWAY

LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO

THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEMS MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED.

No.	Description	Date
1	Revision 1	Date 1

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
PROJECT INFORMATION

SHEET NUMBER

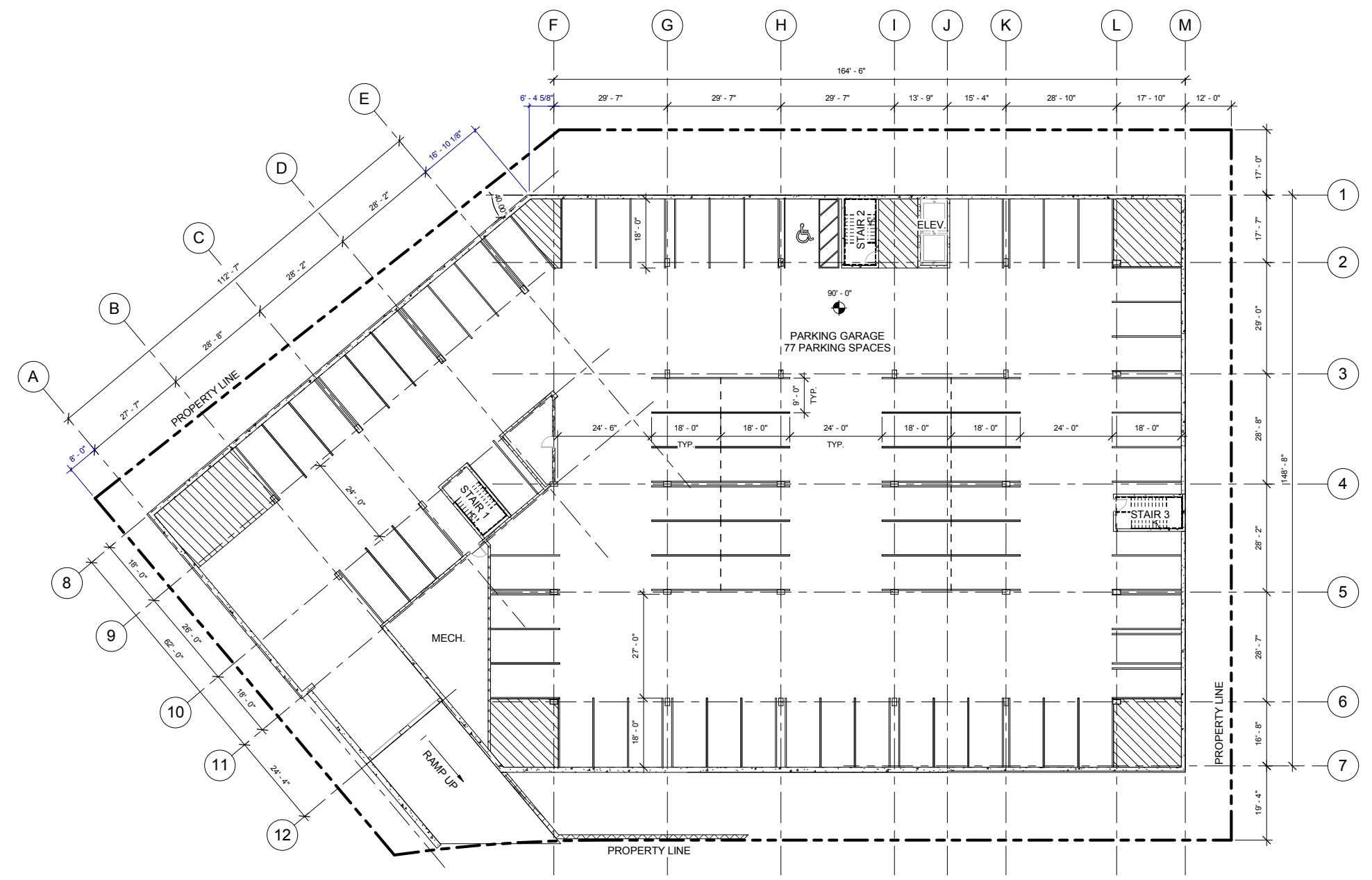
A031

ARCHITECT'S PROJECT NUMBER Project Number

- GENERAL NOTES - OVERALL BUILDING PLANS**
- DIMENSIONS ARE TO OUTSIDE OF STUD WALLS, CONCRETE WALLS, CMU, OR CENTERLINE OF TENANT SEPARATION WALLS U.N.O.
 - REFER TO WALL ASSEMBLY PAGES FOR WALL ASSEMBLY INFO.
 - REFER TO CODE ANALYSIS SHEETS FOR EXITING INFO.
 - WINDOW AND DOOR DIMENSIONS ARE TO CENTERLINE OF WINDOWS AND DOORS
 - ALL MATERIAL TRANSITIONS OCCUR AT INSIDE CORNERS, TYP. U.N.O.
 - REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR MATERIAL LOCATIONS
 - PROVIDE SHEET VINYL FLOORING AT ALL MECHANICAL CLOSETS, ELECTRICAL/TELECOM CLOSETS, WATER HEATER CLOSETS, AND AHU CLOSETS.
 - PROVIDE SEALED CONCRETE FLOORING AT ALL MECHANICAL CLOSETS, ELECTRICAL/TELECOM CLOSETS, WATER HEATER CLOSETS, AND AHU CLOSETS ON B1-R2.

DILLON GATEWAY

LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO



THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEMS MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED.

No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
OVERALL PLAN - LEVEL B1

SHEET NUMBER
A101.11

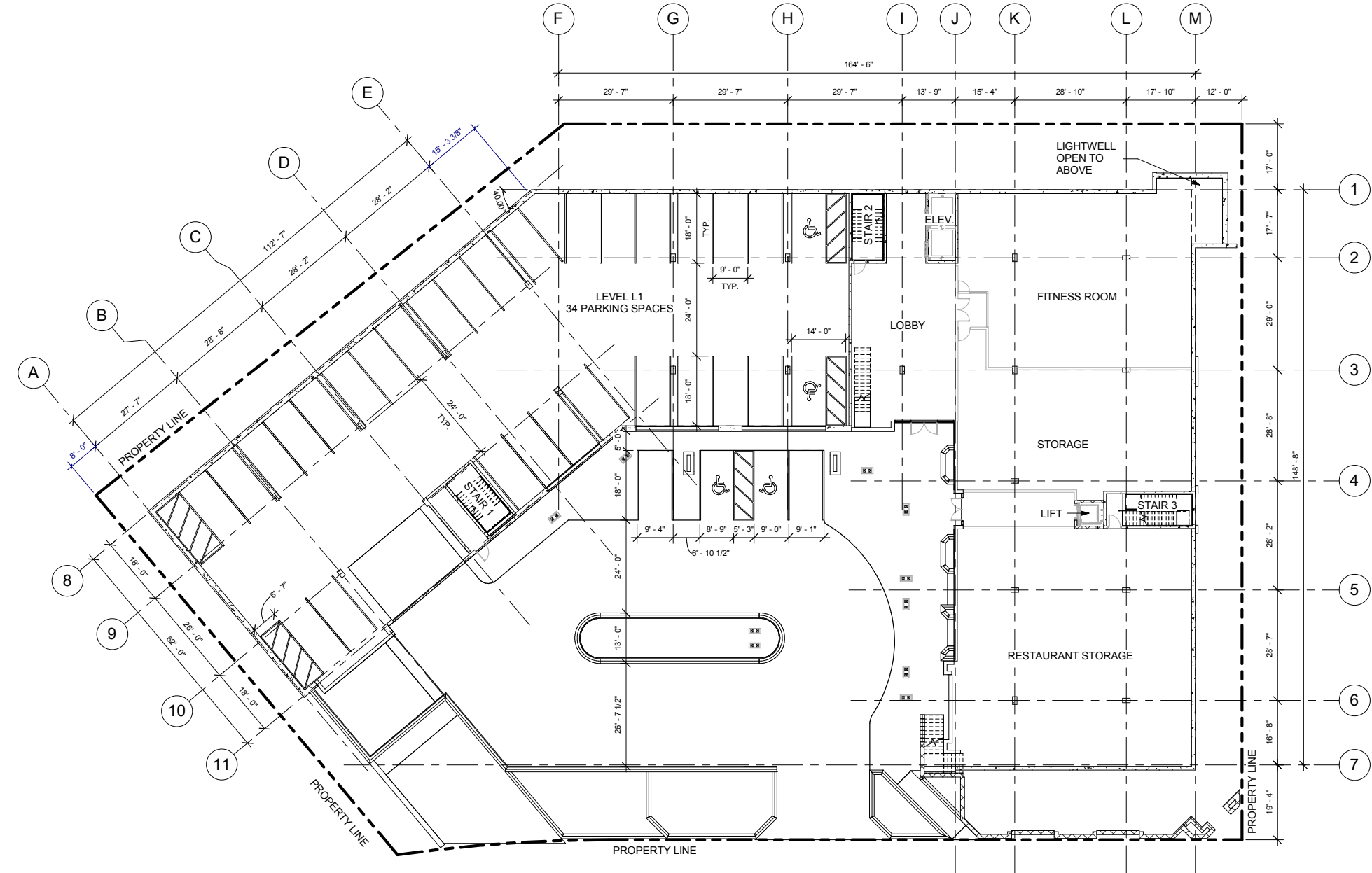
ARCHITECT'S PROJECT NUMBER Project Number

1
A101.11 **OVERALL - LEVEL B1**
1/16" = 1'-0"



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1 OVERALL - LEVEL L1
A101.12 1/16" = 1'-0"

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No.	Description	Date

CURRENT PHASE
SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

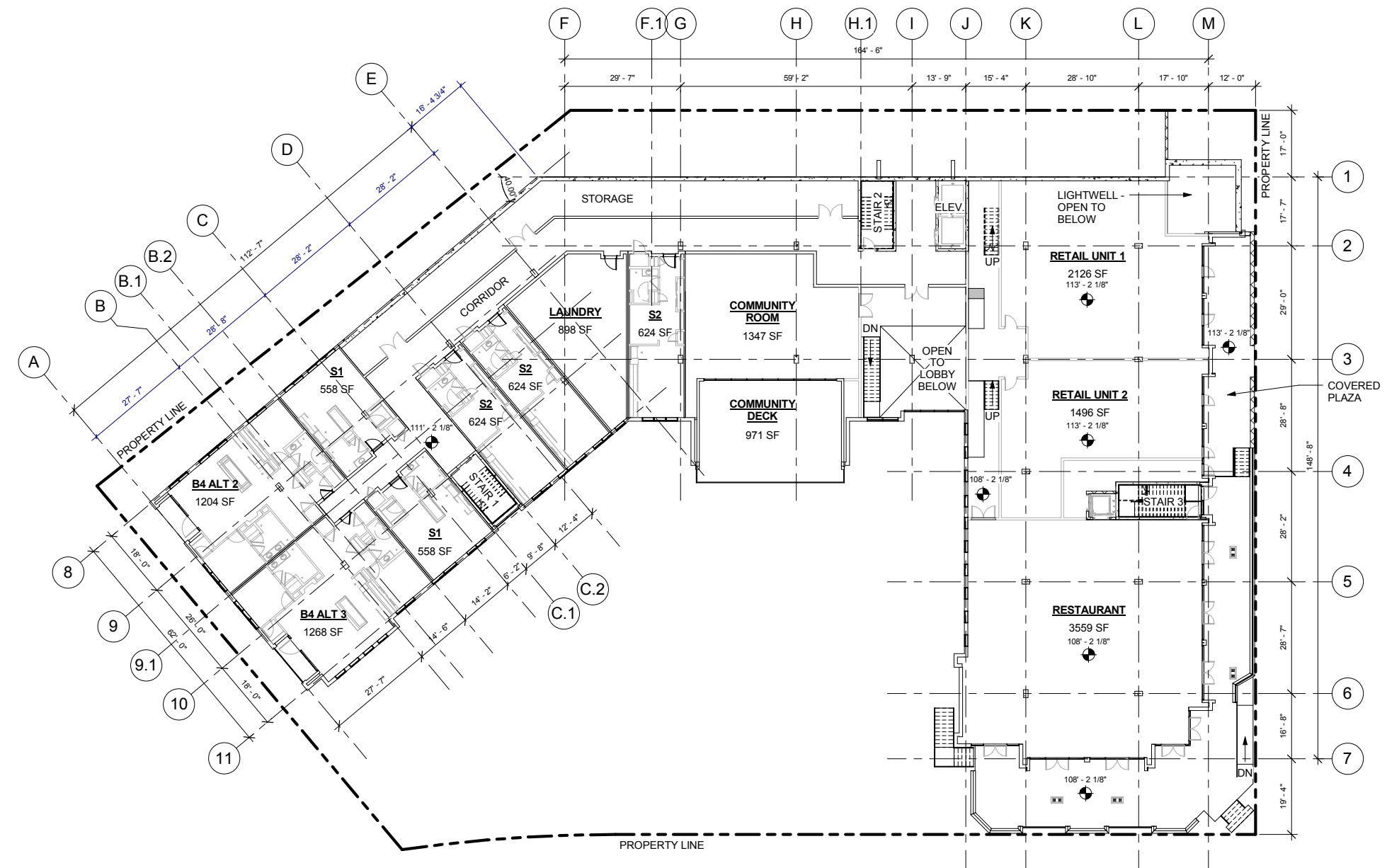
SHEET TITLE
OVERALL PLAN - LEVEL L1

SHEET NUMBER

A101.12

ARCHITECT'S PROJECT NUMBER Project Number

- GENERAL NOTES - OVERALL BUILDING PLANS**
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1 OVERALL - LEVEL R1
A101.13 1/16" = 1'-0"

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No.	Description	Date

CURRENT PHASE
SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
OVERALL PLAN - LEVEL R1

SHEET NUMBER
A101.13

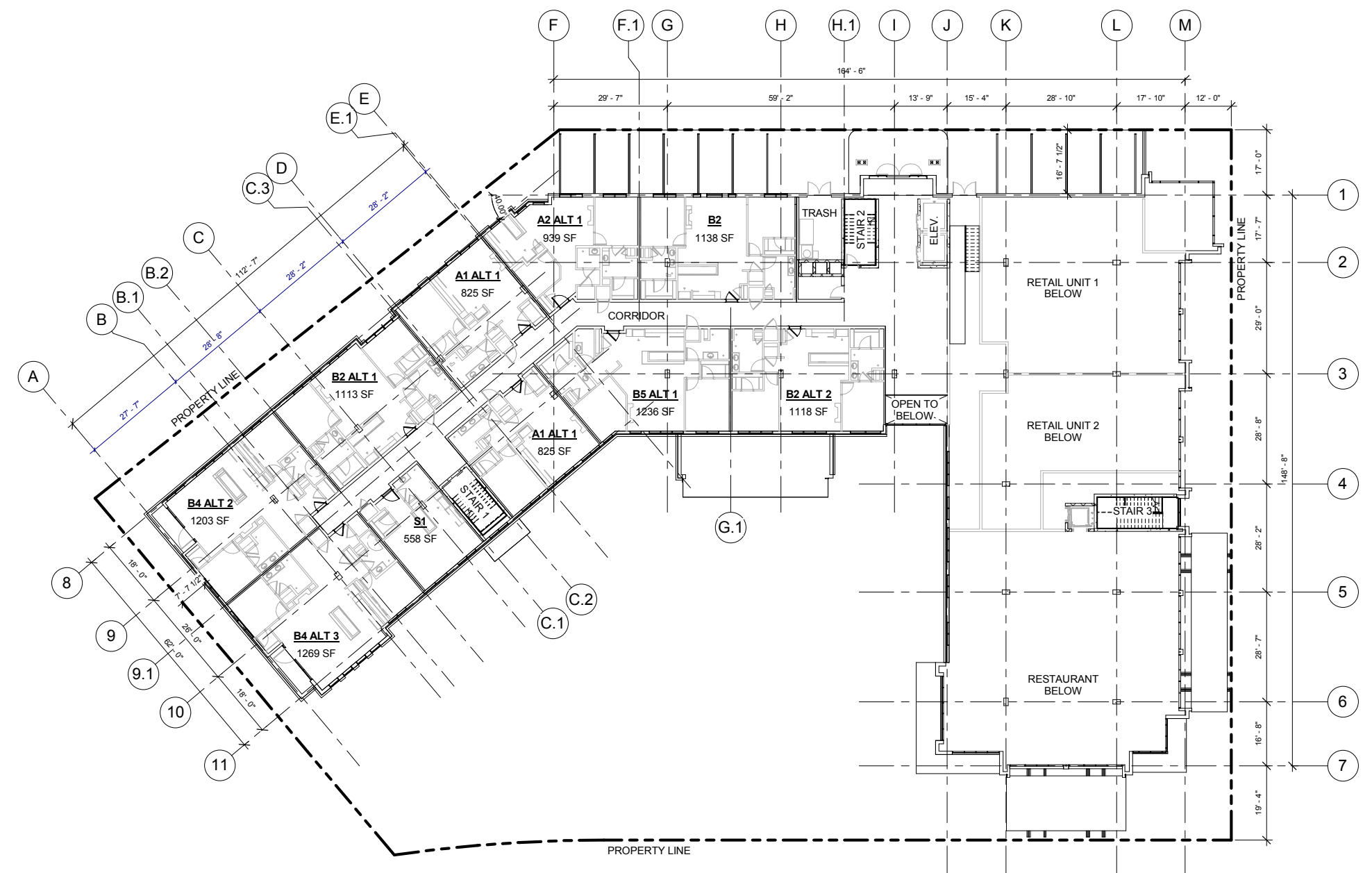
ARCHITECT'S PROJECT NUMBER Project Number

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DILLON GATEWAY

LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO



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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE

OVERALL PLAN - LEVEL R2

SHEET NUMBER

A101.14

ARCHITECT'S PROJECT NUMBER Project Number

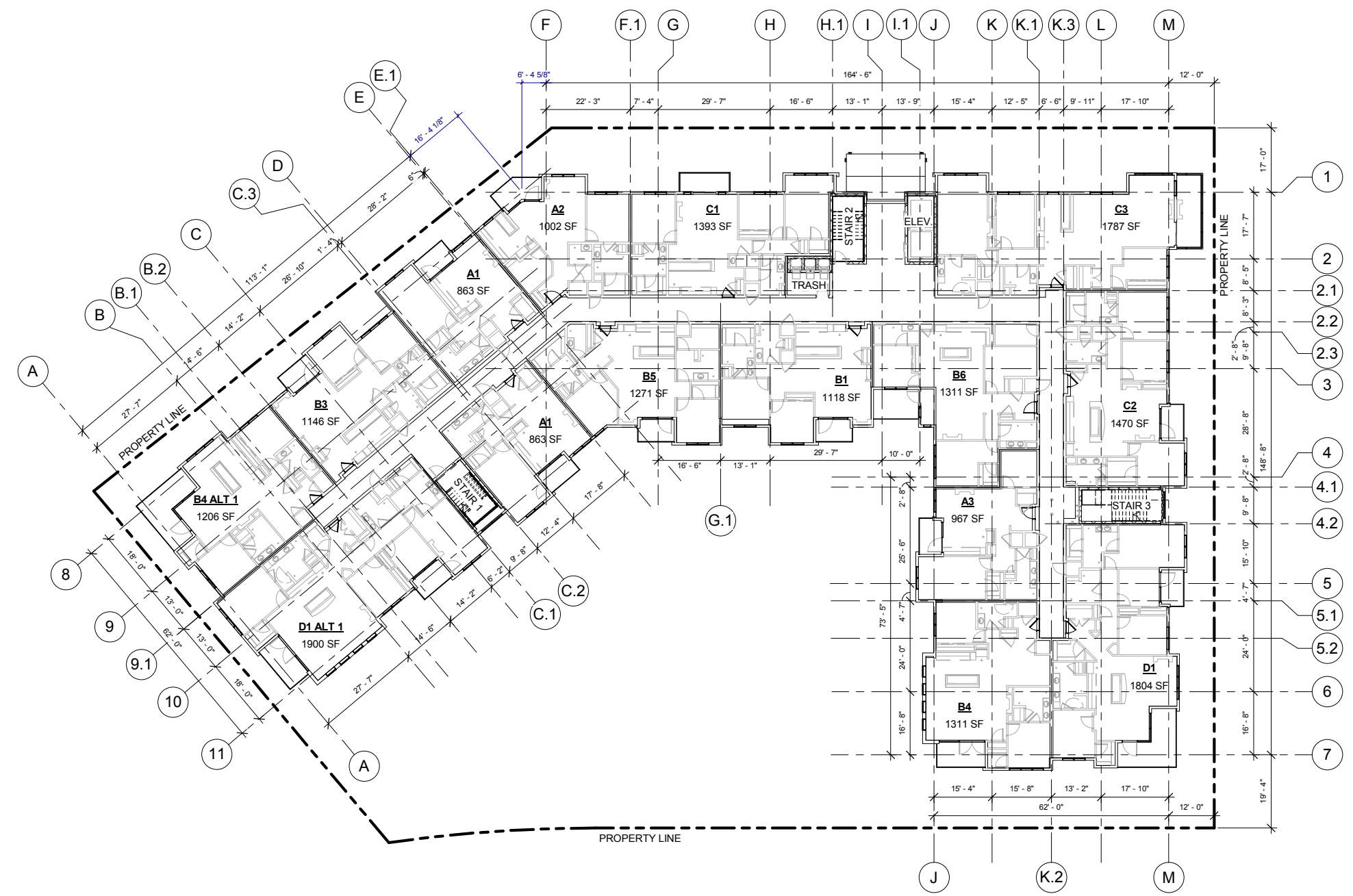
1 OVERALL - LEVEL R2
A101.14 1/16" = 1'-0"



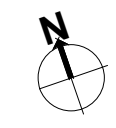
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 8. PROVIDE SEALED CONCRETE FLOORING AT ALL MECHANICAL CLOSETS, ELECTRICAL/TELECOM CLOSETS, WATER HEATER CLOSETS, AND AHU CLOSETS ON B1-R2.



1 OVERALL - LEVEL R3
A101.15 1/16" = 1'-0"



DILLON GATEWAY

LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO

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No.	Description	Date
CURRENT PHASE		
SCHEMATIC DESIGN		
ISSUE DATE		
06/20/16 PROGRESS		
KEY PLAN		
SHEET TITLE		
OVERALL PLAN - LEVEL R3		
SHEET NUMBER		
A101.15		
ARCHITECT'S PROJECT NUMBER Project Number		

6/7/2016 4:20:04 PM
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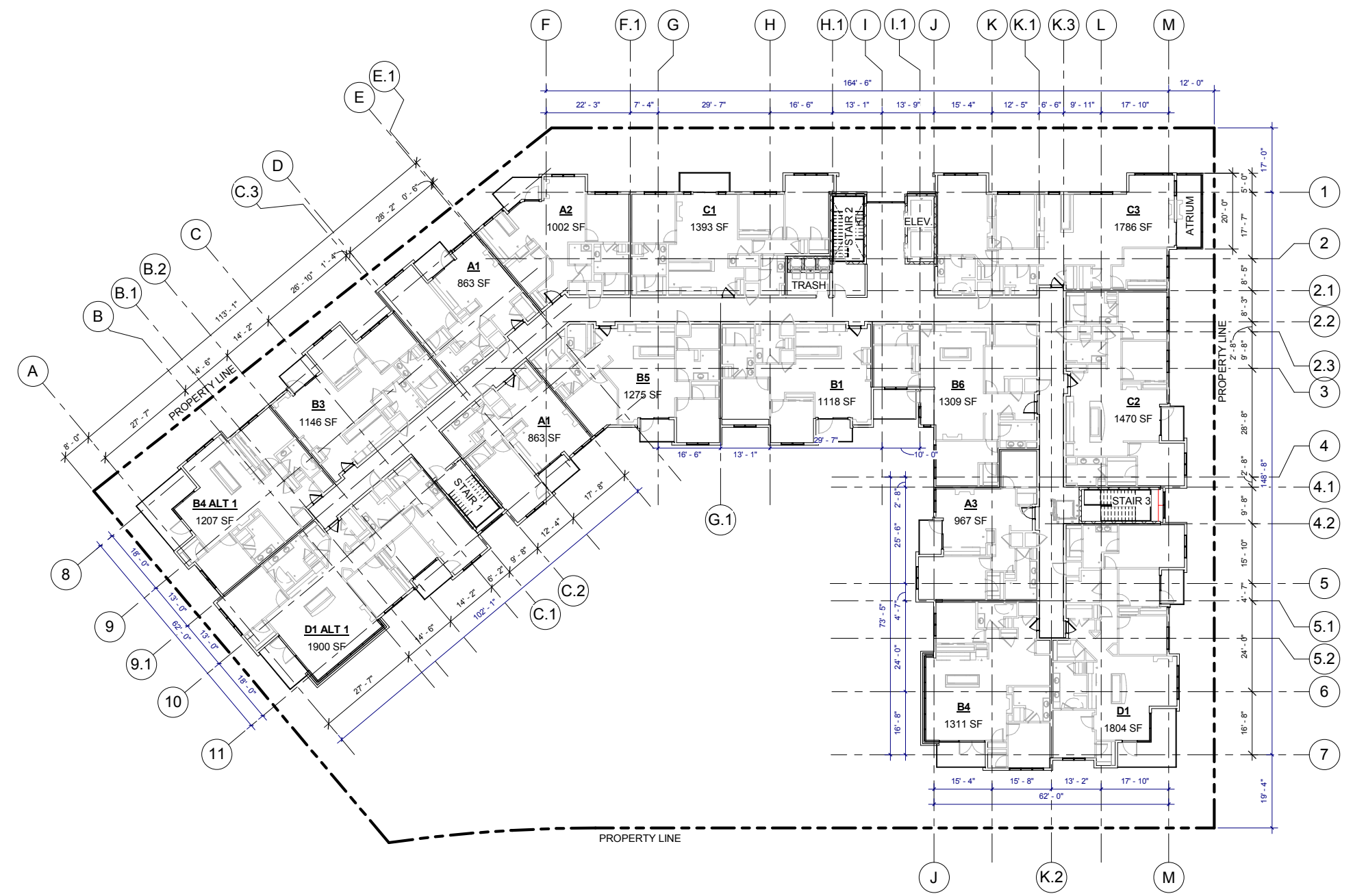
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DILLON GATEWAY

240 Lake Dillon Dr.
Dillon, CO 80435



6/17/2016 4:29:16 PM



DILLON GATEWAY
LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO

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No.	Description	Date

CURRENT PHASE
SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
OVERALL PLAN - LEVEL R5

SHEET NUMBER
A101.17

ARCHITECT'S PROJECT NUMBER Project Number

1 OVERALL - LEVEL R5
A101.17 1/16" = 1'-0"



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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
**ENLARGED UNIT PLANS
- UNIT S1**

SHEET NUMBER

A301

ARCHITECT'S PROJECT NUMBER Project Number

KEYNOTES - UNITS

#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

KEYNOTES - TYPE 'B' ACCESSIBILITY

#	TYPE 'B' ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901. LAVATORIES RE: 7/A901. TUBS RE: 8 AND 12/A901. SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2.2, RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND

- ▷ CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
- ⇒ INDICATES FORWARD OR PARALLEL APPROACH

UNIT PLAN GENERAL NOTES

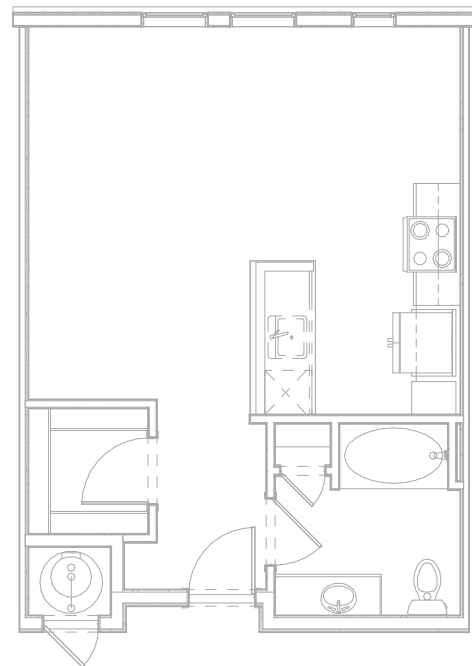
- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
- REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
- ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A950
- DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O.
- DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.
- ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP. U.N.O.
- SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
- MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH.
- ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O.
- ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O.
- WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
- ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O.
- PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER.
- PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
- FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT S1

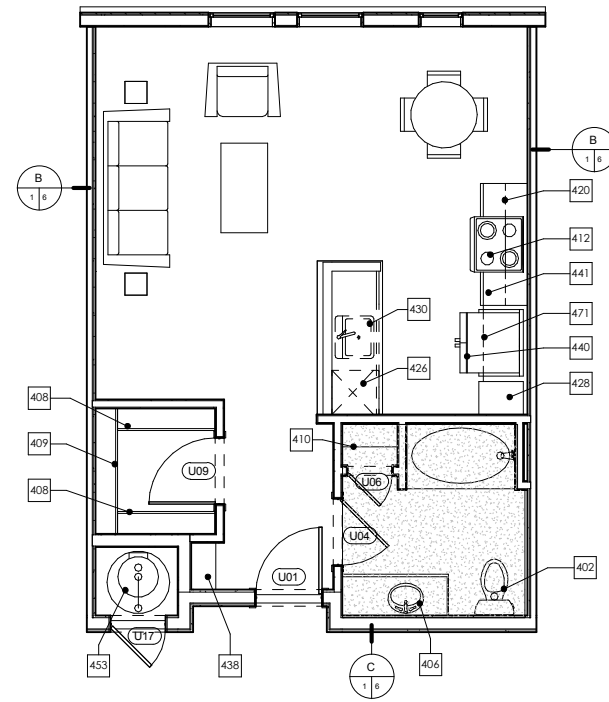
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
S1	STUDIO	558 SF	3

UNIT PLAN LEGEND

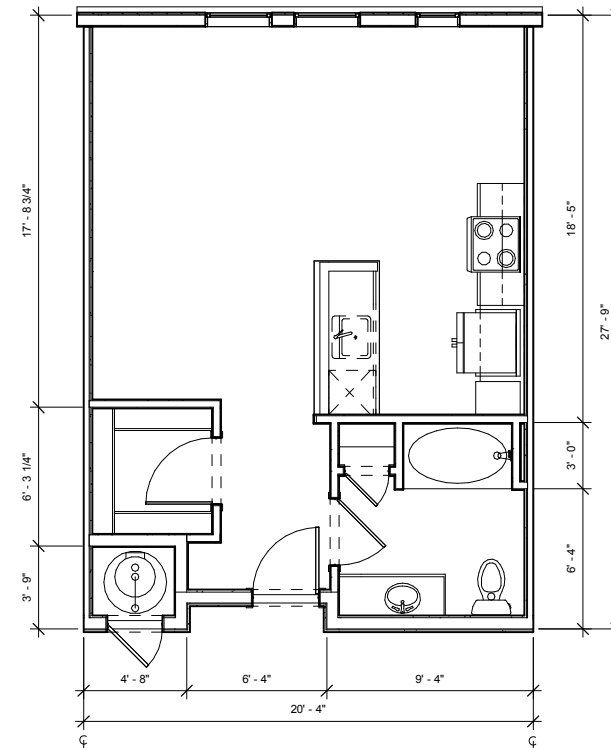
- FINISH 1 FLOOR TRANSITION
- FINISH 2
- CPT CARPET
- TL TILE
- VP VINYL
- PLANK PLANK
- VS SHEET VINYL
- PC POLISHED CONCRETE
- 00 DOOR TAG
- INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
- INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
- INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.



3 UNIT S1 ACCESSIBILITY PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



2 UNIT S1 DETAIL PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT S1 DIMENSION PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
**ENLARGED UNIT PLANS
- UNIT S2**

SHEET NUMBER

A302

ARCHITECT'S PROJECT NUMBER Project Number

UNIT S2			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
S2	STUDIO	624 SF	3

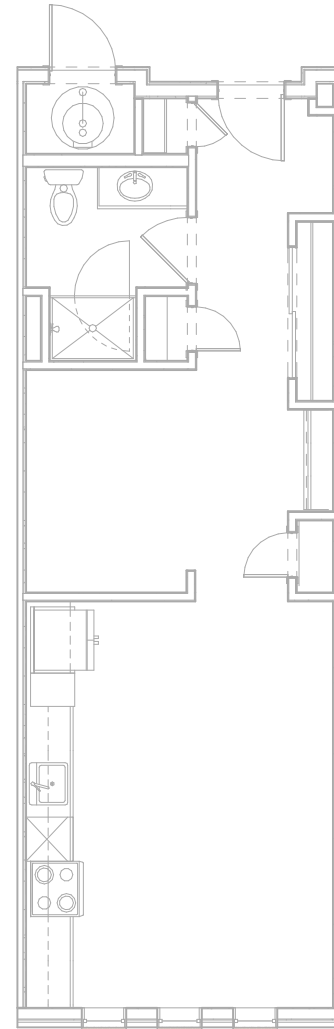
UNIT PLAN LEGEND	
FINISH 1	FLOOR TRANSITION
FINISH 2	
CPT	CARPET
TL	TILE
VP	VINYL
PLANK	
VS	SHEET VINYL
PC	POLISHED CONCRETE
00	DOOR TAG
[Symbol]	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
[Symbol]	INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
[Symbol]	INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.

ACCESSIBILITY LEGEND	
[Symbol]	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
[Symbol]	INDICATES FORWARD OR PARALLEL APPROACH

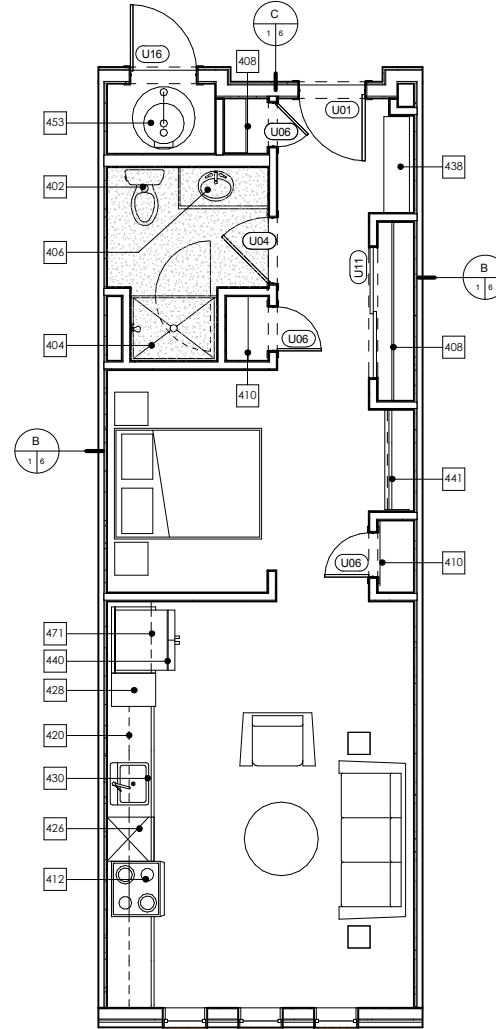
- UNIT PLAN GENERAL NOTES**
- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
 - REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
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KEYNOTES - TYPE 'B' ACCESSIBILITY	
#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901.
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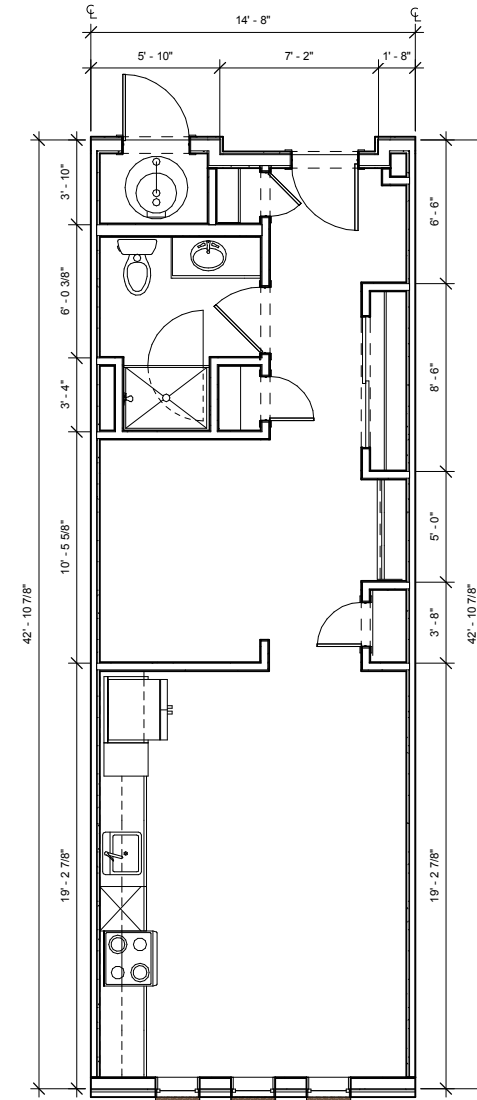
KEYNOTES - UNITS	
#	Keynote Text
402	TOILET - SHALL MEASURE 16" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH, RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE



3 UNIT S2 ACCESSIBILITY PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



2 UNIT S2 DETAIL PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT S2 DIMENSION PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEMS MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED.

No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
**ENLARGED UNIT PLANS
- UNIT A1**

SHEET NUMBER

A303

ARCHITECT'S PROJECT NUMBER Project Number

#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

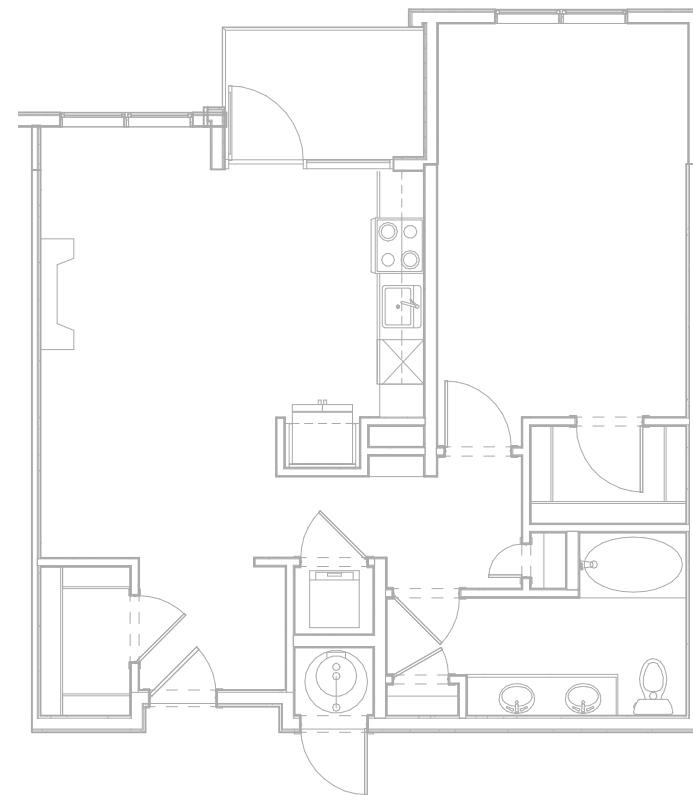
#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2, WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2.2, RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND	
	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	INDICATES FORWARD OR PARALLEL APPROACH

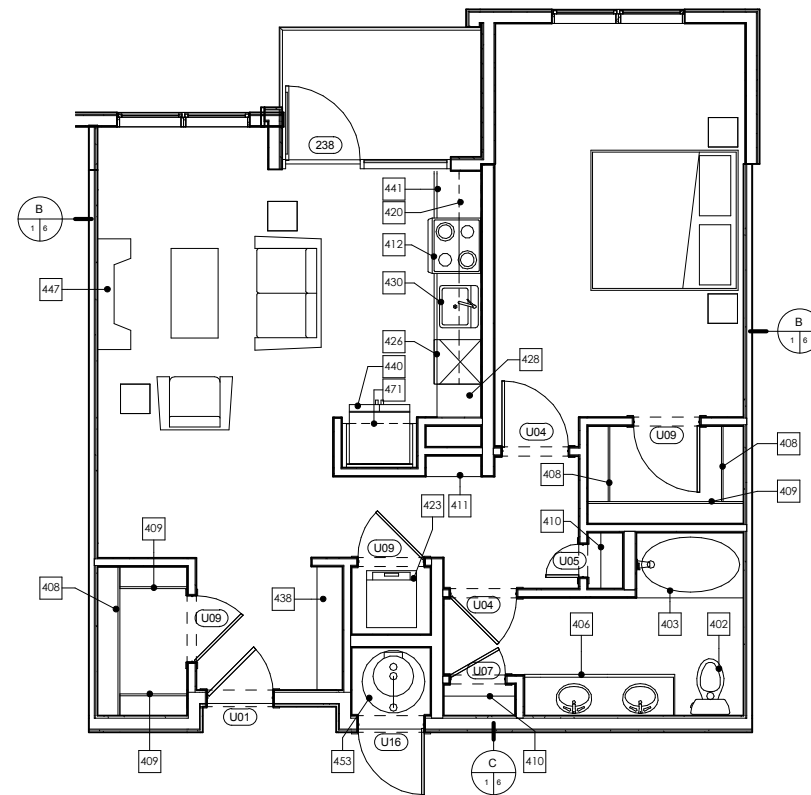
- UNIT PLAN GENERAL NOTES**
- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
 - REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
 - ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B, RE: A950
 - DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O.
 - DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.
 - ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP. U.N.O.
 - SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
 - MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH.
 - ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O.
 - ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O.
 - WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
 - ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O.
 - PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER.
 - PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
 - FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT A1			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
A1	1 BR 1 BA	863 SF	6
A1 ALT 1	1 BR 1 BA	825 SF	2

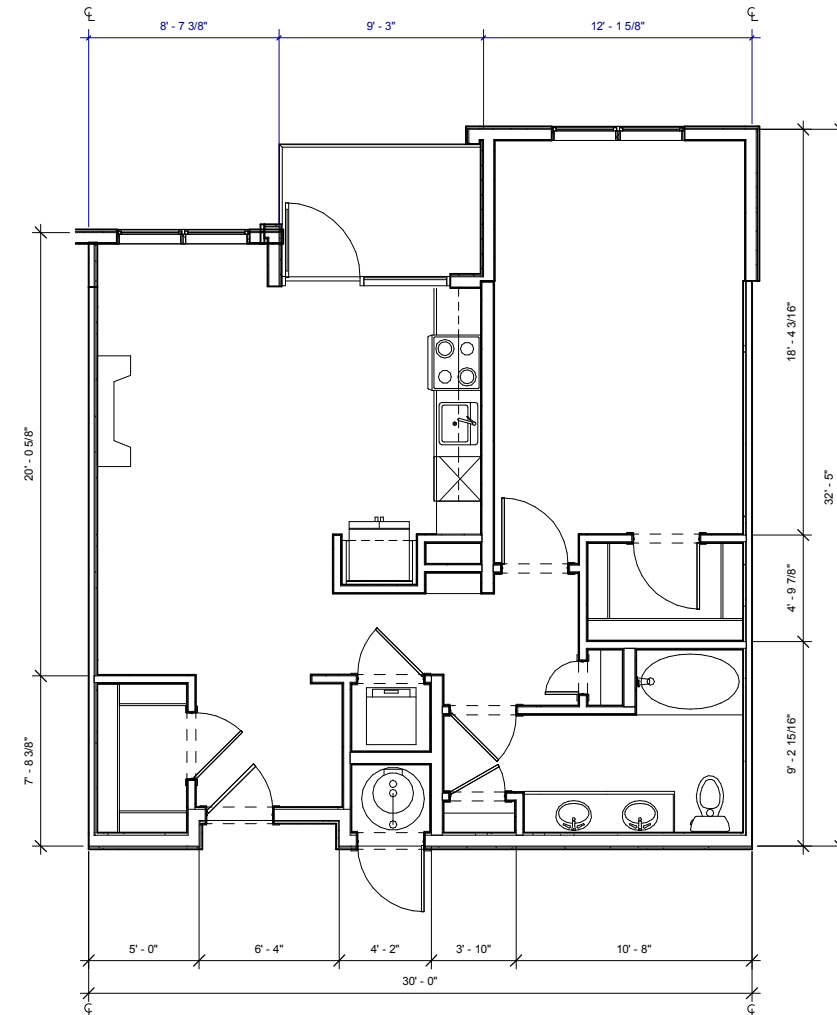
UNIT PLAN LEGEND	
FINISH 1	FLOOR TRANSITION
FINISH 2	
CPT	CARPET
TL	TILE
VP	VINYL
VS	SHEET VINYL
PC	POLISHED CONCRETE
	DOOR TAG
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
	INDICATES TEMPERED GLASS, RE: UNIT FLOOR PLANS FOR LOCATIONS.
	INDICATES GRAB BAR BLOCKING, RE: UNIT FLOOR PLANS FOR LOCATIONS.



3 UNIT A1 ACCESSIBILITY PLAN
A303
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



2 UNIT A1 DETAIL PLAN
A303
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT A1 DIMENSION PLAN
A303
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

DILLON GATEWAY
LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO

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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
**ENLARGED UNIT PLANS
- UNIT A1 ALT 1**

SHEET NUMBER

A304

ARCHITECT'S PROJECT NUMBER Project Number

#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

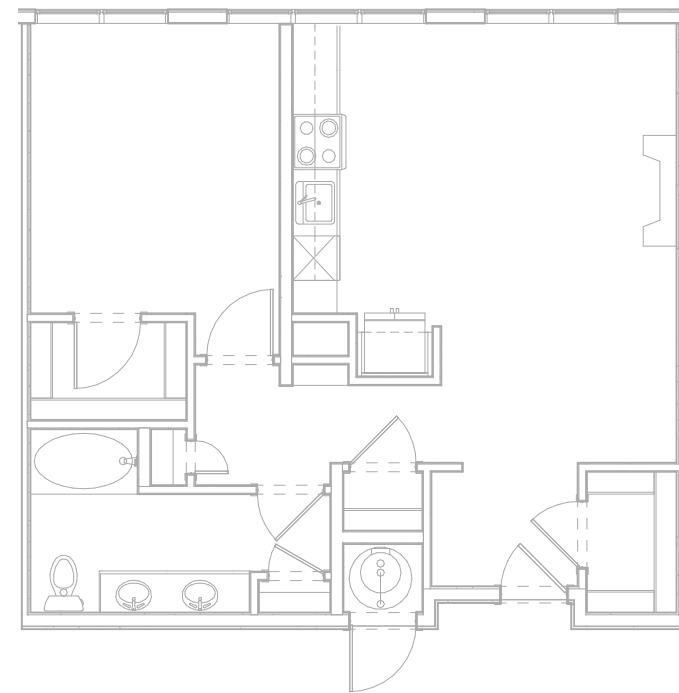
#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901. LAVATORIES RE: 7/A901. TUBS RE: 8 AND 12/A901. SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
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B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND	
	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	INDICATES FORWARD OR PARALLEL APPROACH

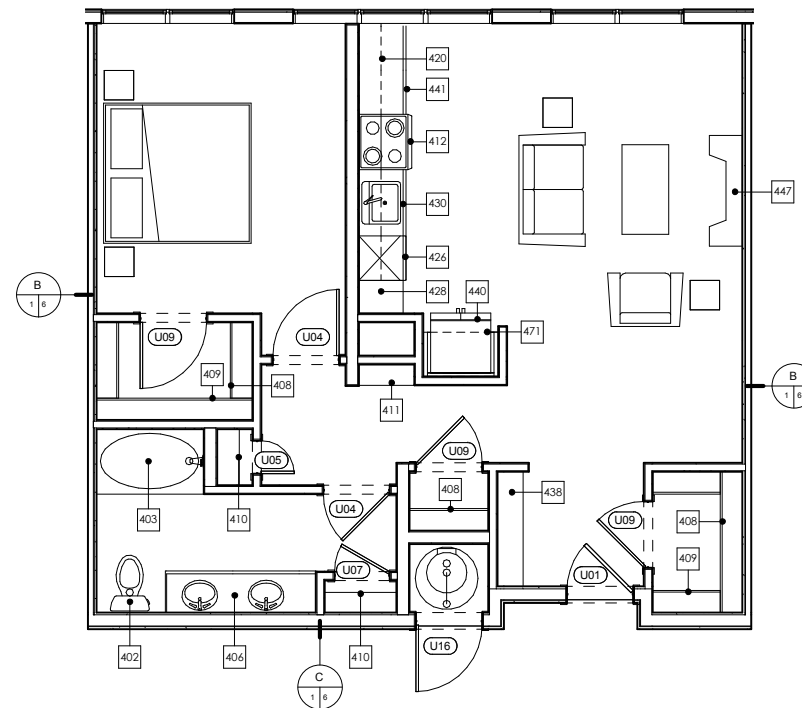
- UNIT PLAN GENERAL NOTES**
- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
 - REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
 - ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A050
 - DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.
 - ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP. U.N.O.
 - SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
 - MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O. ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
 - ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O.
 - PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER.
 - PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
 - FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT A1 ALT 1			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURANCES
A1 ALT 1	1 BR 1 BA	825 SF	2

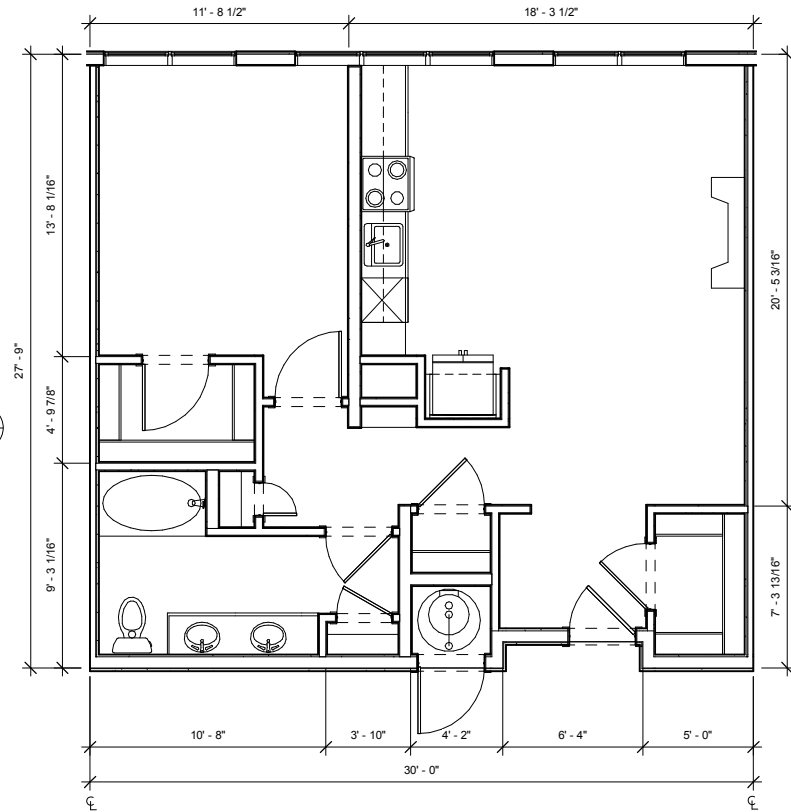
UNIT PLAN LEGEND	
FINISH 1	FLOOR TRANSITION
FINISH 2	
CPT	CARPET
TL	TILE
VP	VINYL
PLANK	
VS	SHEET VINYL
PC	POLISHED CONCRETE
	DOOR TAG
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF.
	INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
	INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.



3 UNIT A1 ALT 1 ACCESSIBILITY PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



2 UNIT A1 ALT 1 DETAIL PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT A1 ALT 1 DIMENSION PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE

06/20/16 PROGRESS

KEY PLAN

SHEET TITLE

**ENLARGED UNIT PLANS
- UNIT A2**

SHEET NUMBER

A305

ARCHITECT'S PROJECT NUMBER Project Number

#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
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424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

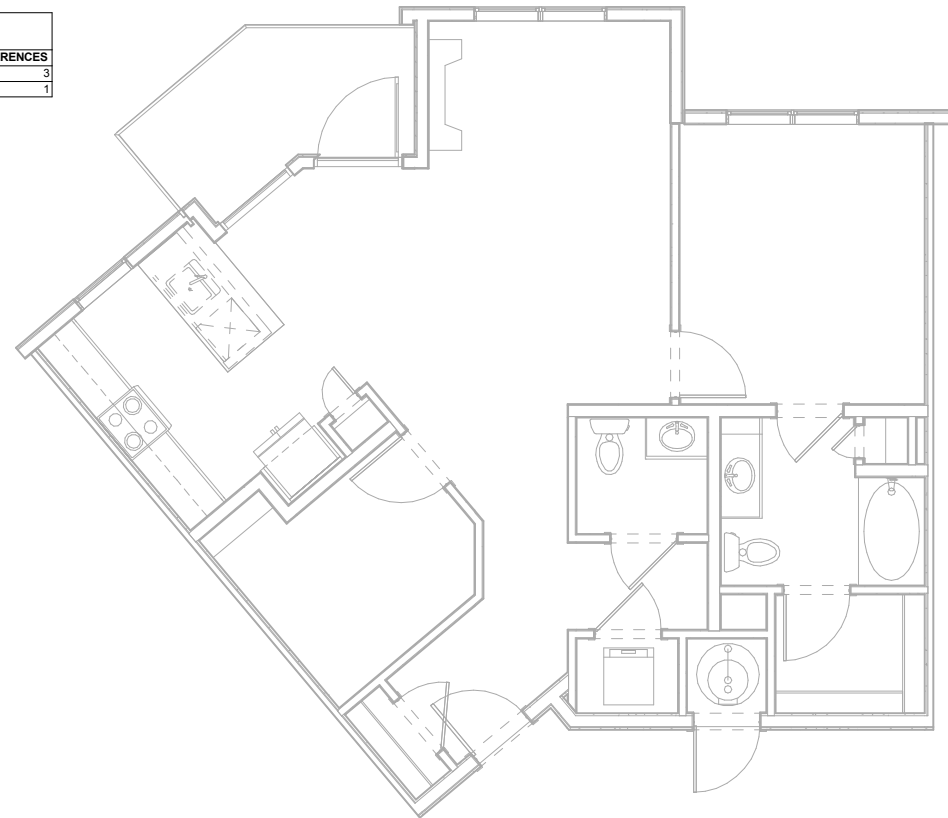
#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901. LAVATORIES RE: 7/A901. TUBS RE: 8 AND 12/A901. SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2.2, RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND	
	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	INDICATES FORWARD OR PARALLEL APPROACH

UNIT PLAN GENERAL NOTES	
1.	REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
2.	REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
3.	ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A050
4.	DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.
5.	ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP. U.N.O.
6.	SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
9.	MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH.
10.	ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O.
11.	ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O.
12.	WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
13.	ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O.
14.	PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER.
15.	PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
16.	FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

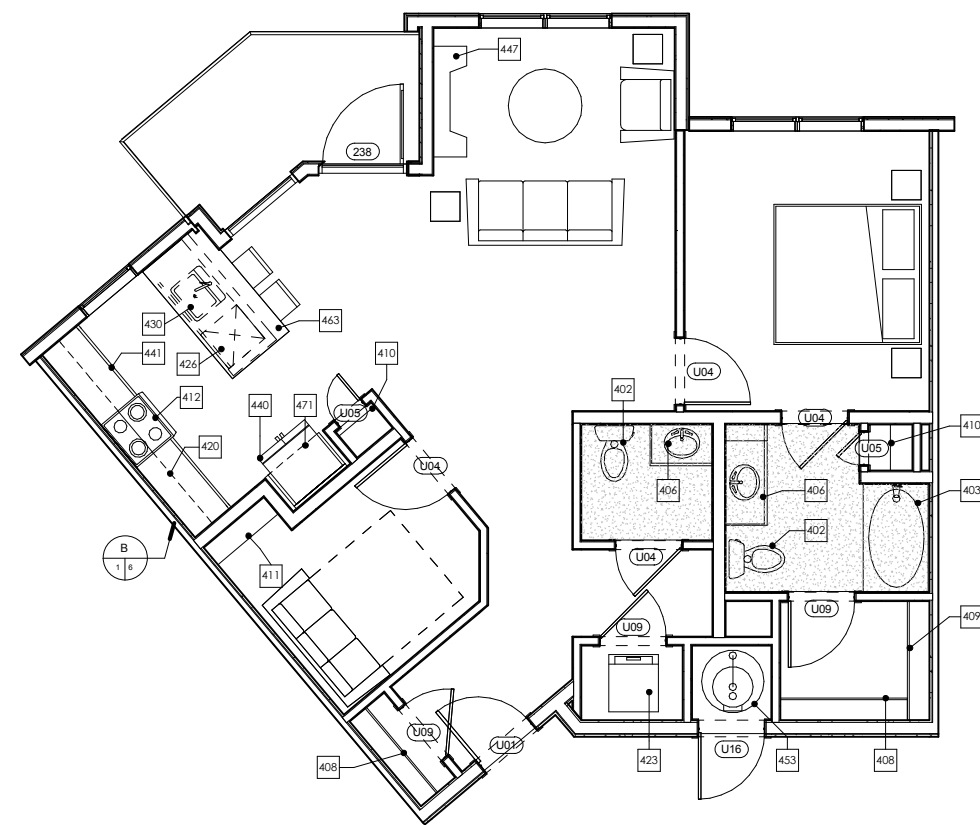
UNIT A2			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
A2	1 BR 1.5 BA DEN	1002 SF	3
A2 ALT 1	1 BR 1.5 BA DEN	939 SF	1

UNIT PLAN LEGEND	
FINISH 1	FLOOR TRANSITION
FINISH 2	
CPT	CARPET
TL	TILE
VP	VINYL
VS	SHEET VINYL
PC	POLISHED CONCRETE
	DOOR TAG
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
	INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
	INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.



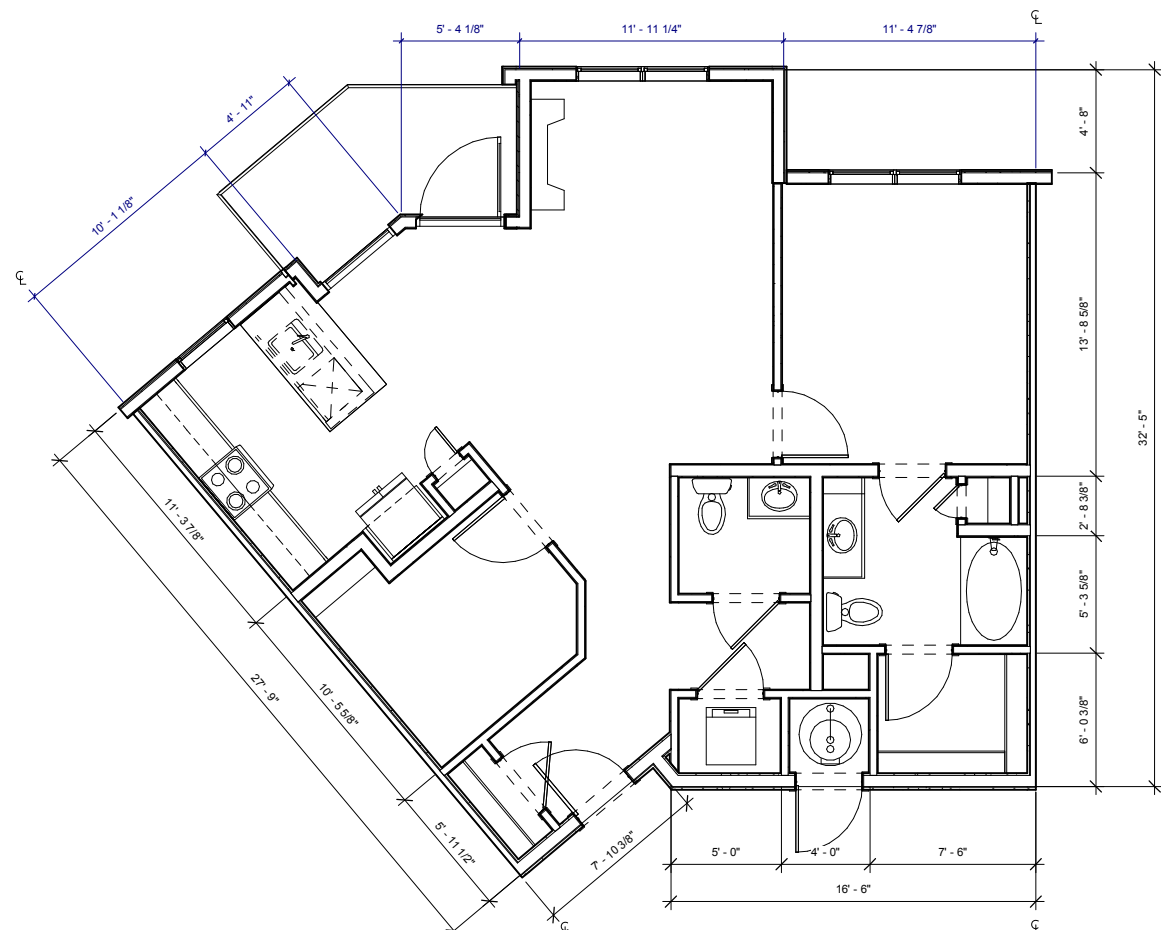
3 UNIT A2 ACCESSIBILITY PLAN
1/4" = 1'-0"

NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



2 UNIT A2 DETAIL PLAN
1/4" = 1'-0"

NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT A2 DIMENSION PLAN
1/4" = 1'-0"

NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
**ENLARGED UNIT PLANS
- UNIT A3**

SHEET NUMBER

A307

ARCHITECT'S PROJECT NUMBER Project Number

KEYNOTES - UNITS	
#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

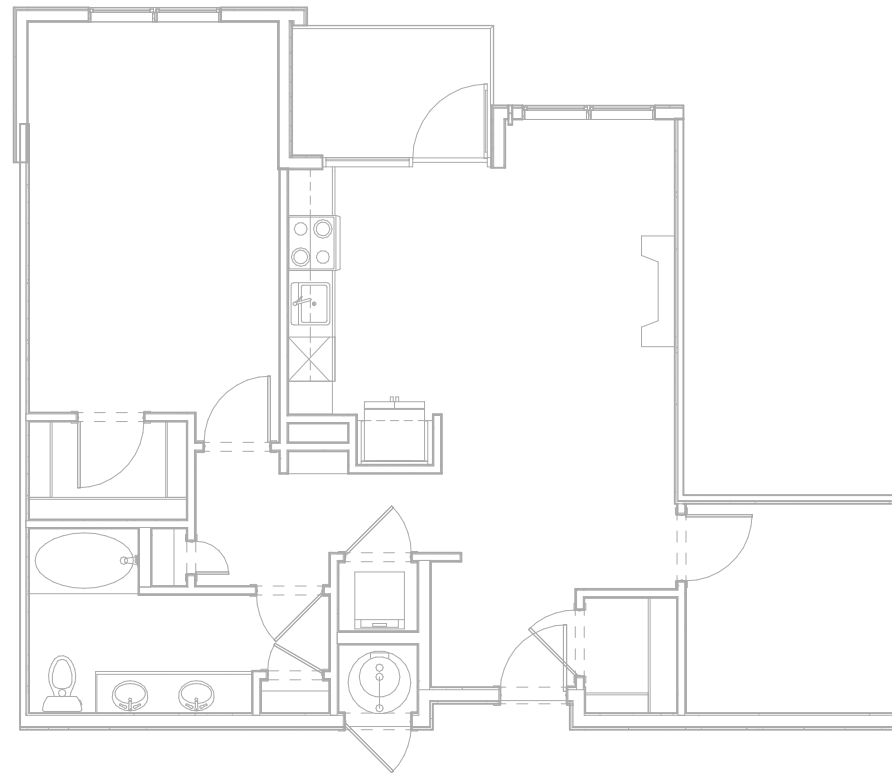
KEYNOTES - TYPE 'B' ACCESSIBILITY	
#	TYPE 'B' ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1. RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2. RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4. RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2. RE: 1-2, 5-7/A902.
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901. LAVATORIES RE: 7/A901. TUBS RE: 8 AND 12/A901. SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1. RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2.2. RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4. RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5. RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND	
	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	INDICATES FORWARD OR PARALLEL APPROACH

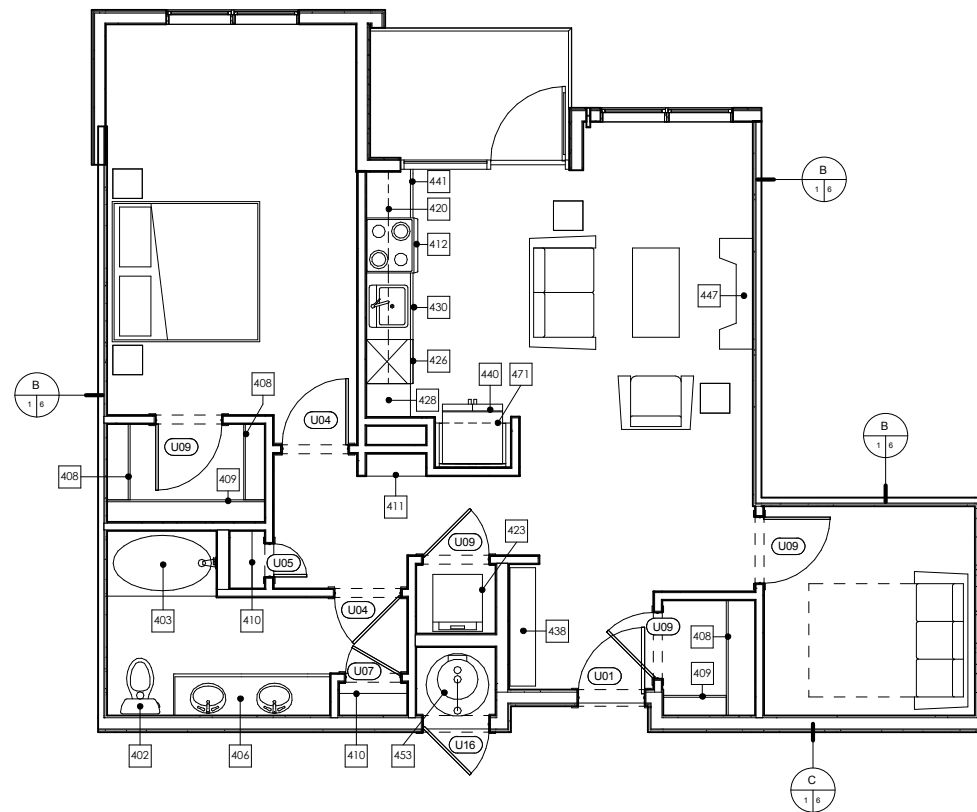
- UNIT PLAN GENERAL NOTES**
- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
 - REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
 - ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A950
 - DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL. U.N.O. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE. U.N.O.
 - ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL. TYP. U.N.O.
 - SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
 - MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C. 2X4. U.N.O.
 - ALL INTERIOR WALLS ARE 2X4 WALL TYPE D. U.N.O.
 - WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL. INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE. NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
 - ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES). U.N.O.
 - PROVIDE COVERINGS AT ALL UNIT WINDOWS. U.N.O. SPECIFICATION PER INTERIOR DESIGNER.
 - PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS. U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
 - FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT A3			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
A3	1 BR 1 BA DEN	967 SF	3

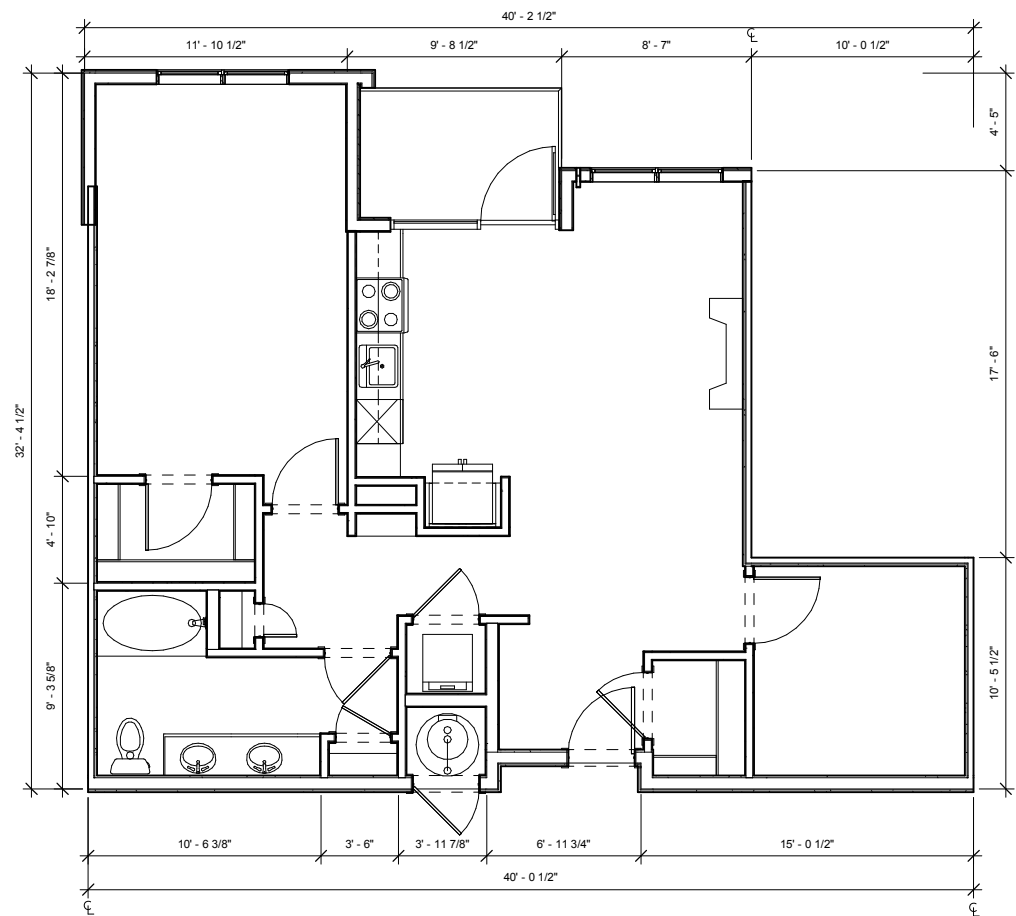
UNIT PLAN LEGEND	
FINISH 1	FLOOR TRANSITION
FINISH 2	
CPT	CARPET
TL	TILE
VP	VINYL
FLANK	SHEET VINYL
VS	
PC	POLISHED CONCRETE
	DOOR TAG
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
	INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
	INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.



3 UNIT A3 ACCESSIBILITY PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



2 UNIT A3 DETAIL PLAN
1/4" = 1'-0"
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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE

06/20/16 PROGRESS

KEY PLAN

SHEET TITLE

**ENLARGED UNIT PLANS
- UNIT B1**

SHEET NUMBER

A308

ARCHITECT'S PROJECT NUMBER Project Number

KEYNOTES - UNITS

#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: X/A700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

KEYNOTES - TYPE 'B' ACCESSIBILITY

#	TYPE 'B' ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
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B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

UNIT B1

UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B1	2 BR 2 BA	1118 SF	3

ACCESSIBILITY LEGEND

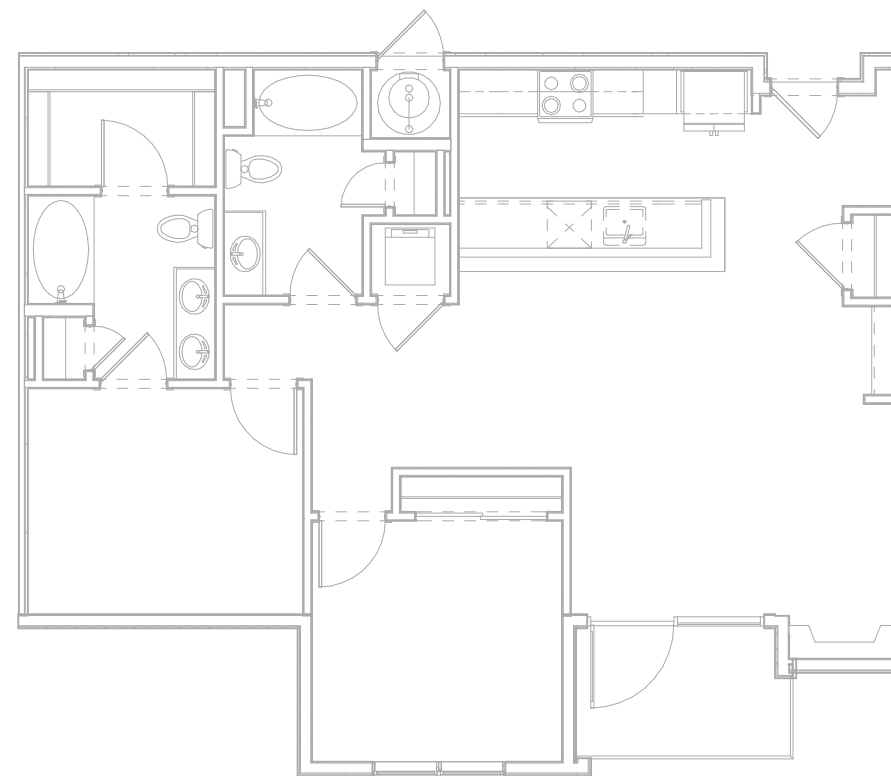
- ▷ CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
- ⇒ INDICATES FORWARD OR PARALLEL APPROACH

UNIT PLAN GENERAL NOTES

- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
- REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
- ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A950
- DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O.
- DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE. U.N.O.
- ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL. TYP. U.N.O.
- SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS
- ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
- MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH.
- ALL CORRIDOR WALLS ARE WALL TYPE C. 2X4. U.N.O.
- ALL INTERIOR WALLS ARE 2X4 WALL TYPE D. U.N.O.
- WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS
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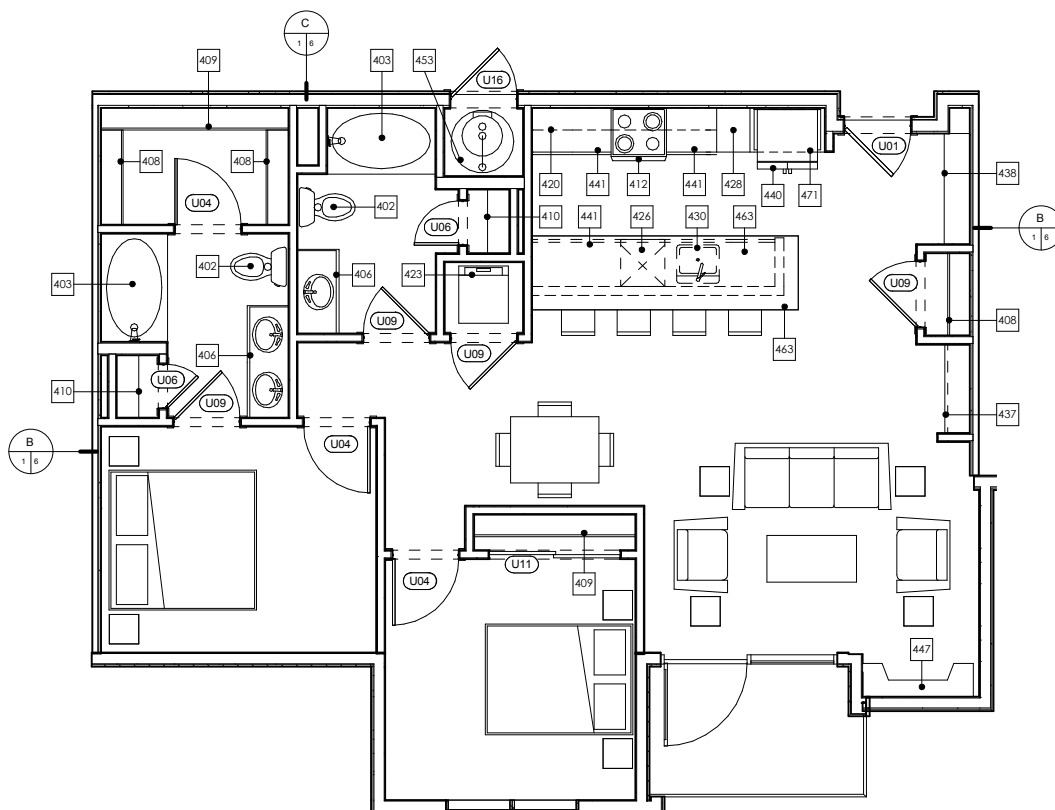
UNIT PLAN LEGEND

- FINISH 1 FLOOR TRANSITION
- FINISH 2
- CPT CARPET
- TL TILE
- VP VINYL
- PLANK VS SHEET VINYL
- PC POLISHED CONCRETE
- OO DOOR TAG
- INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
- INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
- INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.



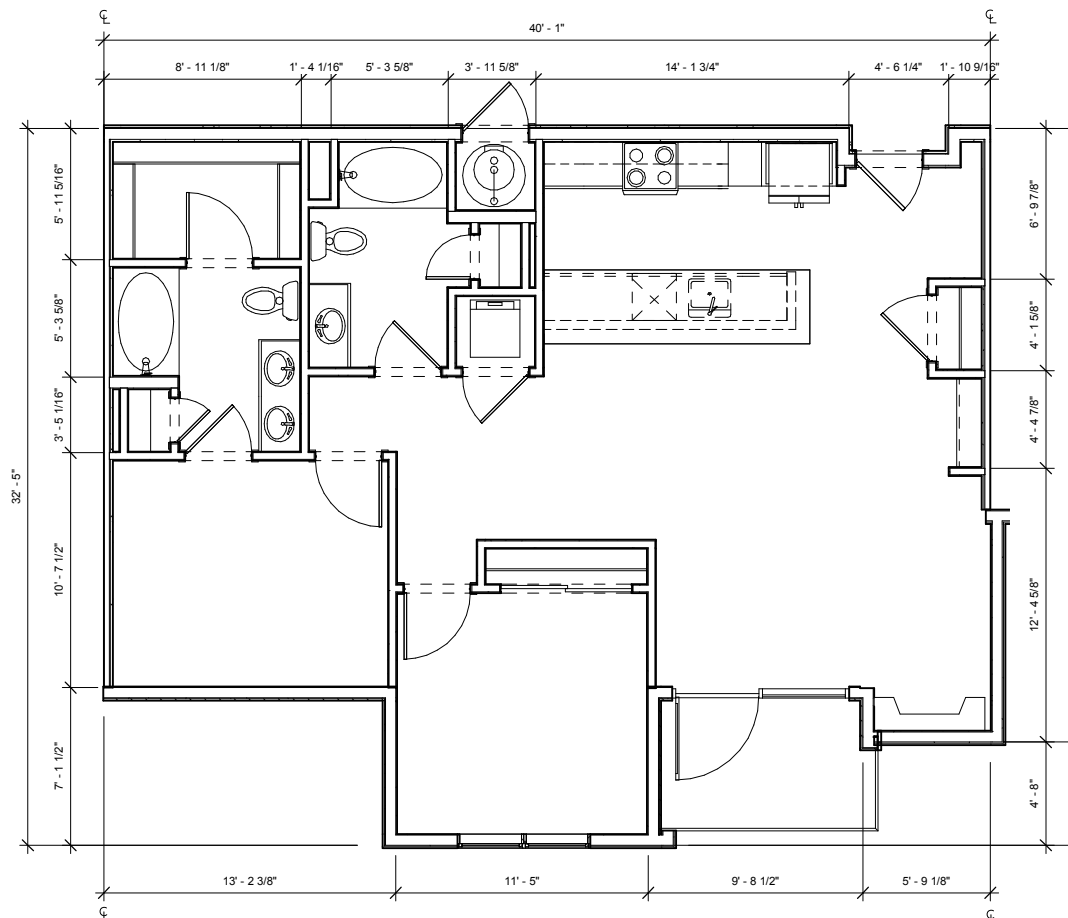
3 UNIT B1 ACCESSIBILITY PLAN

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2 UNIT B1 DETAIL PLAN

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DILLON GATEWAY
LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO

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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE

06/20/16 PROGRESS

KEY PLAN

SHEET TITLE

**ENLARGED UNIT PLANS
- UNIT B2**

SHEET NUMBER

A309

ARCHITECT'S PROJECT NUMBER Project Number

KEYNOTES - UNITS

#	Keynote Text
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409	2 RODS / 2 SHELVES
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411	5 SHELVES EXPOSED. RE: XIA700
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441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
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ACCESSIBILITY LEGEND

- ▶ CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
- ➡ INDICATES FORWARD OR PARALLEL APPROACH

UNIT PLAN GENERAL NOTES

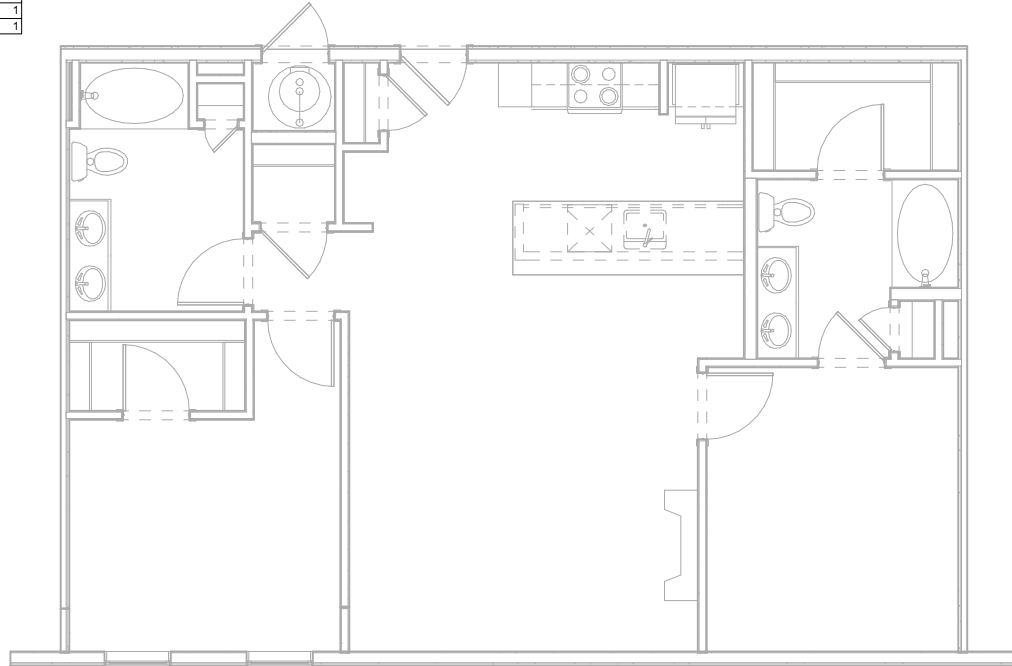
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UNIT B2

UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B2	2 BR 2 BA	1138 SF	1
B2 ALT 1	2 BR 2 BA	1113 SF	1
B2 ALT 2	2 BR 2 BA	1118 SF	1

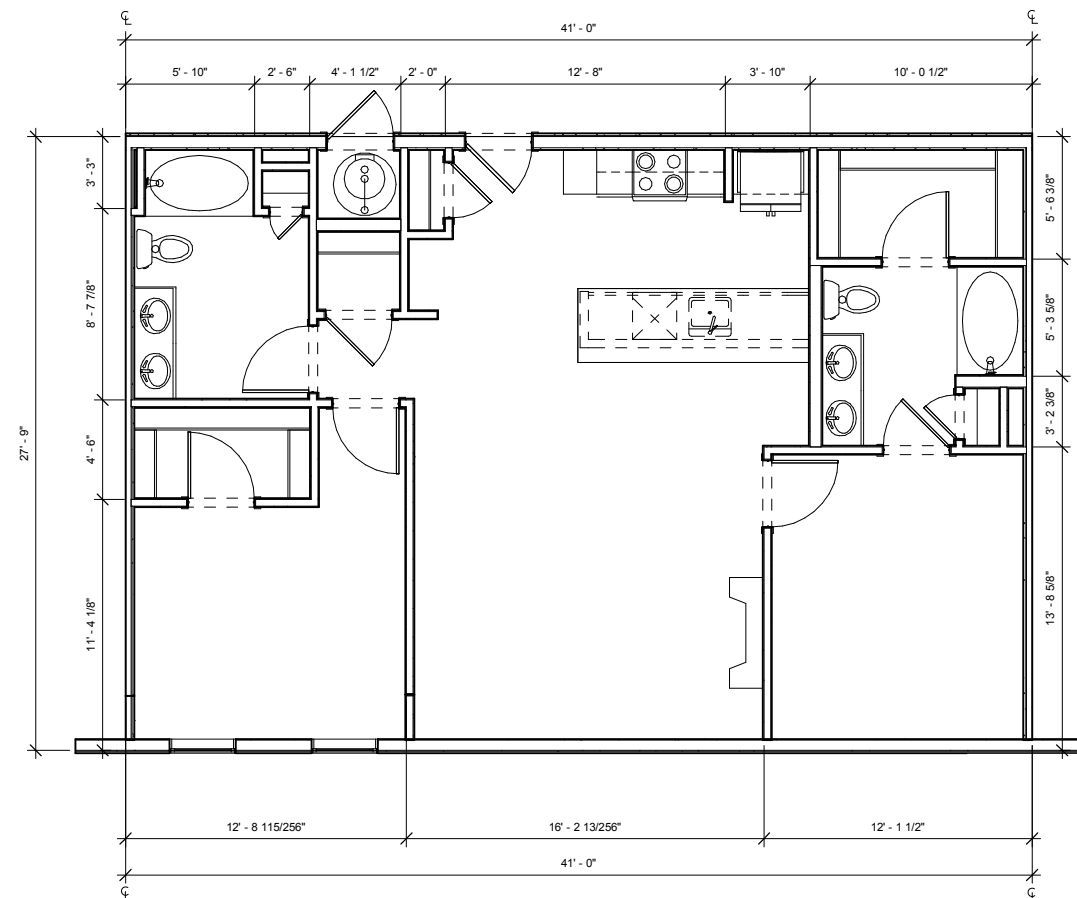
UNIT PLAN LEGEND

- FINISH 1 FLOOR TRANSITION
- FINISH 2
- CPT CARPET
- TL TILE
- VP VINYL
- PLANK
- VS SHEET VINYL
- PC POLISHED CONCRETE
- 00 DOOR TAG
- INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
- INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
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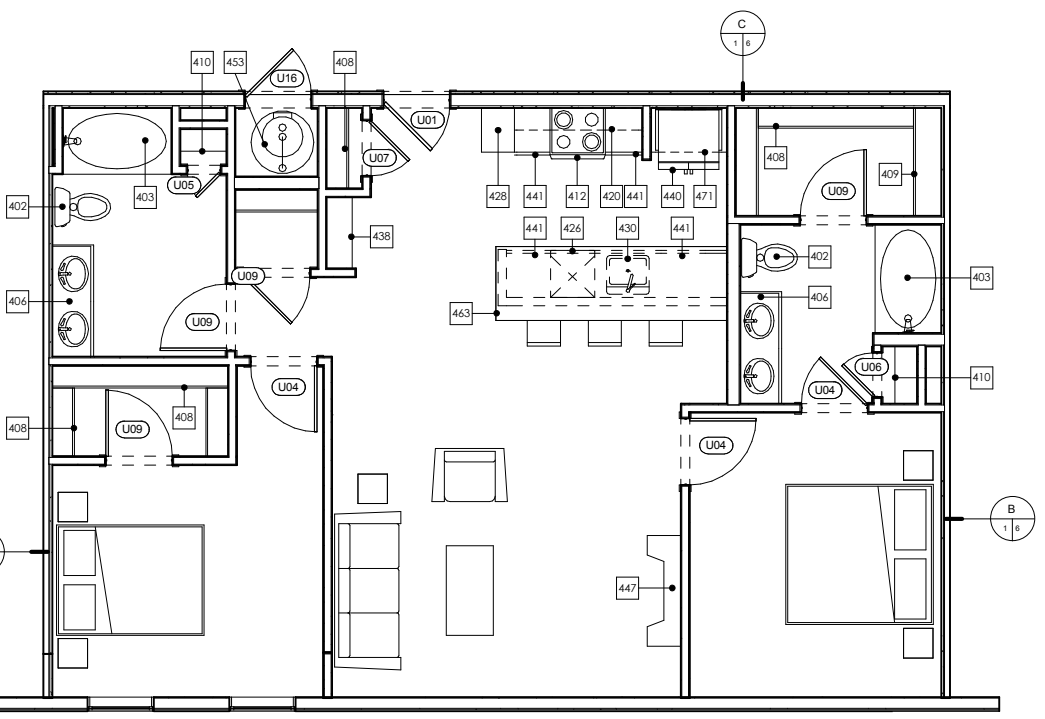
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No.	Description	Date

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ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
**ENLARGED UNIT PLANS
- UNIT B2 ALT 1**

SHEET NUMBER

A310

ARCHITECT'S PROJECT NUMBER Project Number

KEYNOTES - UNITS	
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423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

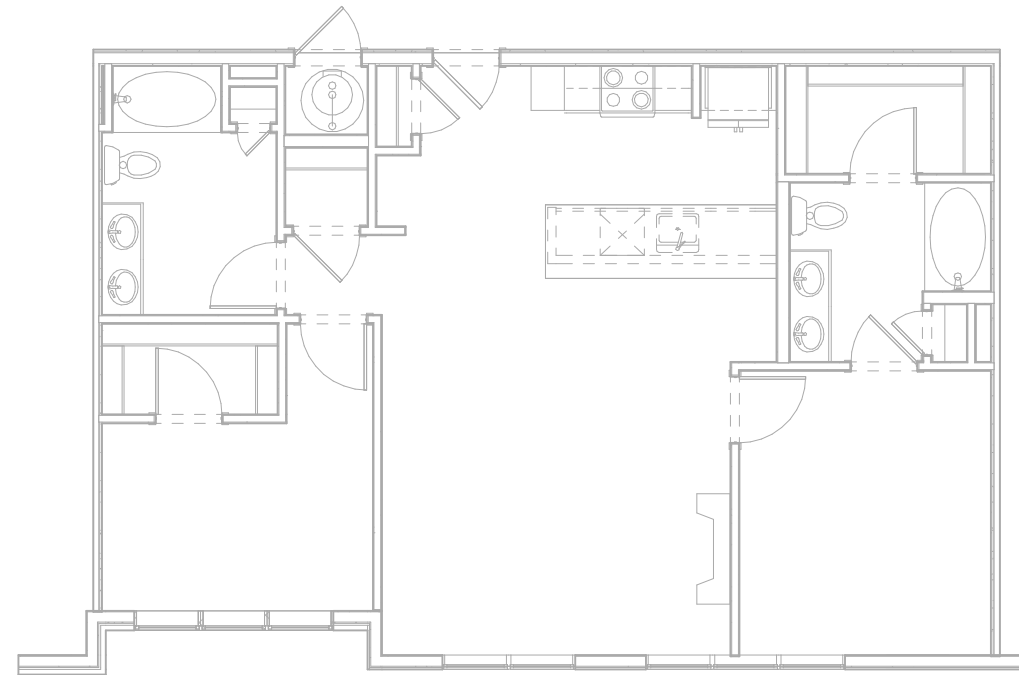
KEYNOTES - TYPE 'B' ACCESSIBILITY	
#	TYPE 'B' ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2, WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 1004.12.2.2, RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND	
	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	INDICATES FORWARD OR PARALLEL APPROACH

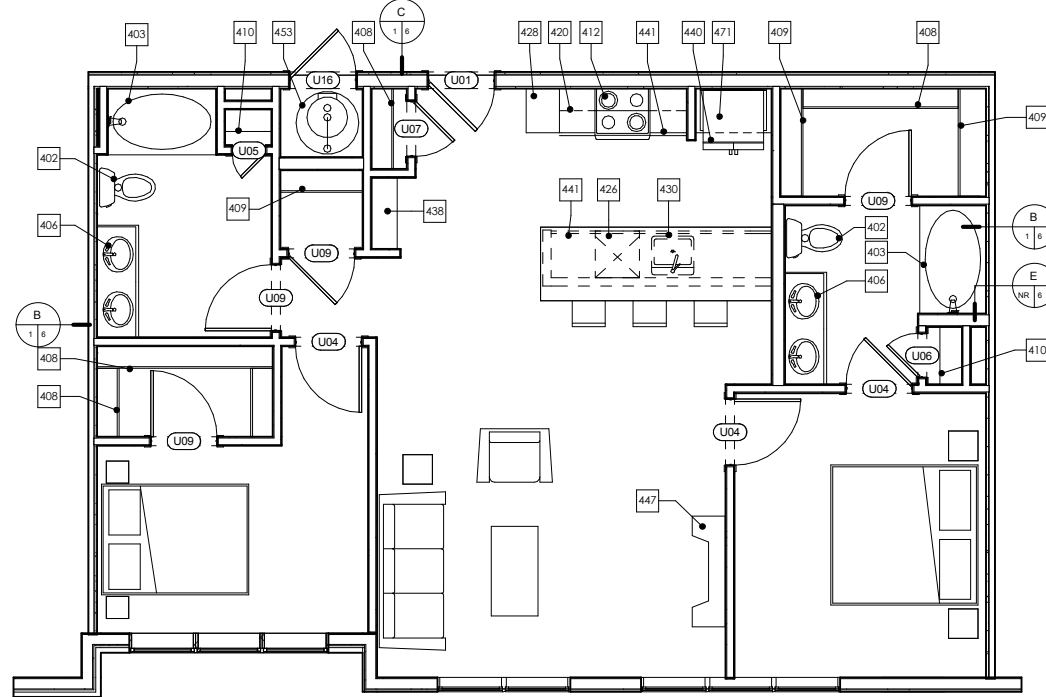
- UNIT PLAN GENERAL NOTES**
- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
 - REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
 - ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A950
 - DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.
 - ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP. U.N.O.
 - SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
 - MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH.
 - ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O.
 - ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O.
 - WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
 - ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O.
 - PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER.
 - PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
 - FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT B2			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B2	2 BR 2 BA	1138 SF	1
B2 ALT 1	2 BR 2 BA	1113 SF	1
B2 ALT 2	2 BR 2 BA	1118 SF	1

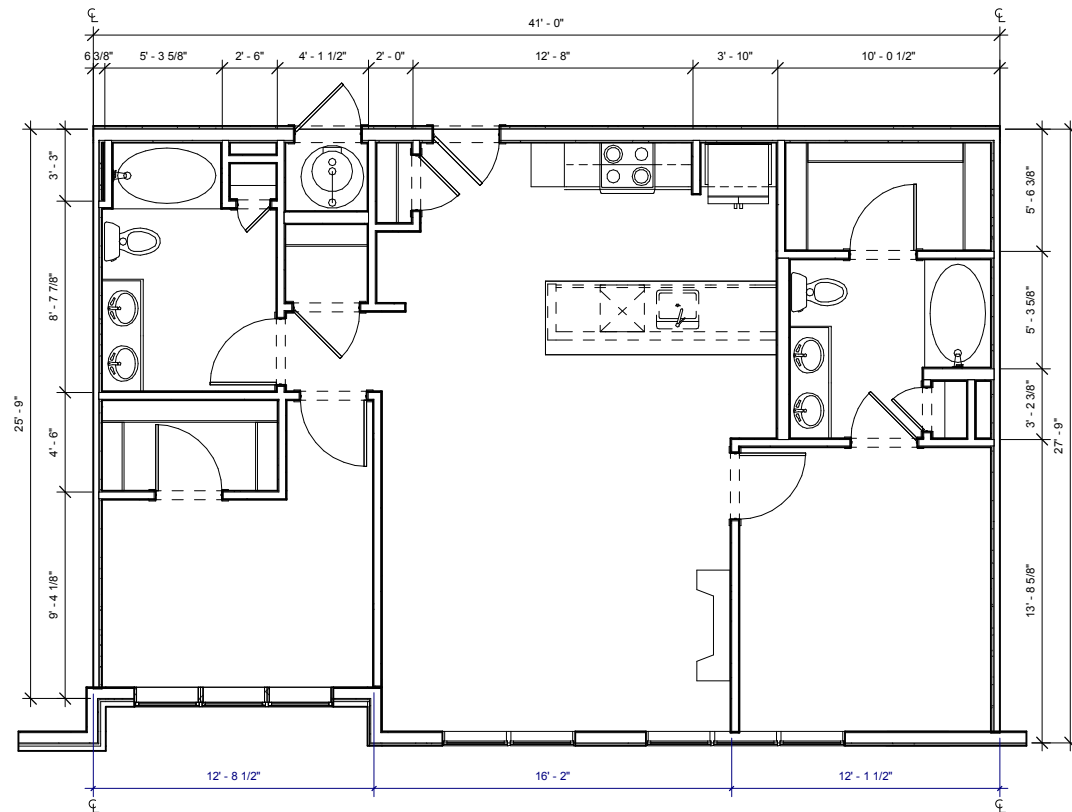
UNIT PLAN LEGEND	
FINISH 1	FLOOR TRANSITION
FINISH 2	
CPT	CARPET
TL	TILE
VP	VINYL
PLANK	SHEET VINYL
VS	SHEET VINYL
PC	POLISHED CONCRETE
	DOOR TAG
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
	INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
	INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.



3 UNIT B2 ALT 1 ACCESSIBILITY PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



2 UNIT B2 ALT 1 DETAIL PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT B2 ALT 1 DIMENSION PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEMS MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED.

No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE

06/20/16 PROGRESS

KEY PLAN

SHEET TITLE

**ENLARGED UNIT PLANS
- UNIT B3**

SHEET NUMBER

A311

ARCHITECT'S PROJECT NUMBER Project Number

KEYNOTES - UNITS

#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

KEYNOTES - TYPE 'B' ACCESSIBILITY

#	TYPE 'B' ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
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B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901. LAVATORIES RE: 7/A901. TUBS RE: 8 AND 12/A901. SHOWERS RE: 1/A901.
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B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND

- ▶ CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
- ➡ INDICATES FORWARD OR PARALLEL APPROACH

UNIT PLAN GENERAL NOTES

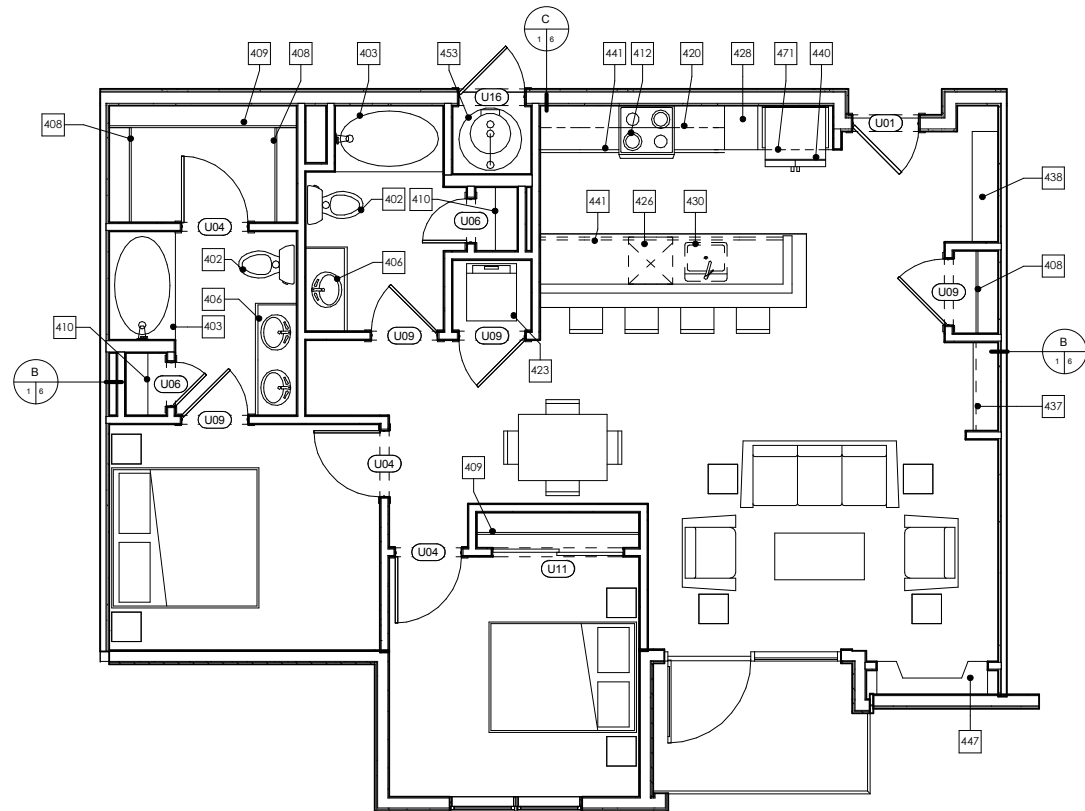
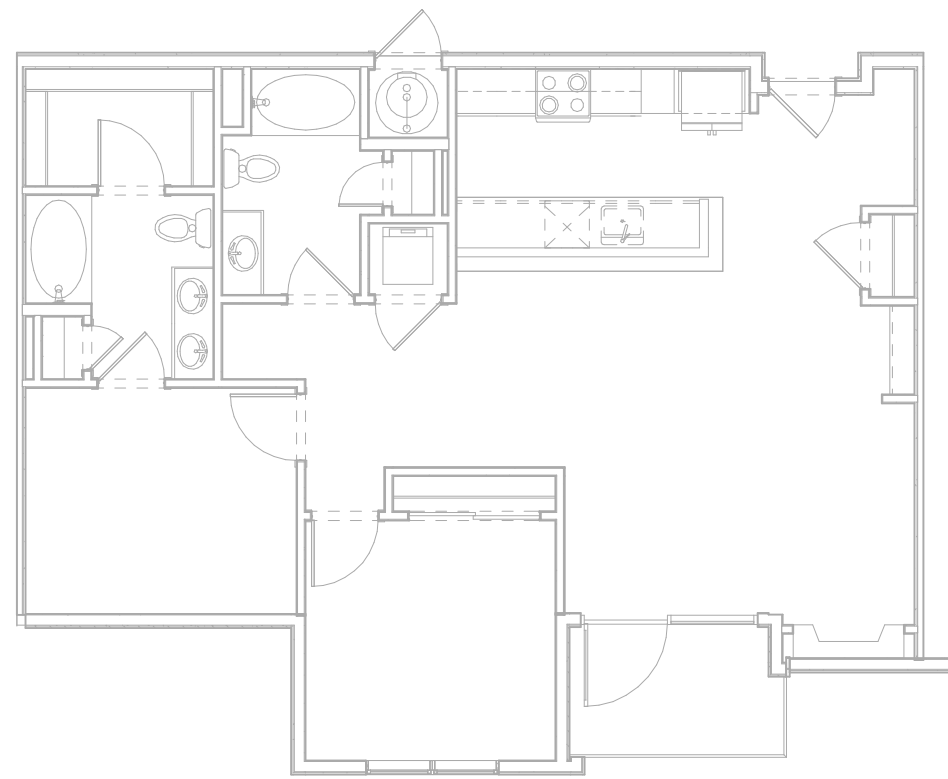
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- SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
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- FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT B3

UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B3	2 BR 2 BA	1146 SF	3

UNIT PLAN LEGEND

- FINISH 1 FLOOR TRANSITION
- FINISH 2
- CPT CARPET
- TL TILE
- VP VINYL
- PLANK VS SHEET VINYL
- PC POLISHED CONCRETE
- OO DOOR TAG
- INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
- INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
- INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.

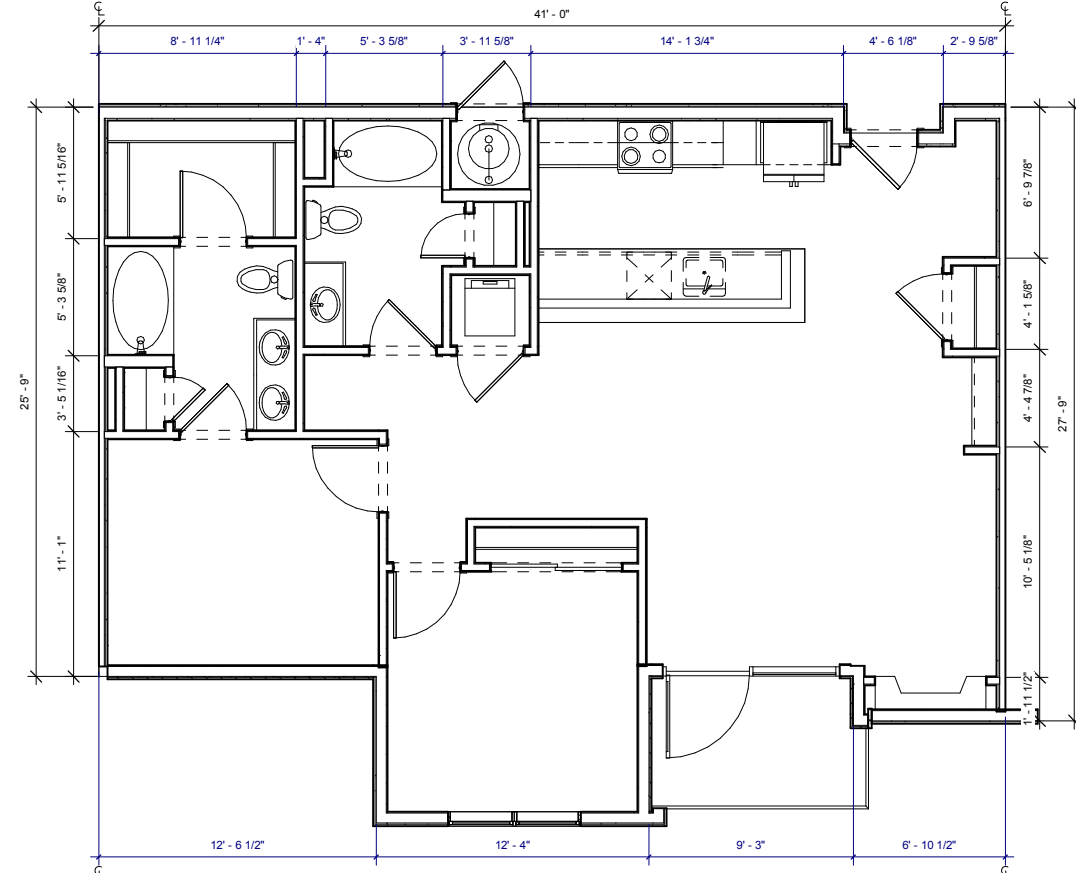


2 UNIT B3 DETAIL PLAN

A311 1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.

3 UNIT B3 ACCESSIBILITY PLAN

A311 1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT B3 DIMENSION PLAN

A311 1/4" = 1'-0"
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DILLON GATEWAY
LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO

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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE

06/20/16 PROGRESS

KEY PLAN

SHEET TITLE

**ENLARGED UNIT PLANS
- UNIT B4**

SHEET NUMBER

A312

ARCHITECT'S PROJECT NUMBER Project Number

KEYNOTES - UNITS

#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
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426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

KEYNOTES - TYPE 'B' ACCESSIBILITY

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B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4. RE: 8/A900.
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B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901. LAVATORIES RE: 7/A901. TUBS RE: 8 AND 12/A901. SHOWERS RE: 1/A901.
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B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5. RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND

- ▷ CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
- INDICATES FORWARD OR PARALLEL APPROACH

UNIT PLAN GENERAL NOTES

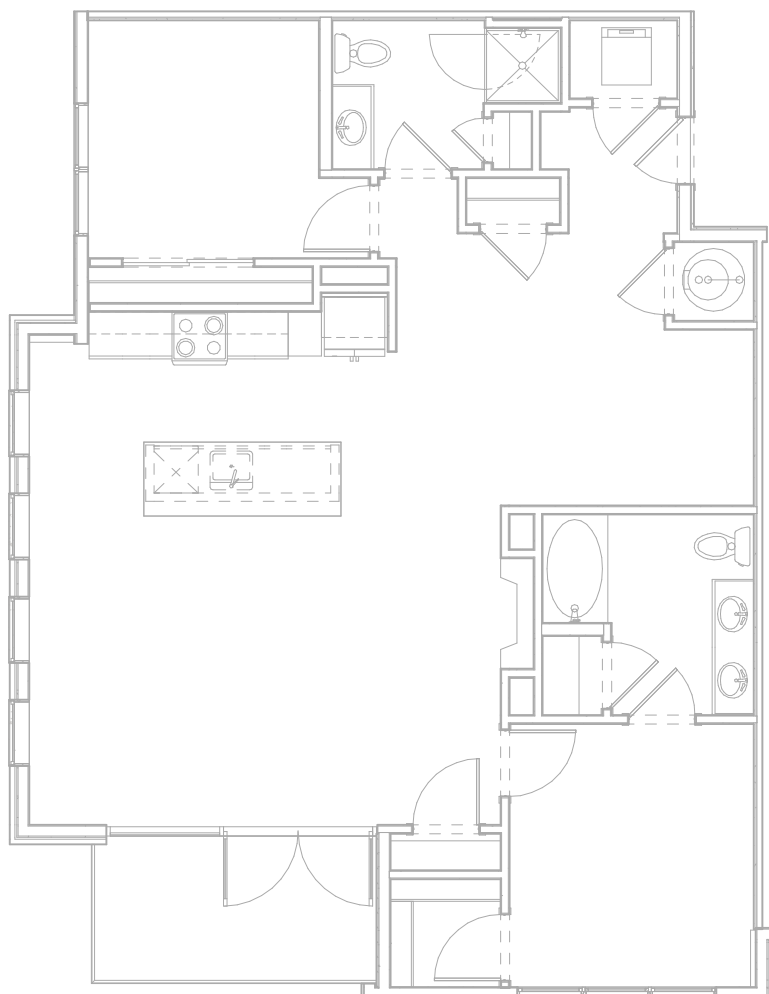
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UNIT B4

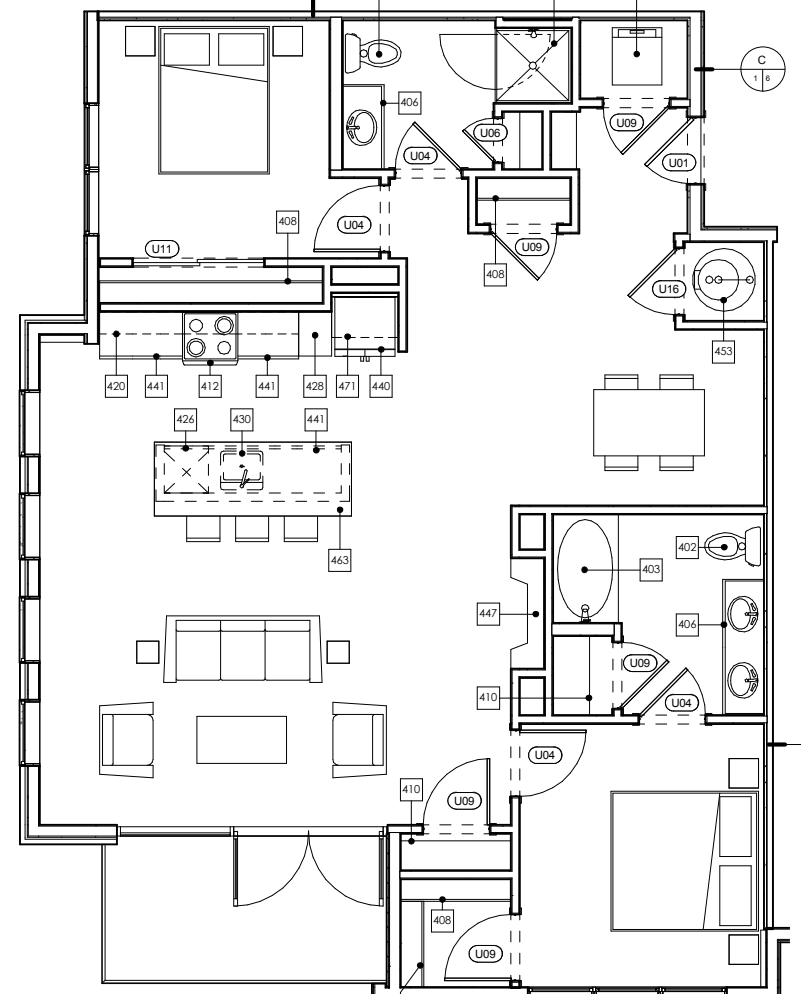
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B4	2 BR 2 BA	1311 SF	3
B4 ALT 1	2 BR 2 BA	1203 SF	3
B4 ALT 2	2 BR 2 BA	1203 SF	2
B4 ALT 3	2 BR 2 BA	1269 SF	2

UNIT PLAN LEGEND

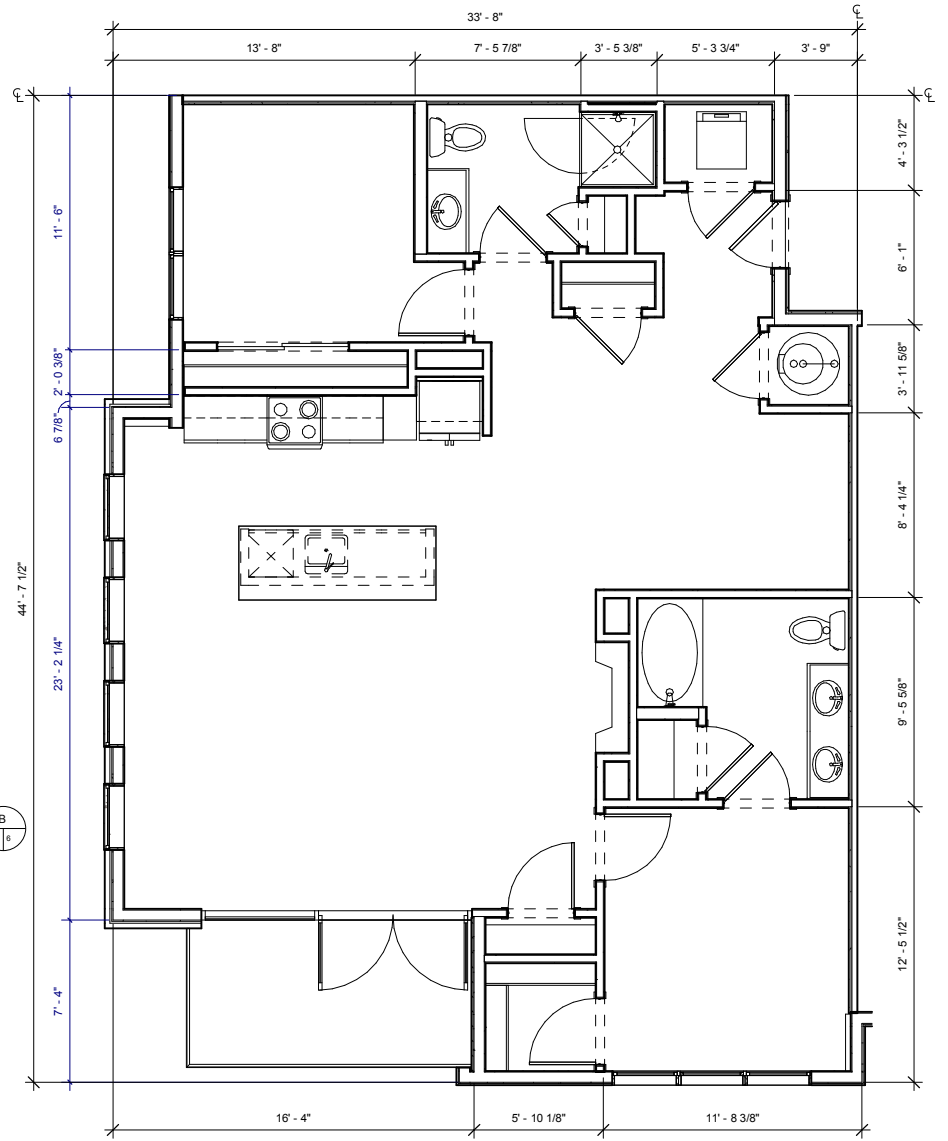
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- FINISH 2
- CPT CARPET
- TL TILE
- VP VINYL
- PLANK
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3 UNIT B4 ACCESSIBILITY PLAN
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2 UNIT B4 DETAIL PLAN
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No.	Description	Date

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ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
**ENLARGED UNIT PLANS
- UNIT B4 ALT 2**

SHEET NUMBER

A314

ARCHITECT'S PROJECT NUMBER Project Number

#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
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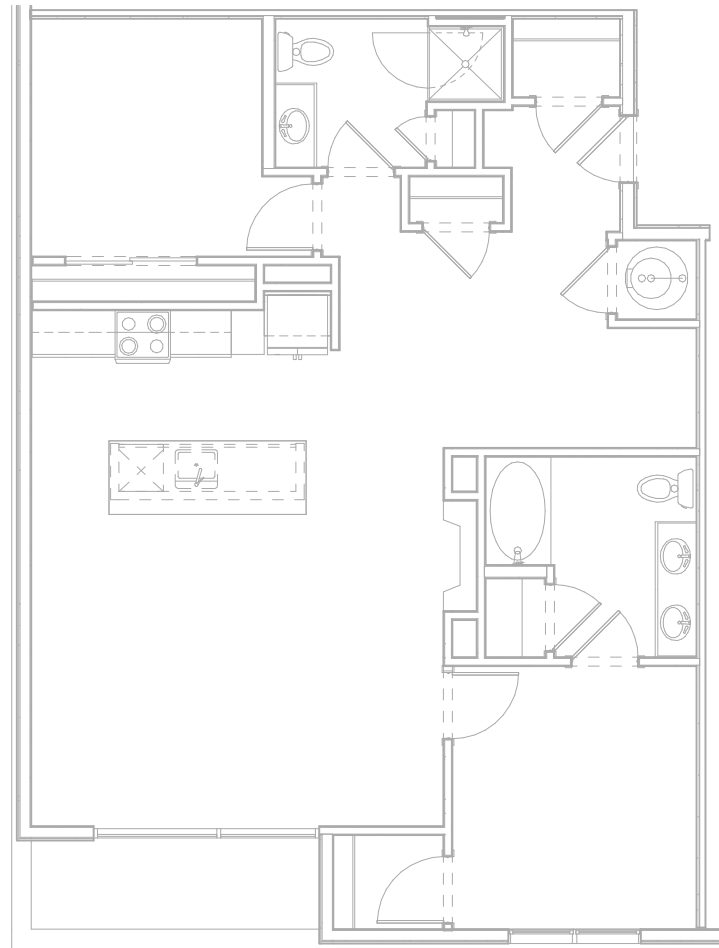
#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901. LAVATORIES RE: 7/A901. TUBS RE: 8 AND 12/A901. SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2.2, RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND	
	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	INDICATES FORWARD OR PARALLEL APPROACH

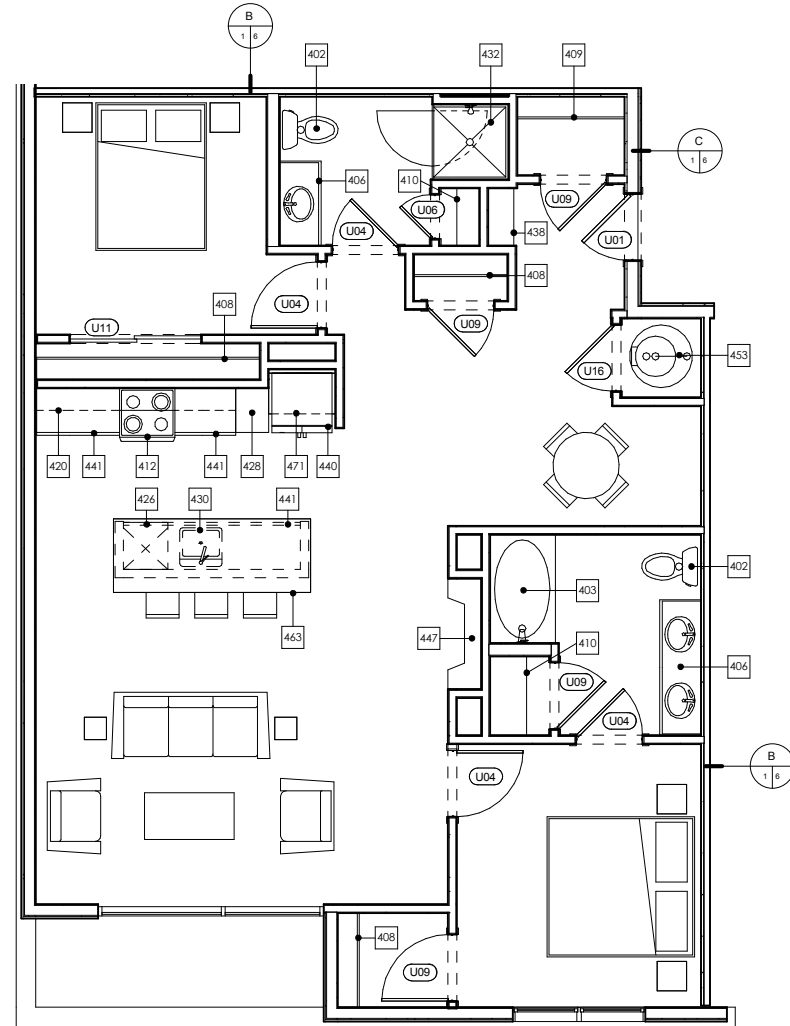
- UNIT PLAN GENERAL NOTES**
- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
 - REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
 - ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A050
 - DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O. DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.
 - ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP. U.N.O.
 - SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
 - MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH.
 - ALL CORRIDOR WALLS ARE WALL TYPE C. 2X4, U.N.O.
 - ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
 - ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O.
 - PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER.
 - PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
 - FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT B4			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B4	2 BR 2 BA	1311 SF	3
B4 ALT 1	2 BR 2 BA	1203 SF	3
B4 ALT 2	2 BR 2 BA	1203 SF	2
B4 ALT 3	2 BR 2 BA	1269 SF	2

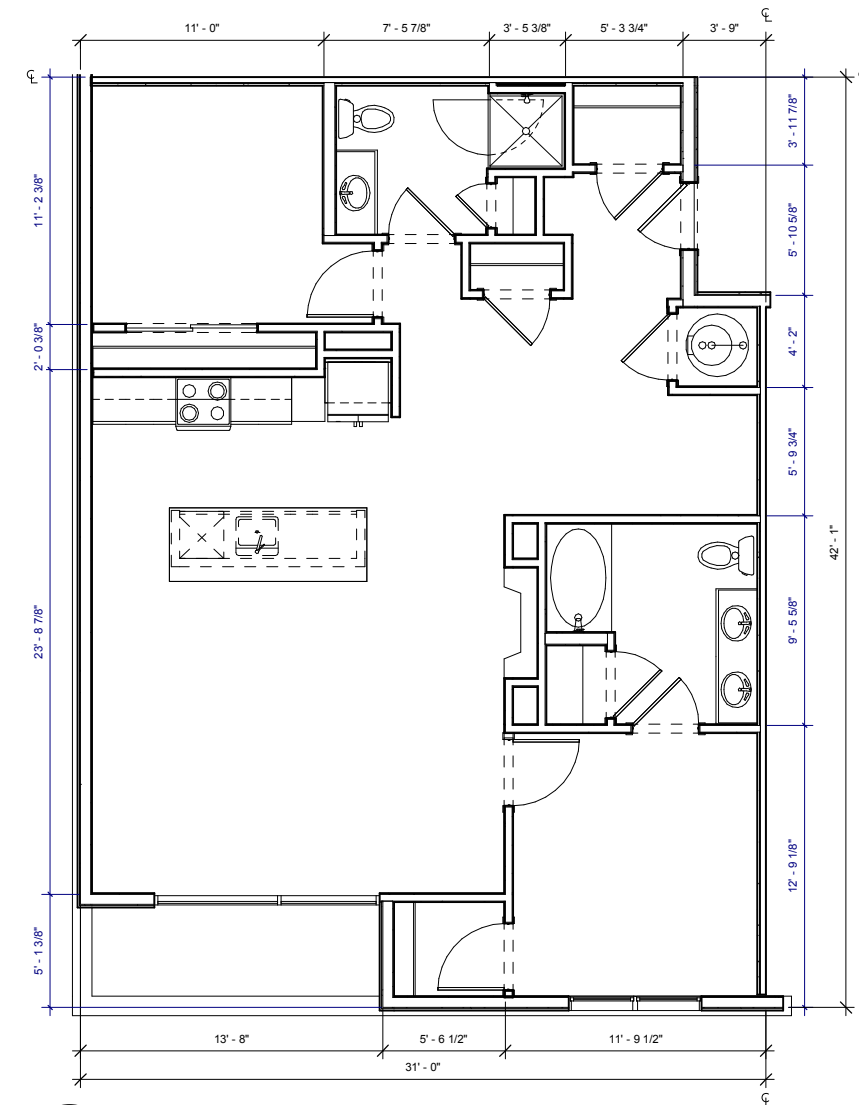
UNIT PLAN LEGEND	
FINISH 1	FLOOR TRANSITION
FINISH 2	
CPT	CARPET
TL	TILE
VP	VINYL
PLANK	
VS	SHEET VINYL
PC	POLISHED CONCRETE
	DOOR TAG
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
	INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
	INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.



3 UNIT B4 ALT 2 ACCESSIBILITY PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



2 UNIT B4 ALT 2 DETAIL PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT B4 ALT 2 DIMENSION PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

DILLON GATEWAY
LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO

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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
**ENLARGED UNIT PLANS
- UNIT B4 ALT 3**

SHEET NUMBER

A315

ARCHITECT'S PROJECT NUMBER Project Number

#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

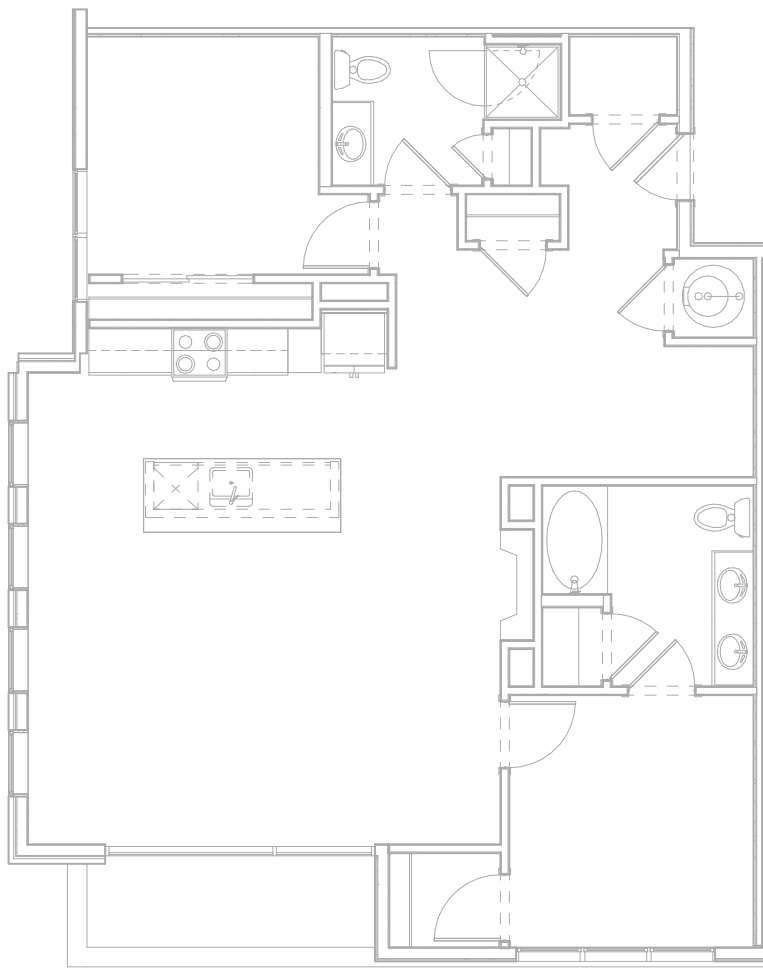
#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2, WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2.2, RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND	
	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	INDICATES FORWARD OR PARALLEL APPROACH

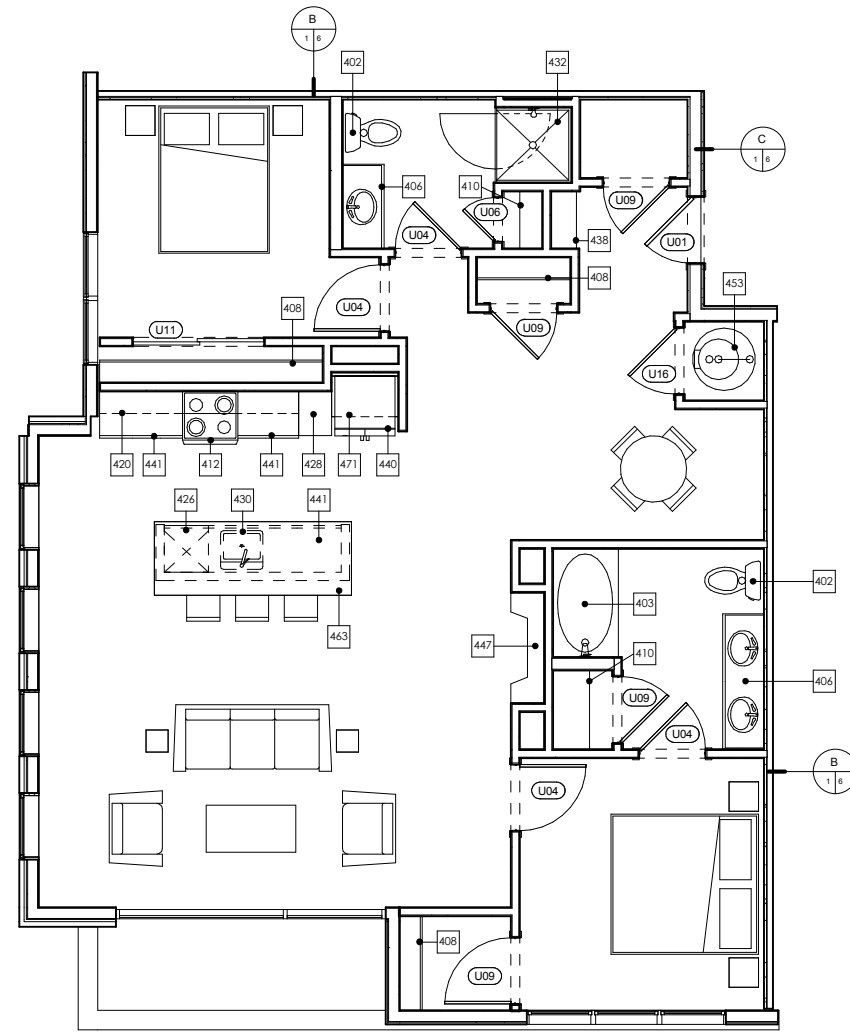
- UNIT PLAN GENERAL NOTES**
- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
 - REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
 - ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A950
 - DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O.
 - DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.
 - ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP. U.N.O.
 - SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
 - MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH.
 - ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O.
 - ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O.
 - WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
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 - FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT B4			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B4	2 BR 2 BA	1311 SF	3
B4 ALT 1	2 BR 2 BA	1203 SF	3
B4 ALT 2	2 BR 2 BA	1203 SF	2
B4 ALT 3	2 BR 2 BA	1269 SF	2

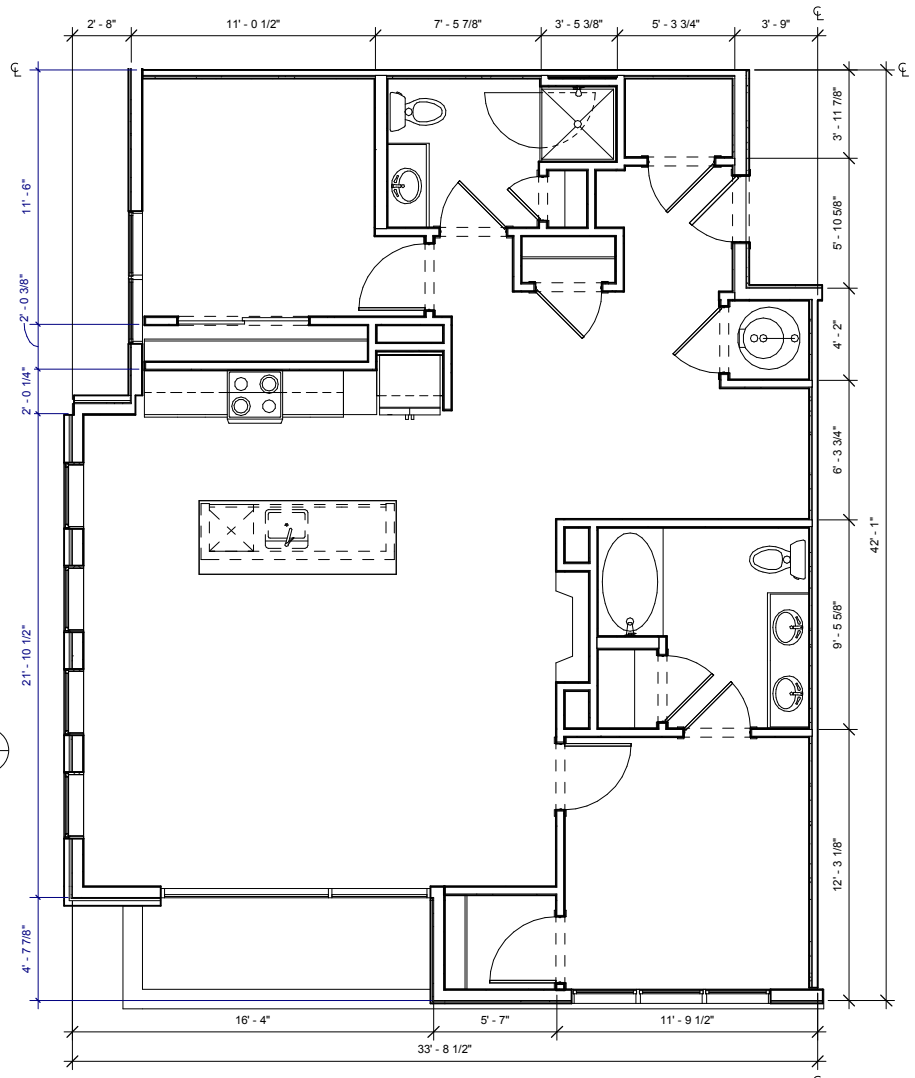
UNIT PLAN LEGEND	
FINISH 1	FLOOR TRANSITION
FINISH 2	
CPT	CARPET
TL	TILE
VP	VINYL
PLANK	SHEET VINYL
VS	
PC	POLISHED CONCRETE
	DOOR TAG
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
	INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
	INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.



3 UNIT B4 ALT 3 ACCESSIBILITY PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



2 UNIT B4 ALT 3 DETAIL PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT B4 ALT 3 DIMENSION PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE

06/20/16 PROGRESS

KEY PLAN

SHEET TITLE

**ENLARGED UNIT PLANS
- UNIT B5**

SHEET NUMBER

A316

ARCHITECT'S PROJECT NUMBER Project Number

KEYNOTES - UNITS	
#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

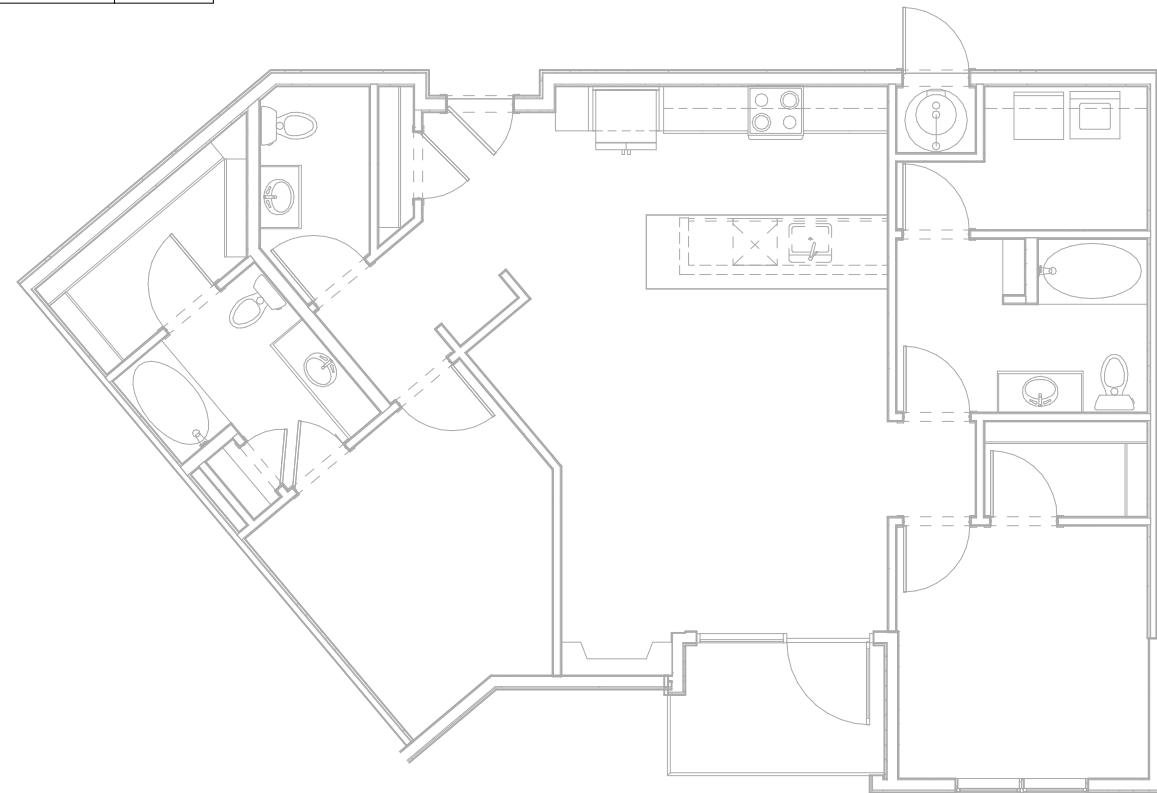
KEYNOTES - TYPE 'B' ACCESSIBILITY	
#	TYPE 'B' ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2, WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 1004.12.2.2, RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND	
	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	INDICATES FORWARD OR PARALLEL APPROACH

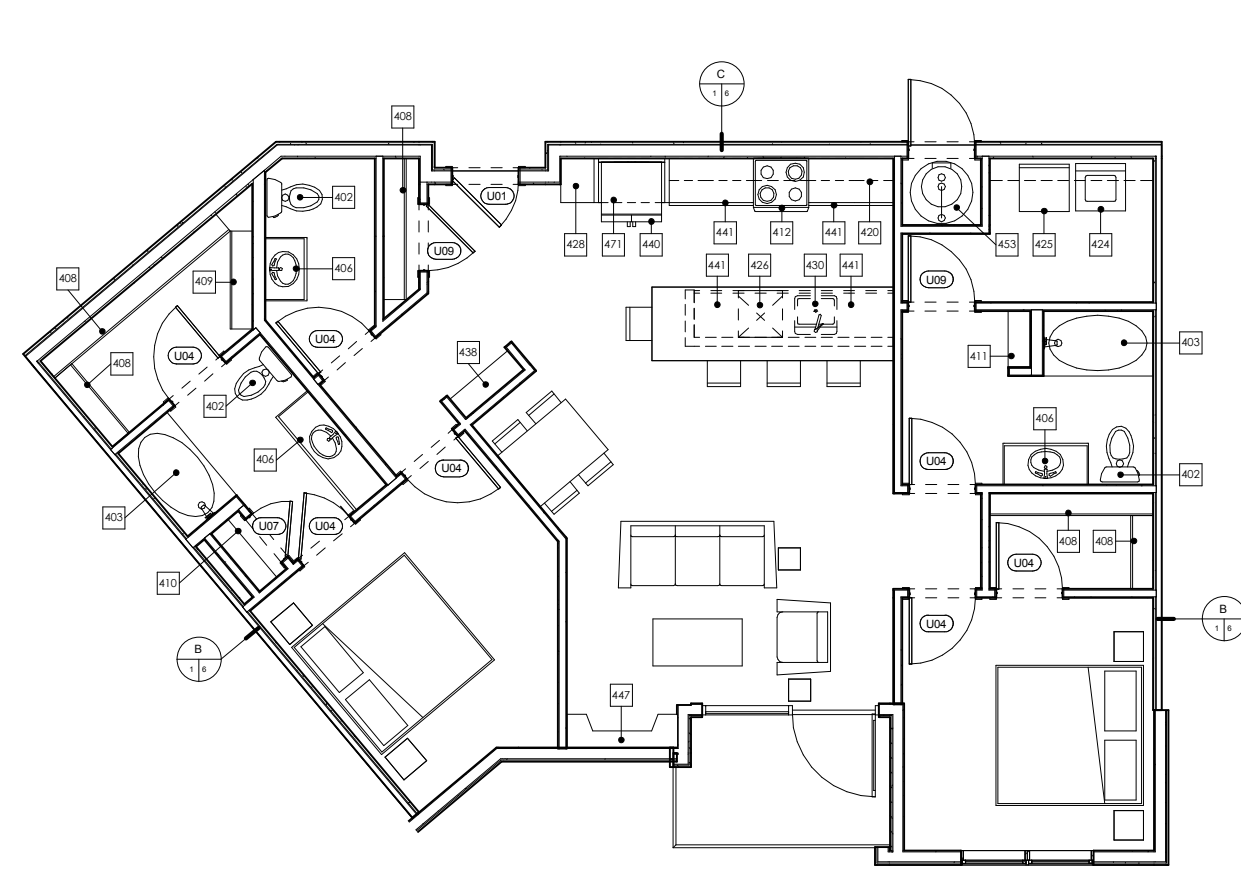
UNIT PLAN GENERAL NOTES	
1.	REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
2.	REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
3.	ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A950
4.	DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O.
5.	DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.
6.	ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP. U.N.O.
7.	SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
9.	MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C. 2X4, U.N.O.
10.	ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O.
11.	WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
13.	ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O.
14.	PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER.
15.	PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
16.	FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT B5			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B5	2 BR 2 BA	1274 SF	3

UNIT PLAN LEGEND	
FINISH 1	FLOOR TRANSITION
FINISH 2	
CPT	CARPET
TL	TILE
VP	VINYL
VS	SHEET VINYL
PC	POLISHED CONCRETE
	DOOR TAG
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
	INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
	INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.

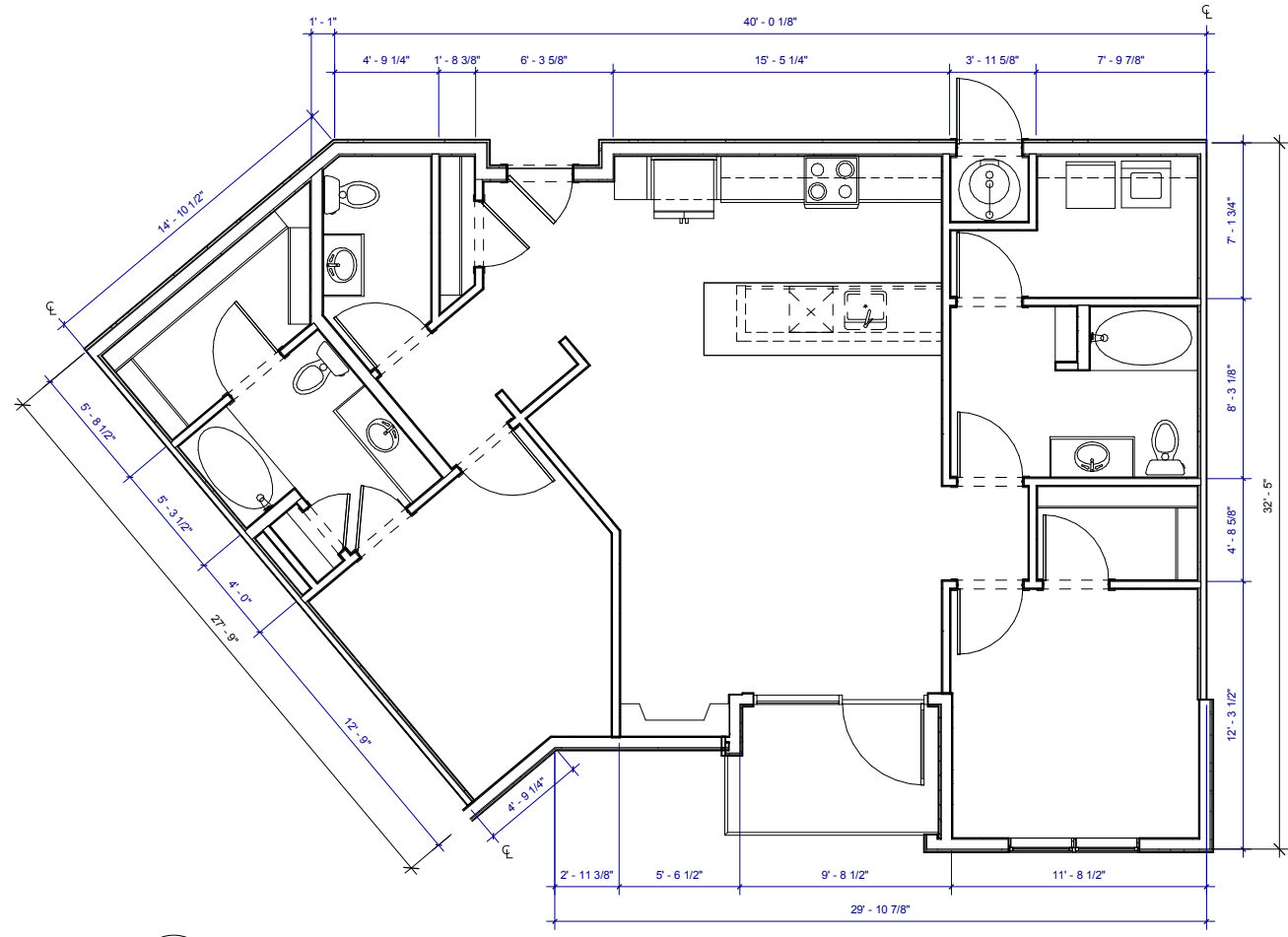


3 UNIT B5 ACCESSIBILITY PLAN
1/4" = 1'-0"



2 UNIT B5 DETAIL PLAN
1/4" = 1'-0"

NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT B5 DIMENSION PLAN
1/4" = 1'-0"

NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

DILLON GATEWAY
LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO

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No.	Description	Date
CURRENT PHASE		
SCHEMATIC DESIGN		
ISSUE DATE		
06/20/16 PROGRESS		
KEY PLAN		
SHEET TITLE		
ENLARGED UNIT PLANS - UNIT B6		
SHEET NUMBER		
A317		
ARCHITECT'S PROJECT NUMBER Project Number		

#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
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409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: X/A700
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424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
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437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

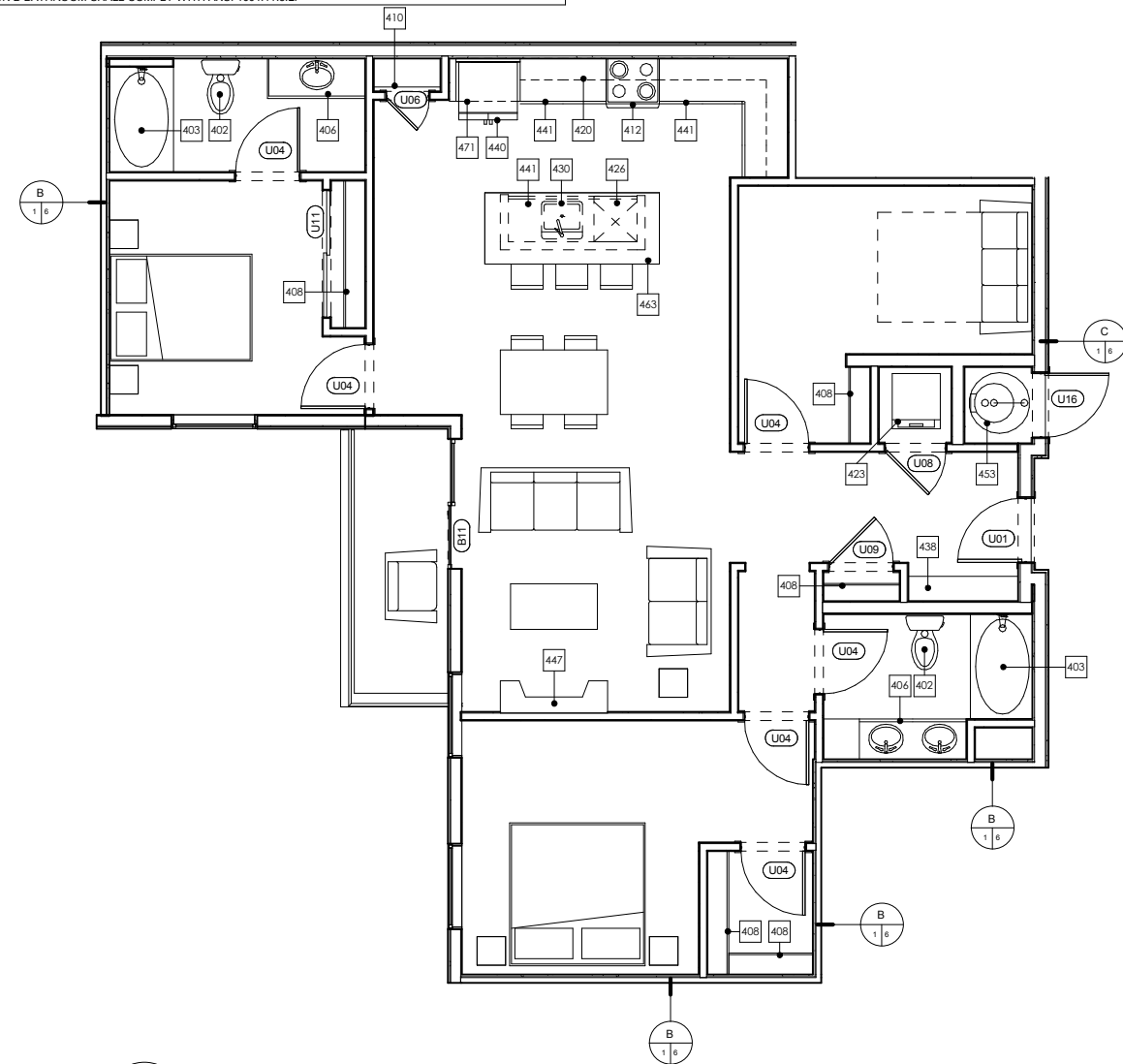
#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
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B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2, WATER CLOSETS RE: 5 AND 9/A901, LAVATORIES RE: 7/A901, TUBS RE: 8 AND 12/A901, SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2.2, RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
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B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND	
	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	INDICATES FORWARD OR PARALLEL APPROACH

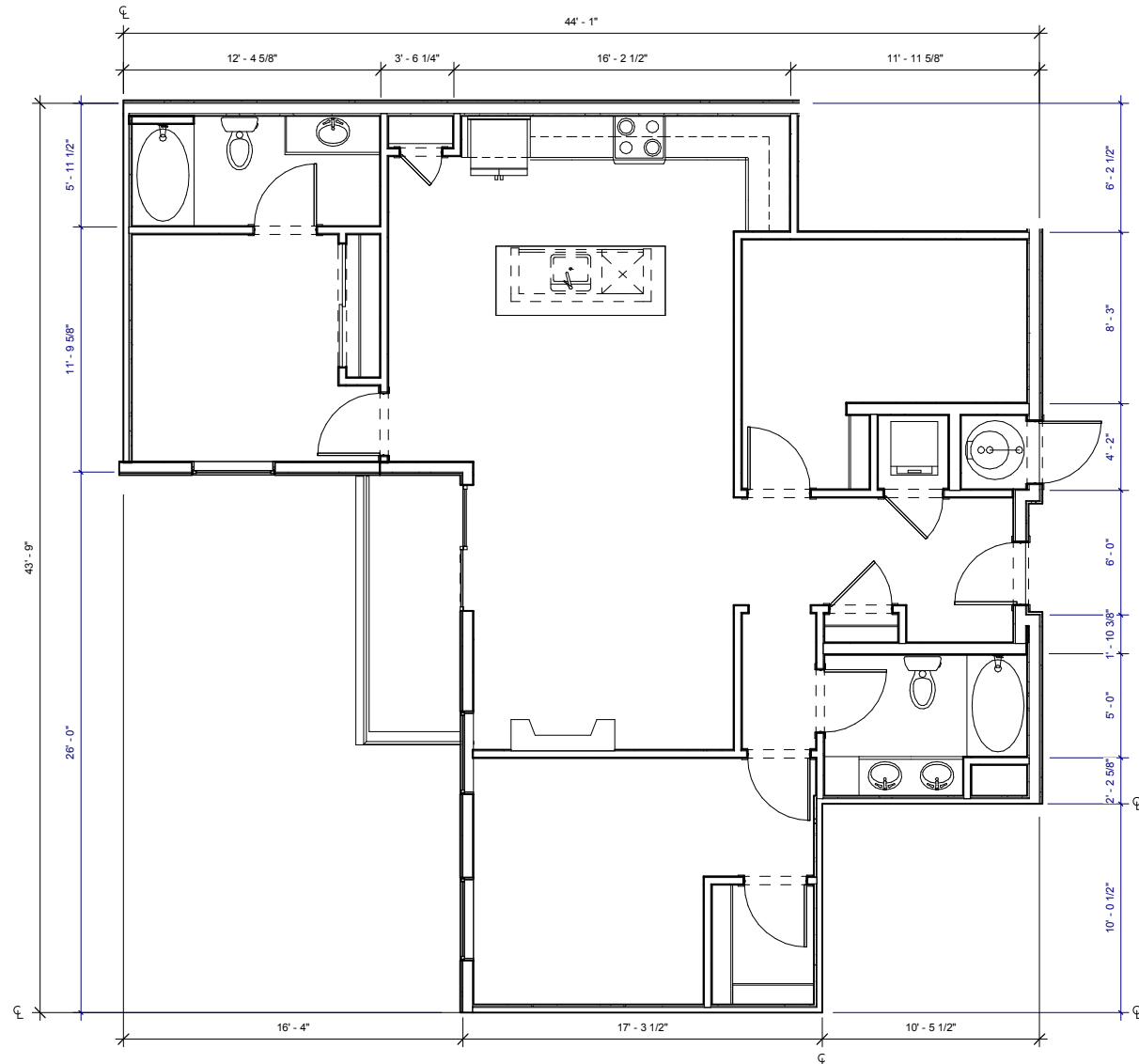
- UNIT PLAN GENERAL NOTES**
- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
 - REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
 - ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A950
 - DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O.
 - DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.
 - ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP. U.N.O.
 - SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
 - MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH.
 - ALL CORRIDOR WALLS ARE WALL TYPE C. 2X4, U.N.O.
 - ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O.
 - WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
 - ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O.
 - PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER.
 - PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
 - FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT B6			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
B6	2 BR 2 BA DEN	1309 SF	3

UNIT PLAN LEGEND	
FINISH 1	FLOOR TRANSITION
FINISH 2	
CPT	CARPET
TL	TILE
VP	VINYL
VS	SHEET VINYL
PC	POLISHED CONCRETE
	DOOR TAG
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
	INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
	INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.



2 UNIT B6 DETAIL PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT B6 DIMENSION PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEMS MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED.

No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE

06/20/16 PROGRESS

KEY PLAN

SHEET TITLE

**ENLARGED UNIT PLANS
- UNIT C1**

SHEET NUMBER

A319

ARCHITECT'S PROJECT NUMBER Project Number

KEYNOTES - UNITS

#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

KEYNOTES - TYPE 'B' ACCESSIBILITY

#	TYPE 'B' ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1. RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2. RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4. RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2. RE: 1-2, 5-7/A902
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901. LAVATORIES RE: 7/A901. TUBS RE: 8 AND 12/A901. SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1. RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 1004.12.2.2. RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4. RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5. RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND

- ▶ CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
- ➡ INDICATES FORWARD OR PARALLEL APPROACH

UNIT PLAN GENERAL NOTES

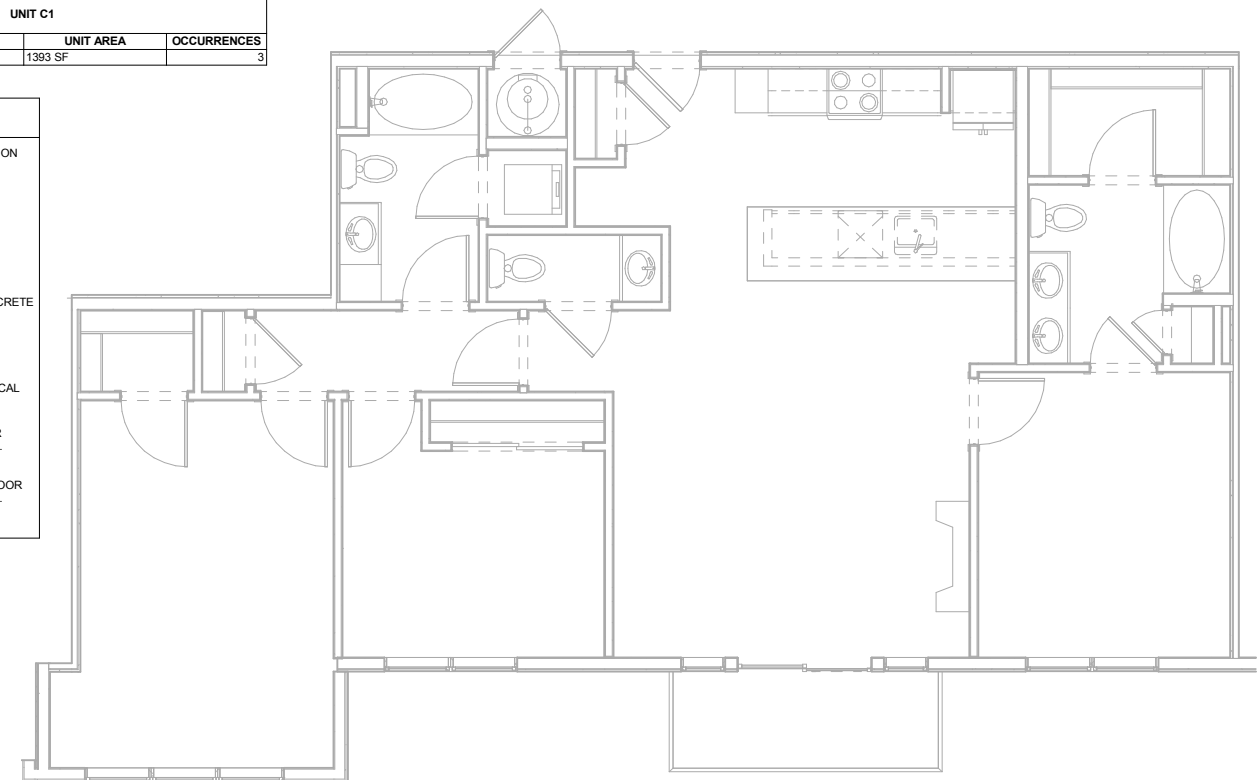
- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
- REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
- ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A950
- DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O.
- DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE. U.N.O.
- ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL. TYP. U.N.O.
- SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
- MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C. 2X4. U.N.O.
- ALL INTERIOR WALLS ARE 2X4 WALL TYPE D. U.N.O.
- WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
- ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES). U.N.O.
- PROVIDE COVERINGS AT ALL UNIT WINDOWS. U.N.O. SPECIFICATION PER INTERIOR DESIGNER.
- PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS. U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
- FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT C1

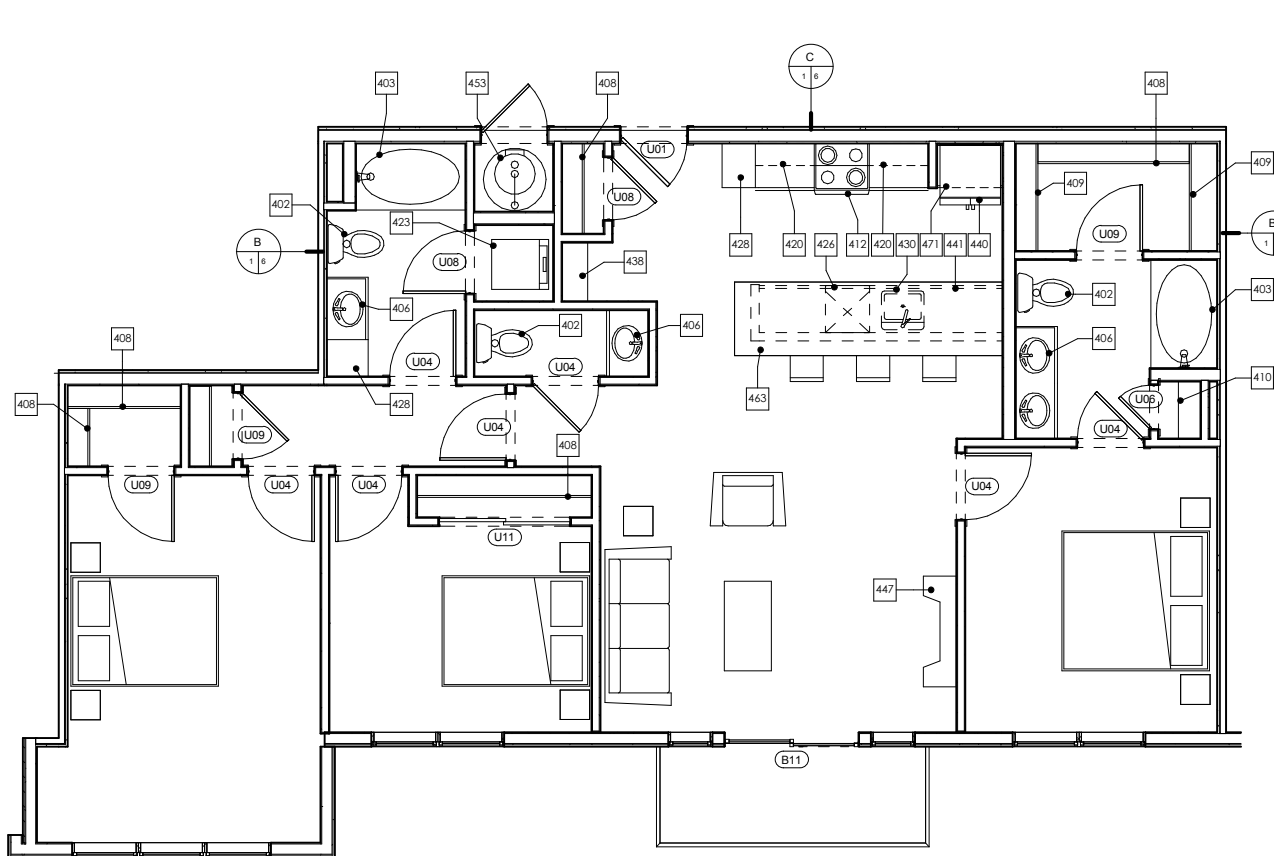
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
C1	3 BR 2.5 BA	1393 SF	3

UNIT PLAN LEGEND

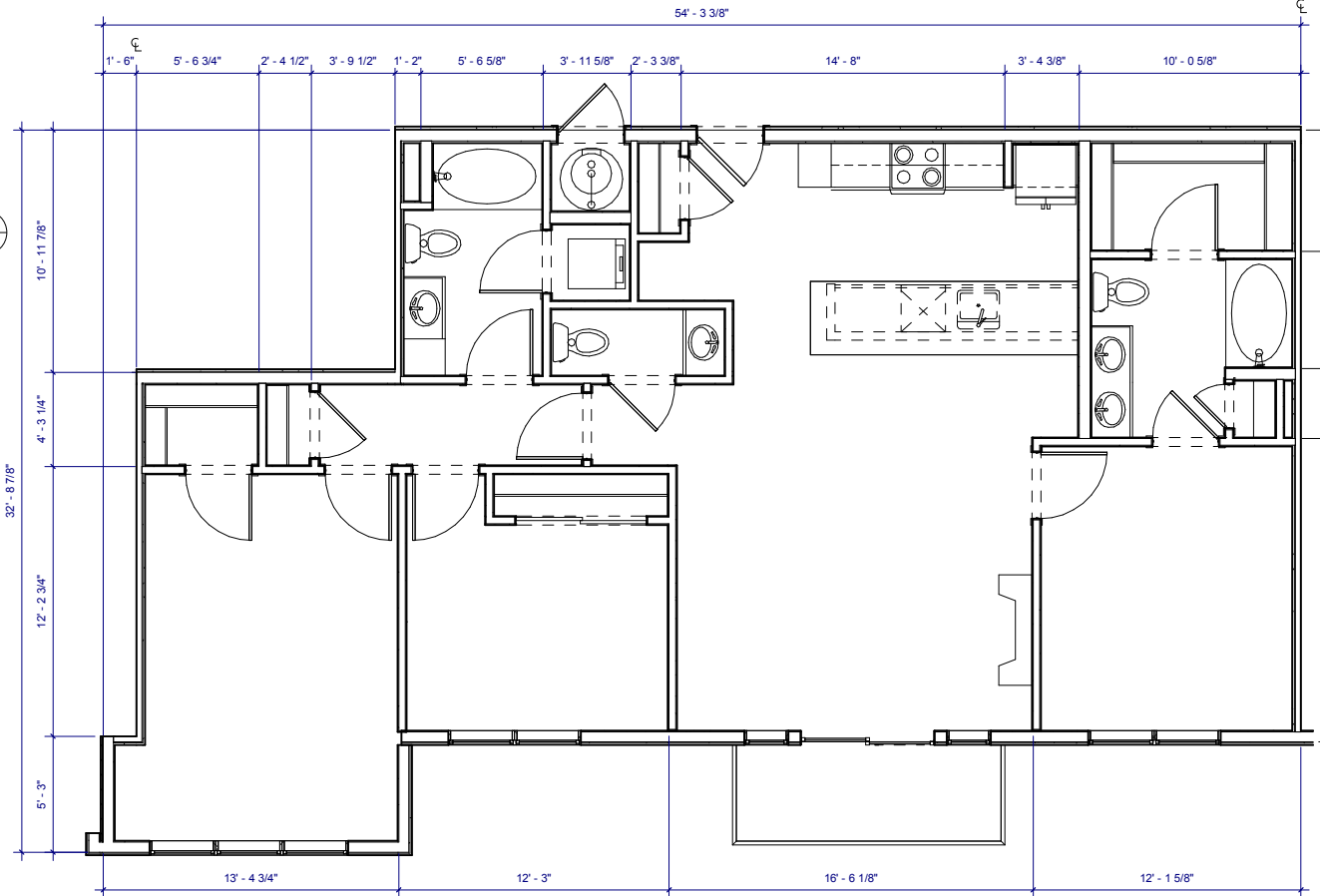
- FINISH 1 FLOOR TRANSITION
- FINISH 2
- CPT CARPET
- TL TILE
- VP VINYL
- FLANK VS SHEET VINYL
- PC POLISHED CONCRETE
- DOOR TAG
- INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
- INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
- INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.



3 UNIT C1 ACCESSIBILITY PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



2 UNIT C1 DETAIL PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT C1 DIMENSION PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
**ENLARGED UNIT PLANS
- UNIT C2**

SHEET NUMBER

A320

ARCHITECT'S PROJECT NUMBER Project Number

#	Keynote Text
402	TOILET - SHALL MEASURE 18" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

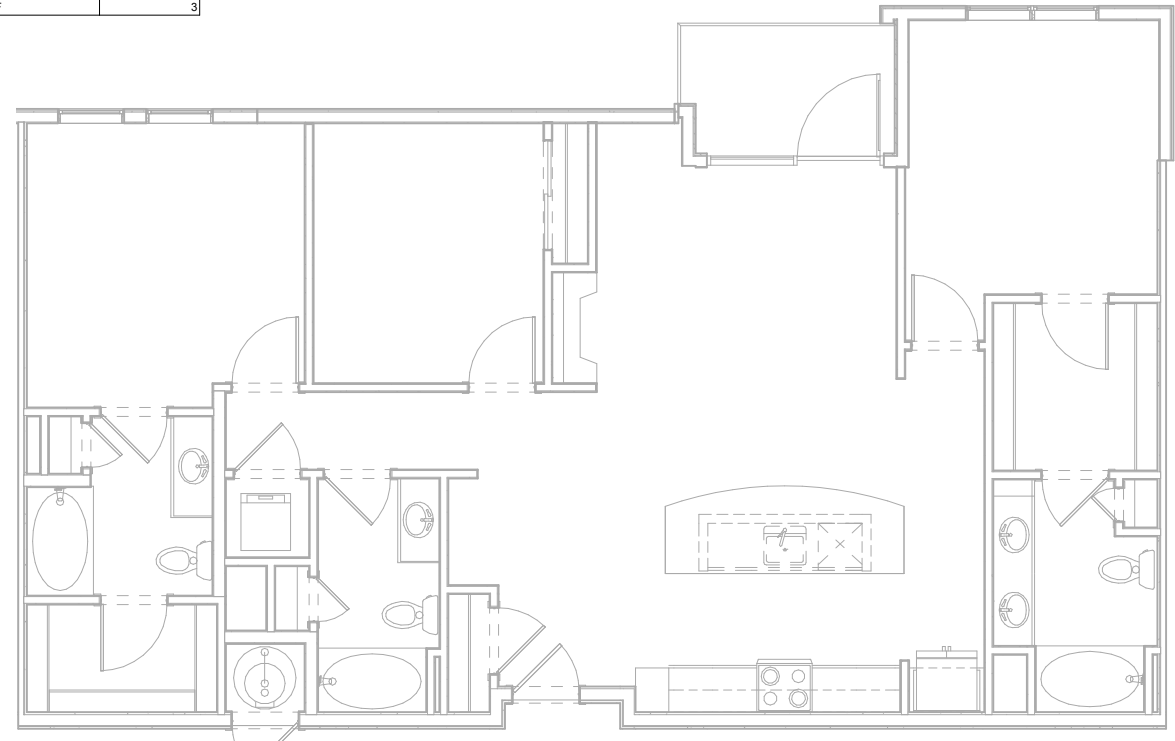
#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4, RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2, RE: 1-2, 5-7/A902.
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901. LAVATORIES RE: 7/A901. TUBS RE: 8 AND 12/A901. SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 ANSI 1004.12.2.2, RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

ACCESSIBILITY LEGEND	
	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	INDICATES FORWARD OR PARALLEL APPROACH

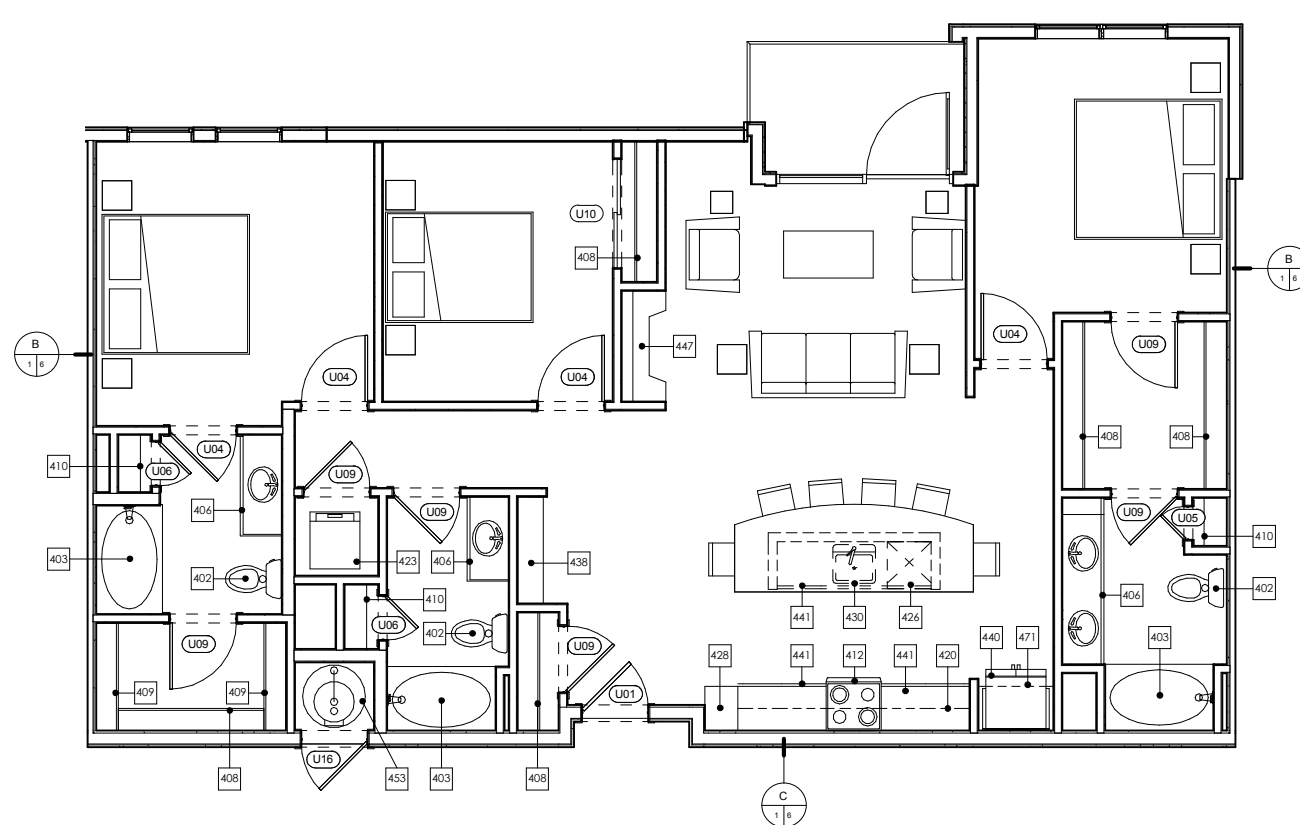
- UNIT PLAN GENERAL NOTES**
- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
 - REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
 - ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B, RE: A050
 - DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O.
 - DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.
 - ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP. U.N.O.
 - SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
 - MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O.
 - ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O. WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
 - ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES), U.N.O.
 - PROVIDE COVERINGS AT ALL UNIT WINDOWS, U.N.O. SPECIFICATION PER INTERIOR DESIGNER.
 - PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
 - FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT C2			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
C2	3 BR 3 BA	1470 SF	3

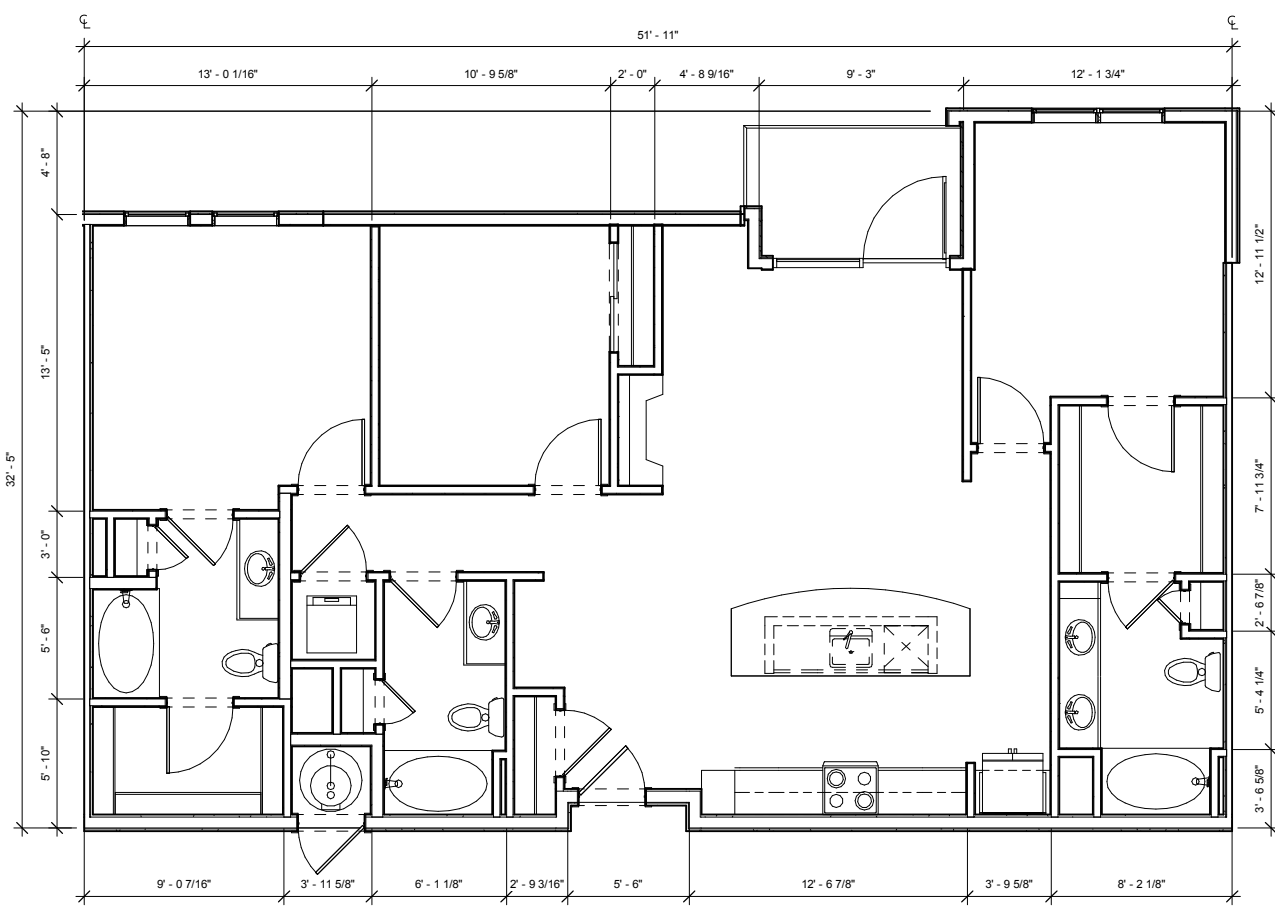
UNIT PLAN LEGEND	
FINISH 1	FLOOR TRANSITION
FINISH 2	
CPT	CARPET
TL	TILE
VP	VINYL
PLANK	
VS	SHEET VINYL
PC	POLISHED CONCRETE
00	DOOR TAG
	INDICATES FURRED CEILING FOR MECHANICAL UNIT, 7'-6" AFF
	INDICATES TEMPERED GLASS, RE: UNIT FLOOR PLANS FOR LOCATIONS.
	INDICATES GRAB BAR BLOCKING, RE: UNIT FLOOR PLANS FOR LOCATIONS.



3 UNIT C2 ACCESSIBILITY PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN ACCESSIBILITY PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



2 UNIT C2 DETAIL PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT C2 DIMENSION PLAN
1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

DILLON GATEWAY
LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO

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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE

06/20/16 PROGRESS

KEY PLAN

SHEET TITLE

**ENLARGED UNIT PLANS
- UNIT C3**

SHEET NUMBER

A321

ARCHITECT'S PROJECT NUMBER Project Number

KEYNOTES - UNITS

#	Keynote Text
402	TOILET - SHALL MEASURE 16" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: X/A700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

KEYNOTES - TYPE 'B' ACCESSIBILITY

#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1, RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2, RE: 1/A900.
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B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901. LAVATORIES RE: 7/A901. TUBS RE: 8 AND 12/A901. SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1, RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 1004.12.2.2, RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4, RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5, RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

UNIT C3

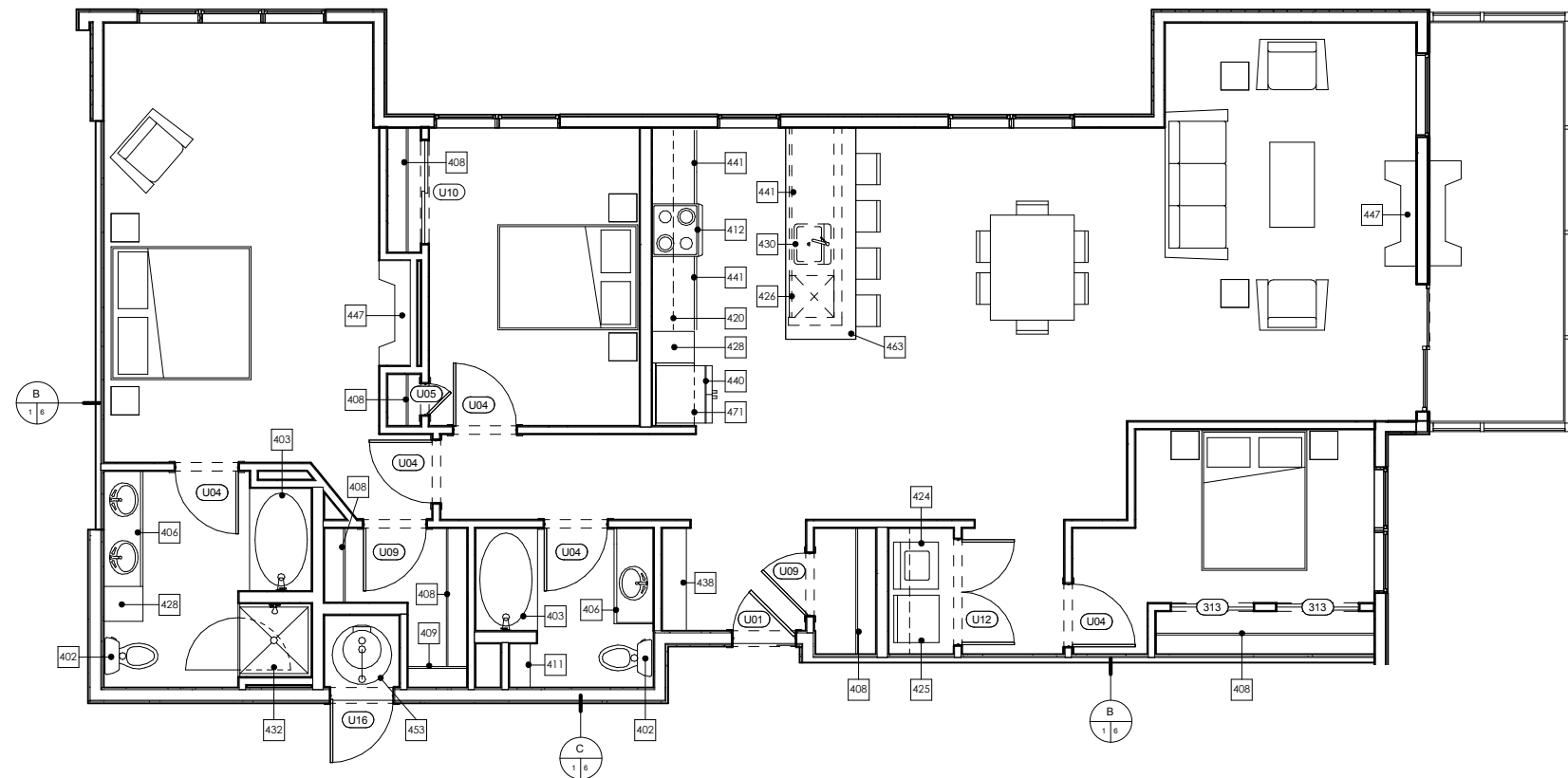
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
C3	3 BR 2 BA	1786 SF	3

ACCESSIBILITY LEGEND

- ▷ CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
- ➡ INDICATES FORWARD OR PARALLEL APPROACH

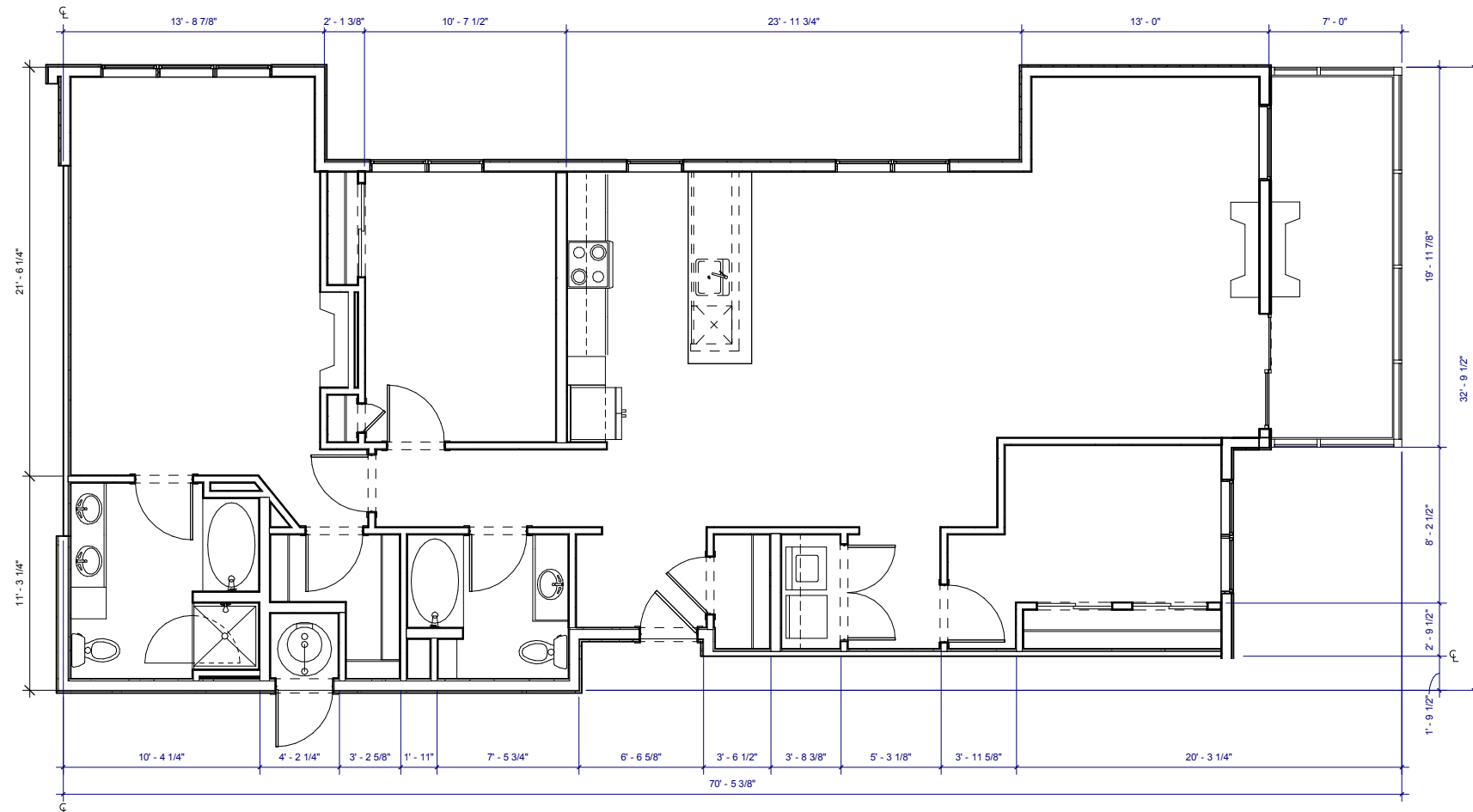
UNIT PLAN GENERAL NOTES

- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
- REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
- ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B, RE: A050
- DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL, U.N.O.
- DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE, U.N.O.
- ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL, TYP, U.N.O.
- SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS
- ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES
- MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH.
- ALL CORRIDOR WALLS ARE WALL TYPE C, 2X4, U.N.O.
- ALL INTERIOR WALLS ARE 2X4 WALL TYPE D, U.N.O.
- WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL, INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE, NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
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- PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS, U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
- FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.



2 UNIT C3 DETAIL PLAN

1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT C3 DIMENSION PLAN

1/4" = 1'-0"
NOTE: DIMENSIONS SHOWN IN DIMENSION PLAN ARE TO FACE OF STUD, GRID LINE, OR CENTER LINE OF TENANT SEPARATION WALL, UNLESS NOTED OTHERWISE.

CLIENT LOGO

240 Lake Dillon Dr.
Dillon, CO 80435



DILLON GATEWAY
LAKE DILLON DRIVE AND
BUFFALO STREET DILLON, CO

THESE DRAWINGS ARE INCOMPLETE AND ARE INTENDED FOR CONVEYING DESIGN SYSTEM CONCEPTS. ANY PRICING OR BUDGETING PERFORMED WITH THESE DRAWINGS MUST CARRY A CONTINGENCY TO COVER WHAT ITEMS MAY CHANGE OR BE ADDED AS THE DESIGN PROCESS IS COMPLETED.

No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
**ENLARGED UNIT PLANS
- UNIT D1**

SHEET NUMBER

A323

ARCHITECT'S PROJECT NUMBER Project Number

#	Keynote Text
402	TOILET - SHALL MEASURE 16" FROM FINISHED WALL TO CENTERLINE OF W.C.
403	60" X 36" BATHTUB
404	36" X 48" SHOWER WITH GLASS DOOR. DOOR SIZED TO ALLOW 31 3/4" CLR OPENING
406	UNDERMOUNT VANITY SINK FRONT OF LAVATORY RIM OR VANITY COUNTERTOP (WHICHEVER IS HIGHER) TO BE 34" AFF MAX
408	1 ROD / 1 SHELF
409	2 RODS / 2 SHELVES
410	LINEN OR PANTRY CLOSET. PROVIDE 5 SHELVES.
411	5 SHELVES EXPOSED. RE: XIA700
412	ELECTRIC RANGE WITH MICROWAVE HOOD ABOVE. NOTE: AT TYPE A UNITS, INSTALL HOOD ONLY (NO MICROWAVE ABOVE RANGE. MICROWAVE TO BE LOCATED ON COUNTER).
420	12" DEEP UPPER CABINETS
423	STACKED WASHER/DRYER. ADA COMPLIANT IN TYPE A UNITS (OPTIONAL FRONT LOADING ALL IN ONE UNIT)
424	WASHER
425	DRYER. FRONT LOADING, FRONT CONTROLS
426	DISHWASHER
428	24" DEEP TALL CABINET
430	UNDERMOUNT KITCHEN SINK WITH DISPOSAL
432	42" X 42" SHOWER
437	DRY BAR. 12" BASE CABINET WITH SOLID SURFACE TOP
438	BENCH. RE: SPEC. FOR LENGTHS
440	REFRIGERATOR. 24" FULL DEPTH CABINET ABOVE WITH FINISHED UNDERSIDE PANEL. PROVIDE FINISHED END AND SIDE PANEL PER ELEVATIONS. PROVIDE RECESSED WATERICE MAKER CONNECTION (RATED BOX IF LOCATED IN RATED WALL)
441	24" DEEP BASE CABINETS
447	GAS FIREPLACE
453	GAS WATER HEATER. PROVIDE SHEET VINYL FLOORING.
463	COUNTERTOP OVERHANG = 8"
471	24" DEEP CABINET ABOVE REFRIGERATOR. ALIGN FACE OF CABINET 2" OFF FROM FACE OF WALL WHERE APPLICABLE

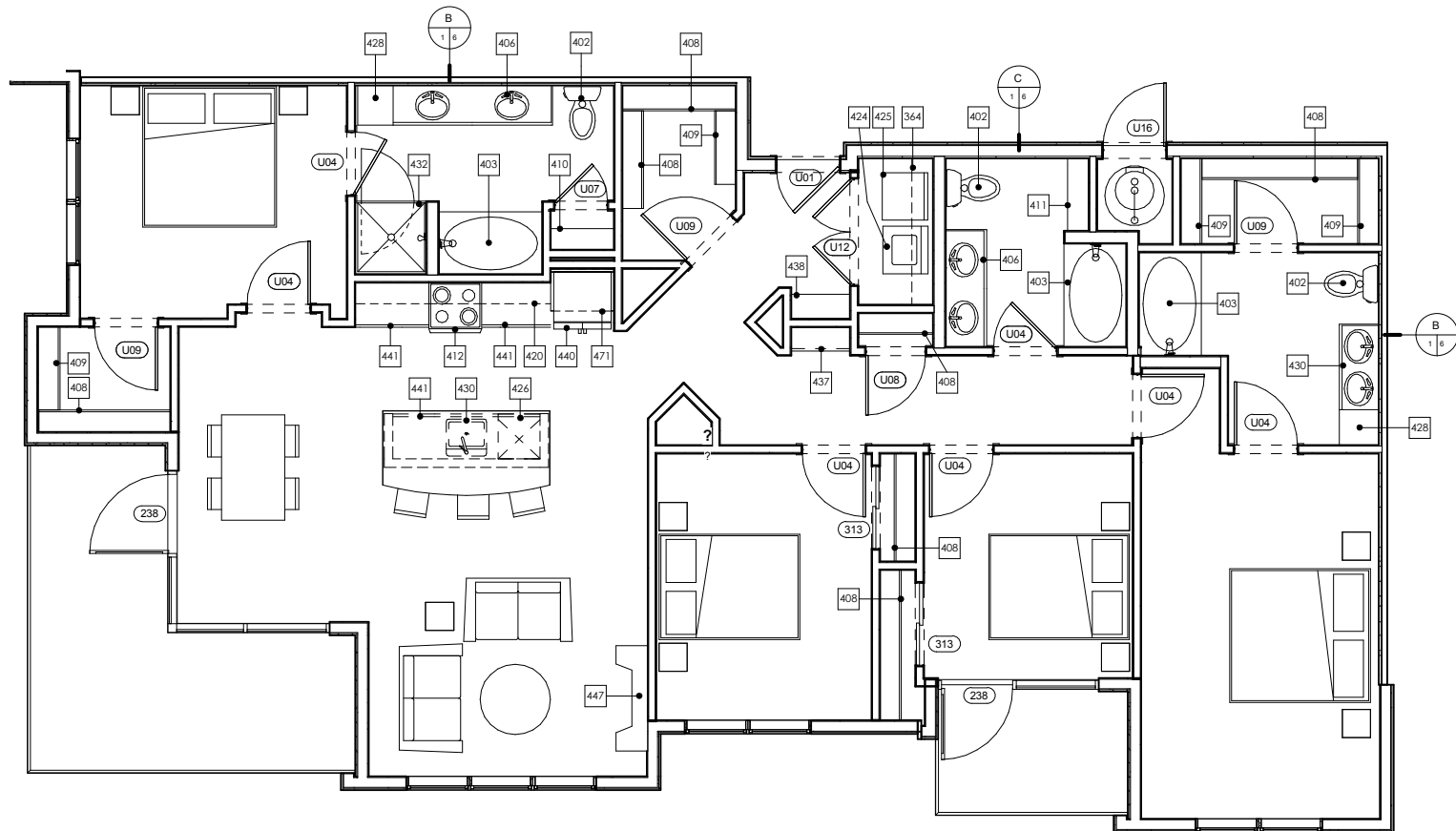
#	TYPE "B" ADAPTABLE DWELLING UNIT - SEE SHEETS A900-A904 FOR CODE COMPLIANT VERBIAGE AND DIAGRAMS
B1	PRIMARY ENTRANCE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.1. RE: 1/A900.
B2	USER PASSAGE DOORWAYS SHALL COMPLY WITH 2003 ANSI 1004.5.2. RE: 1/A900.
B3	CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL COMPLY WITH 2003 ANSI 1004.4. RE: 8/A900.
B6	GRAB BAR REINFORCEMENT SHALL COMPLY WITH 2003 ANSI 1004.11.2. RE: 1-2, 5-7/A902
B7	BATHROOM FIXTURES SHALL COMPLY WITH 2003 ANSI 1004.11.3.1 AND 1004.11.3.2. WATER CLOSETS RE: 5 AND 9/A901. LAVATORIES RE: 7/A901. TUBS RE: 8 AND 12/A901. SHOWERS RE: 1/A901.
B9	KITCHEN SINK SHALL COMPLY WITH 2003 ANSI 1004.12.2.1. RE: 4/A904.
B10	DISHWASHER SHALL COMPLY WITH 2003 1004.12.2.2. RE: 5/A904.
B11	COOKTOP & OVEN SHALL COMPLY WITH 2003 ANSI 1004.12.2.3 AND 1004.12.2.4. RE: 8/A904.
B12	REFRIGERATOR/FREEZER SHALL COMPLY WITH 2003 ANSI 1004.12.2.5. RE: 6/A904.
B15	OPTION A BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.1.
B16	OPTION B BATHROOM SHALL COMPLY WITH ANSI 1004.11.3.2.

UNIT D1			
UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
D1	4 BR 3 BA	1804 SF	3
D1 ALT 1	4 BR 3 BA	1900 SF	3

ACCESSIBILITY LEGEND	
	CENTERLINE APPROACH TO APPLIANCE / WORKPLACE / FIXTURE
	INDICATES FORWARD OR PARALLEL APPROACH

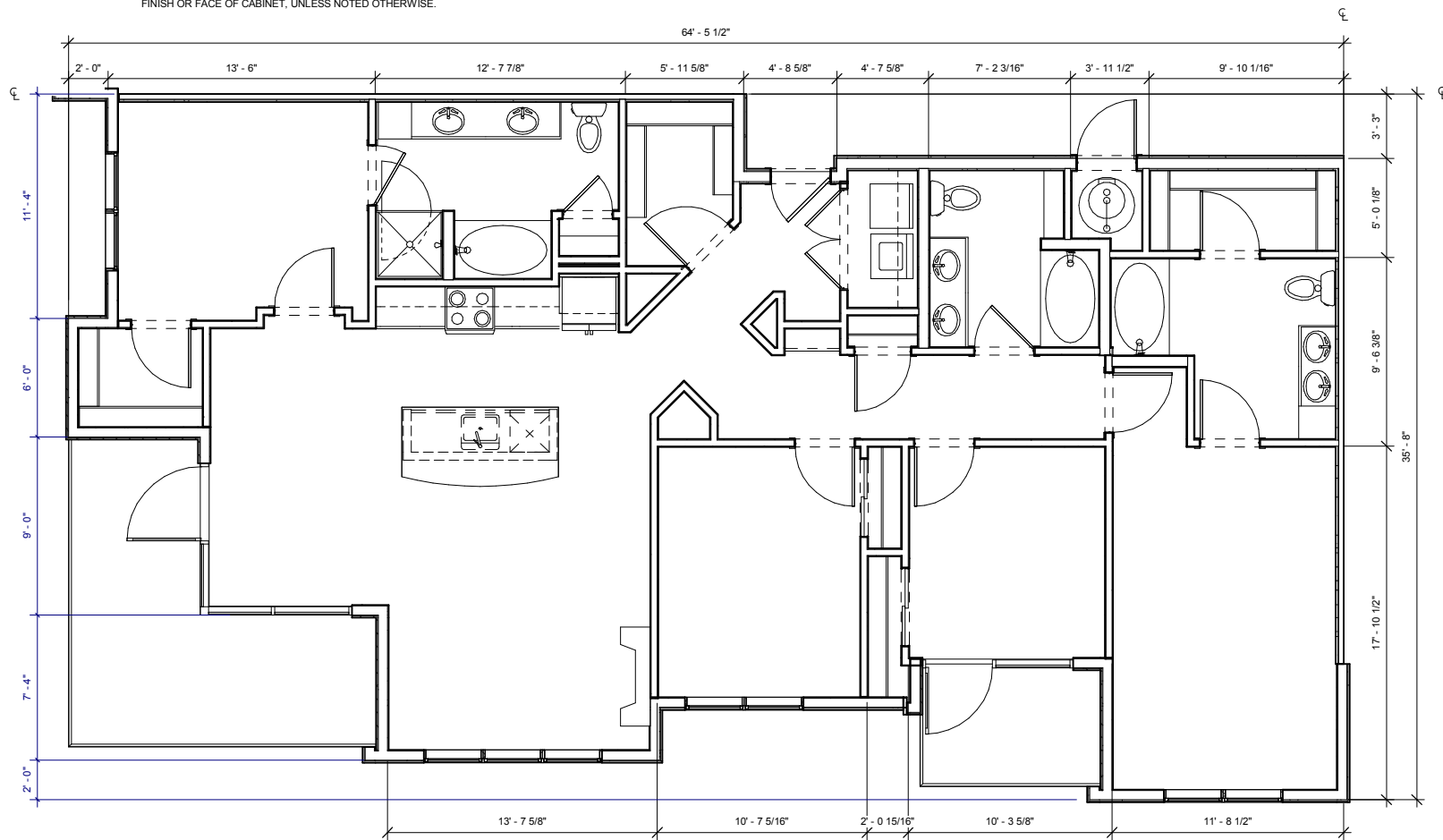
- UNIT PLAN GENERAL NOTES**
- REFER TO LAYOUT PLANS FOR OVERALL BUILDING INFORMATION
 - REFER TO LAYOUT PLANS AND ELEVATIONS FOR EXTERIOR WALL TYPES / MATERIALS
 - ALL TENANT SEPARATION TO BE 1HR. RATED PER WALL TYPE B. RE: A050.
 - DIMENSIONS MARKED WITH "CL" ARE TO CENTERLINE OF TENANT SEPARATION WALL. U.N.O.
 - DOOR JAMBS ARE 4" FROM STUD OR CENTERED IN SPACE. U.N.O.
 - ALL ANGLES ON PLAN ARE 45° FROM THE ORTHOGONAL. TYP. U.N.O.
 - SLOPE FLOORING TO FLOOR DRAINS AT MECH. ROOMS ADJACENT FINISH FLOORING TO EXTEND UNDER APPLIANCES.
 - MECH. ROOMS TO HAVE CONCRETE FLOOR FINISH. ALL CORRIDOR WALLS ARE WALL TYPE C. 2X4. U.N.O.
 - ALL INTERIOR WALLS ARE 2X4 WALL TYPE D. U.N.O.
 - WHERE CORRIDOR WALLS INCLUDE RESILIENT CHANNEL. INSTALL RESILIENT CHANNEL ON UNIT INTERIOR SIDE. NOT ON CORRIDOR SIDE. DO NOT INSTALL RESILIENT CHANNEL OVER WOOD SHEAR PANELS.
 - ASSUME WOOD SHEAR PANELS AT ALL CORRIDOR (1 SIDE) AND TENANT SEPARATION WALLS (2 SIDES). U.N.O.
 - PROVIDE COVERINGS AT ALL UNIT WINDOWS. U.N.O. SPECIFICATION PER INTERIOR DESIGNER.
 - PROVIDE THE FOLLOWING ACCESSORIES IN ALL UNIT BATHROOMS. U.N.O. - TOILET PAPER HOLDER, 36" TOWEL BAR, TOWEL RING AT VANITY WALL, SHOWER CURTAIN ROD, CURVED.
 - FLOOR FINISH TRANSITIONS NOT SHOWN. REFER TO INTERIOR DESIGN PLANS AND SPECIFICATIONS FOR FLOOR FINISHES AND LOCATIONS.

UNIT PLAN LEGEND	
FINISH 1	FLOOR TRANSITION
FINISH 2	FLOOR TRANSITION
CPT	CARPET
TL	TILE
VP	VINYL
PLANK	VINYL
VS	SHEET VINYL
PC	POLISHED CONCRETE
OO	DOOR TAG
	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-8" AFF.
	INDICATES TEMPERED GLASS. RE: UNIT FLOOR PLANS FOR LOCATIONS.
	INDICATES GRAB BAR BLOCKING. RE: UNIT FLOOR PLANS FOR LOCATIONS.



2 UNIT D1 DETAIL PLAN
1/4" = 1'-0"

NOTE: DIMENSIONS SHOWN IN DETAIL PLANS ARE TO FACE OF FINISH OR FACE OF CABINET, UNLESS NOTED OTHERWISE.



1 UNIT D1 DIMENSION PLAN
1/4" = 1'-0"

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No.	Description	Date

CURRENT PHASE

SCHEMATIC DESIGN

ISSUE DATE
06/20/16 PROGRESS

KEY PLAN

SHEET TITLE
**ENLARGED UNIT PLANS
- UNIT D1 ALT 1**

SHEET NUMBER

A325

ARCHITECT'S PROJECT NUMBER Project Number

6/7/2016 4:31:18 PM

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KEYNOTES - UNITS

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KEYNOTES - TYPE 'B' ACCESSIBILITY

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UNIT PLAN LEGEND

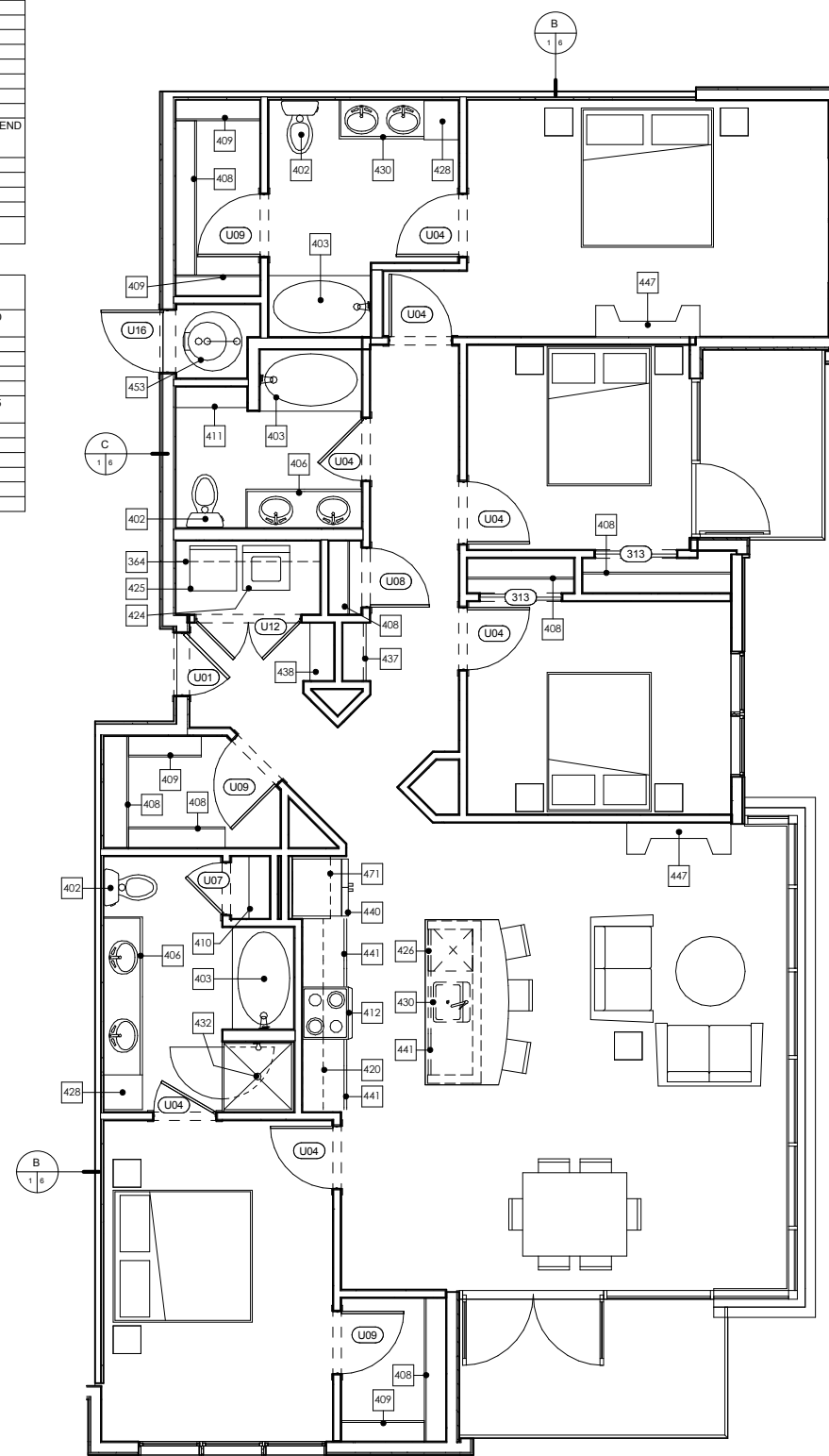
FINISH 1	FLOOR TRANSITION
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CPT	CARPET
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[Symbol]	INDICATES FURRED CEILING FOR MECHANICAL UNIT. 7'-6" AFF
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ACCESSIBILITY LEGEND

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- [Symbol] INDICATES FORWARD OR PARALLEL APPROACH

UNIT D1

UNIT TYPE	UNIT DESCRIPTION	UNIT AREA	OCCURRENCES
D1	4 BR 3 BA	1804 SF	3
D1 ALT 1	4 BR 3 BA	1900 SF	3

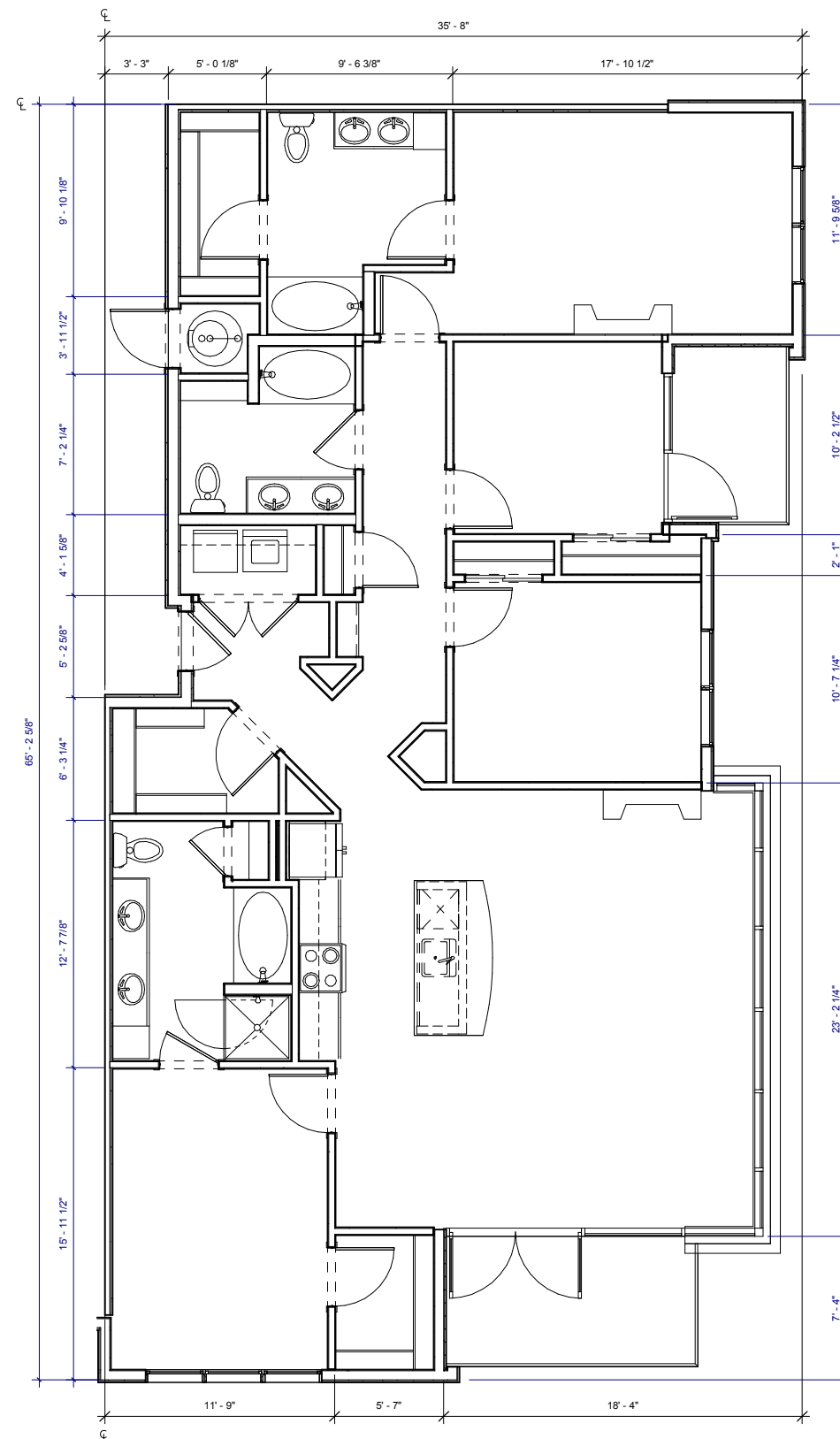


2 UNIT D1 ALT 1 DETAIL PLAN

A325

1/4" = 1'-0"

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1 UNIT D1 ALT 1 DIMENSION PLAN

A325

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