



DILLON

CO L O R A D O

**TOWN OF DILLON
PLANNING AND ZONING COMMISSION**

**REGULAR MEETING
Wednesday, August 2, 2017
5:30 p.m.
Dillon Town Hall
275 Lake Dillon Dr.**

AGENDA

1. **Call to Order**
2. [Approval of the minutes](#) of the June 28, 2017 special meeting.
3. **Public Comments:** Open comment period for planning and zoning topics not on tonight's agenda.
4. **PUBLIC HEARING:** [Consideration of Resolution No. PZ 08-17, Series of 2017](#); A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING A LEVEL III DEVELOPMENT APPLICATION FOR THE DILLON FLATS CONDOMINIUMS, A 24 UNIT CONDOMINIUM BUILDING LOCATED AT 175 AND 205 E. LABONTE STREET, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.
5. **PUBLIC HEARING:** [Consideration of Resolution No. PZ 09-17, Series of 2017](#); A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING A LEVEL III DEVELOPMENT APPLICATION FOR A CONDITIONAL USE PERMIT FOR AN ACCESSORY APARTMENT AT 313 TENDERFOOT STREET, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.
6. **Other Business**
7. **Adjournment**

**TOWN OF DILLON
PLANNING AND ZONING COMMISSION**

**REGULAR MEETING
WEDNESDAY, June 28, 2017
5:30 p.m.
Town Hall**

CALL TO ORDER

The regular meeting of the Planning and Zoning Commission of the Town of Dillon, Colorado, was held on Wednesday, June 28, 2017, at Dillon Town Hall. Chairman Nathan Nosari called the meeting to order at 5:38p.m. Commissioners present were: Amy Gaddis, Jerry Peterson, and Teresa England. Commissioner Charlotte Jacobsen was absent. Staff members present were Dan Burroughs, Town Engineer; Kerstin Anderson, Town Marketing & Events Director; Corrie Woloshan, Recording Secretary.

APPROVAL OF THE MINUTES OF JUNE 7, 2017 REGULAR MEETING

Commissioner Jerry Peterson moved to approve the minutes from the June 7, 2017 regular meeting. Commissioner Teresa England seconded the motion which passed unanimously.

PUBLIC COMMENTS

Chairman Nathan Nosari read a letter to Jerry Peterson from Edwin Baker complaining about a structure on the corner of Gold Run and Tenderfoot Street where a spray foam insulation business is being run out of the home.

Alex Strickland, 71 Lookout Ridge Drive, said that just off of Lookout Ridge Drive there's an area that's been approved for construction, rocks, and whatever's going on over there for a short time. We've been told by the engineer that the short time has been exceeded. Chairman Nathan Nosari said he thought this was a permitting issue and not associated with the resolution, to bring up with the Town during business hours.

CONSIDERATION OF RESOLUTION NO. PZ 07-17, SERIES OF 2017; A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, RECOMMENDING THE APPROVAL OF A LEVEL IV DEVELOPMENT APPLICATION FOR AN AMENDMENT TO BLOCK 6 OF THE EXISTING DILLON RIDGE MARKETPLACE PLANNED UNIT DEVELOPMENT FOR THE APPROVAL OF 3 APARTMENT BUILDINGS WITH A TOTAL OF 36 APARTMENT UNITS LOCATED ON LOT 6 OF THE DILLON RIDGE MARKETPLACE PLANNED UNIT DEVELOPMENT, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.

SUMMARY:

The Town of Dillon has received a Level IV Development Application for a an amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development consisting of 36 apartment units located on Block 6, Dillon Ridge Marketplace Planned Unit Developed, Dillon, Colorado. The proposed Dillon Vistas Apartment Complex consists of three buildings with twelve (12) 2 bedroom units each for a total of 36 units. 18 of the units (50% of the units) will be set aside for workforce housing.

Block 6 is essentially a lot that was created with the approval of the Original Dillon Ridge Marketplace Planned Unit Development (P.U.D.). Block 6 sits along the north side of Lookout Ridge between the Skyline Cinemas parking lot to the west and the Lookout Ridge Townhome development along the east side of the property. The addresses for these apartment buildings have not yet been assigned by Summit County Government.

A Level IV application requires a public hearing between both the Planning and Zoning Commission and the Dillon Town Council for approval.

Public Notice:

The Town posted a sign of the public hearing on the site on Monday June 19, 2017. A newspaper ad was ran in the Summit Daily Journal on Friday June 16, 2017, and a mailing noticing the public hearing time and date was sent out on Friday June 16, 2017 to property owners within 300’ of the proposed development. These dates are all within the required 7-14 day notice period before the Public hearing on June 28, 2017.

Zoning:

The proposed project is located within the Mixed Use (MU) Zone District.

Proposed Planned Unit Development Changes to the Underlying Mixed-Use Zoning District:

The developer is proposing the following dimensional changes which are allowed to be varied by the Town Municipal Code through a Planned Unit Development Process.

- A. The front yard setback along Lookout Ridge Road shall not be less than twelve feet (12’). The Code typically requires 25’ in the Mixed Use Zone.
- B. Allow a 100% residential development without a commercial or retail component.

Workforce Housing:

The Developer is proposing that 50% of the units (18 units total) will be reserved for workforce housing and will be rented to people who can demonstrate that they work within Summit County a Minimum of 30 hours per week. The lease term shall be for a minimum of 180 days or 6 months. The maximum rental rate for each of these units shall be set by the current Summit Combined Housing Authority policies for a 2 bed (3 person) rental unit set at 100% AMI (Area Median Income) at the time the lease is executed.

The Developer will enter into a Workforce Housing Restrictive Covenant (“Restrictive Covenant”) with the Town of Dillon, this agreement will be approved by the Town Council at a future date.

COMPLIANCE WITH DILLON COMPREHENSIVE PLAN:

The Developer believes that their proposal for a 100% residential project within the Mixed-Use Zone meets the Towns objectives for development by providing 36 rental units in Summit County to provide work force housing opportunities within the Town of Dillon and Summit County.

Open Space:

The developer is providing a 10’x6’ Deck for each unit which is 60 square feet. The mixed use zoning district requires that each unit have a minimum of 100 square feet of open space which can be constructed as individual open spaces or combined into a common community area.

The developer is proposing to construct a 1,440 square foot community space between buildings 2 and 3 as shown on the site plan. This accounts for the additional 40 square feet of open space required for

each of the two-bedroom units. The Developer shall submit final construction plans for the 1,440 public community open space prior to the Town Council public hearing for this project.

Off-Street Parking Lot Considerations:

The proposed thirty-six (36) two-bedroom units require 2 parking spaces per unit. The Town code therefore requires a minimum of 72 parking spaces. The developer is providing 73 parking spaces including three accessible parking spaces per Federal Accessibility rules.

Condition (F) of Section 2 of Resolution PZ 07-17, Series of 2017 will require the developer to redistribute the accessible parking so that at least one accessible parking space is close to each of the three buildings.

The maximum grade of the parking lot is at 4% which is in conformance with Town Code.

The applicant is proposing parking spaces that are 9’x18’ with 20’ drive aisles. Prior to review at the Town Council public hearing, the applicant will be required to widen the driveways to 24’ to meet the requirements of Section 16-6-60 of the Town Municipal Code. This means Buildings 2 and 3 will most likely be pushed 8’ closer to the east property line which will still meet code.

BUILDING HEIGHT:

The proposed height of each building from the finished floor of each building to the top of the ridge line is 37’-9 ¾” (37.81’). As measured by the Town of Dillon zoning code the building height for each building is as shown in the table below:

Building Identification	1	2	3
High Existing Ground Elevation @ Building	9052.0’	9055.0’	9050.5’
Low Existing Ground Elevation @ Building	9039.5’	9046.5’	9040.5’
Base Elevation	9045.75’	9050.75’	9045.5’
Allowable Building Height per Code (at 35’)	9080.75’	9085.75’	9080.5’
USGS Finished Floor Elevation	9041.50’	9041.80’	9041.50’
USGS Top of Building Elevation (37’ 9.75”)	9079.31’	9079.61’	9079.31’
	Complies	Complies	Complies

The buildings therefore are actually below the maximum building height allowed of 35’ as measured by Town Code.

SIDE YARDS (SETBACKS):

The Town Code requires the following setbacks in the Mixed Use Zone:

- Front Yard: 25’ Minimum
- Side Yard: 10’ Minimum
- Rear Yard: 20’ Minimum

The proposed buildings meet the setbacks required by code except Building 3. Building 3’s front yard will be approved at 12’ instead of the 25’ minimum required by Town Code. The reduced setback is allowed by the Town of Dillon PUD process.

Lot Coverage:

The proposed development will be under the 40% maximum allowable footprint allowed by Town Code.

UTILITIES:

The proposed project is within the original Dillon Ridge Marketplace Planned Unit Development, so water and sewer services have already been stubbed into the property. A new fire hydrant will be installed and individual building water and sewer services will be constructed to each of the buildings.

DRAINAGE:

As part of the original PUD a storm sewer pipe was stubbed into Block 6 to accept the drainage from the development and pipe the storm water to the regional detention ponds for Dillon Ridge Marketplace constructed on the south side of U.S. Highway 6 between the Dillon Dam Road and East Anemone Trail.

SITE RETAINING WALLS:

The proposed project has a significant retaining wall complex located behind the buildings along the north and east sides of the buildings. The developer was trying to minimize the height of the development and chose to grade the site from street level at Lookout ridge up to the north.

The proposed retaining walls are proposed to be constructed with a Redi-Rock Ledgstone Textured segmental block wall system. The color will be an earthtone as shown in the attachments.

At the top of the retaining walls the Developer is proposing to build a buck and rail fence which is characteristic in this mountain environment.

PEDESTRIAN CONNECTIVITY:

The proposed project provides a sidewalk connection between the onsite sidewalks and the sidewalk along the north side of Lookout Ridge in conformance with the code.

ARCHITECTURAL GUIDELINES:

The architect has worked with the Town of Dillon Architectural Guidelines and the Town's architectural consultant and believes his development is in conformance with the intent of the guidelines.

STAFF RECOMMENDATION:

Staff recommends approval of Resolution PZ 07-17, Series of 2017.

PUBLIC HEARING:

A **Public Hearing** is required for this resolution.

Tim Crane of Summit Homes Construction presented. They are developing a concept for open space elements to present to Council on July 18. Believe project provides needed housing for the community. Commissioner Jerry Peterson asked if the wetlands were affected. Tim Crane corrected that there aren't wetlands on their area.

Commissioner Teresa England asked where is snow storage? Summit Homes Construction explained it's on perimeter of parking lot. Trying not to use open spaces for snow storage.

Summit Homes Construction engineer explained retaining walls are 15 feet. Behind building two it's 6-7 feet tall. Dan Burroughs, Town Engineer explained how heights are calculated. Commissioner Jerry Peterson asked what the base elevation is for Dillon Ridge. Dan Burroughs, Town Engineer said

they would have to calculate it. This project meets height requirements because they're really digging into the hillside, trying to fit it in there and accommodate a lot of different viewpoints.

Commissioner Amy Gaddis asked where metal will be used in the project. Tim Crane showed where metal siding will be used. Commissioner Teresa England asked if this could be included in the proposal. And also if staff was concerned with the 3 "no's" on the checklist. Dan Burroughs, Town Engineer said it's really a judgement call from you. There are certain things that don't apply. A lot of the architectural standard are creating a nice business storefront downtown, and this is a residential project so those don't apply. This is really the first test of the architectural guidelines. It's up to you to tell us if you think this meets the Mountain Lakestyle vision. Tim Crane explained the flatter the roof the better because the snow will stay on the roof. With a 3-story building you don't want to have snow shed because of it falling. We've tried to design to eliminate gutters. The simpler the better, I think we've found a good balance.

Commissioner Amy Gaddis commented, parking may have to shift to the east to expand drive aisle. Dan Burroughs, Town Engineer said we make this a condition of approval. We're working through that issue to see if there's a way to address this without moving the buildings. The height of the buildings wouldn't change, it would push them into the hills more and make the walls a little taller.

Commissioner Teresa England asked, does this meet firetruck access? Dan Burroughs, Town Engineer replied, Yes. Commissioner Teresa England questioned, will there be landscaping on the Lookout Ridge side? Tim Crane answered, no. Commissioner Amy Gaddis inquired, are you doing landscaping along the theater islands? As a resident, the last thing I want to see is a big parking lot, is there a buffer being created to prevent that? Tim Crane said, yes per Town code. They will be re-landscaping that whole area. Creating buffers around the perimeter on their property to help with that.

Commissioner Teresa England asked, is there only one dumpster on the property? Tim Crane replied, yes and that's enough for the property. Commissioner Teresa England continued, is there any way to give Dillon residents a preference? Dan Burroughs, Town Engineer explained, this never really came up with Council but it's something we can pass along. Danny Teodoru is their attorney and addressed that Town's preference was for people employed by business in the Town of Dillon.

Chairman Nathan Nosari clarified, so we have 18 units that are deed restricted, the rest will be rentals right? They can't be condomized? Dan Burroughs, Town Engineer corrected, not unless they submit an application to change it. The other 18 would be set.

Commissioner Amy Gaddis asked, is it fair to give cheaper units? Tim Crane explained, when Breckenridge looking at AMI's (area median income), it dictates where the unit is. Even with affordable housing, they've used AMI. Deed restricted units will be 30% less than those charged rent. The unit square footage is the same even though they might not have as many windows. Kerstin Anderson, Town Marketing & Events Director interjected, it's absolutely typical, we worked really closely with the housing authority. Tim Crane continued, from the exterior the entrances and look & feel is the same, there are no differences. The fit and finish inside the unit will be different. We're asking the rental units to subsidize the workforce units. These should be very quiet units, something a local wants to live in.

Chairman Nathan Nosari said, in summary the only 2 variance items are setback on road and 100% residents vs the other ratio of 70/30. Dan Burroughs, Town Engineer clarified, what you're doing tonight is making a recommendation to Council.

Summit Homes Construction explained, we don't want more site disturbance than we already have. By doing 24 foot drive aisles it would increase parking by 7%. The smaller we can make the parking lot the more sustainable it is. Commissioner Teresa England suggested, could we strike this? Dan Burroughs, Town Engineer said, yes it is a recommendation to Council.

Commissioner Jerry Peterson asked, how wide are the driveways coming into the parking lot? Dan Burroughs, Town Engineer replied, 20 feet. The fire department does a pretty good job with that.

Chairman Nathan Nosari opened the public hearing at 6:43 p.m.

Jan Bittner, 94 Lookout Ridge Dr. Question: A lot of these buildings are very nice when built but because of occupancy overload they can deteriorate. Does the Town have a limit on how many people can occupy a unit? Dan Burroughs, Town Engineer summarized, it's no more than 3 unrelated people. So, we don't have anything specific to that. Kerstin Anderson, Town Marketing & Events Manager said, she is director of project and we are looking at documents, the purchase and sale agreements. Danny Teodora attorney for Summit Homes Construction said, there are several ways to address this. All of the affordable AMI units set on the number of residents for units. It's addressed in the Town Code. Commissioner Teresa England questioned, don't those residents also enter into a lease with you, and won't that lease say you can't exceed? Danny Teodora, yes. All those things will be in place.

Jeff Kistler, 34 Crown Ct: Is there any guest parking accommodated for? Chairman Nathan Nosari, the answer currently is they have 73 spots, one spot extra, so that's 2 spaces per unit. I do not think there is guest parking. Unknown Person continued, that's a concern because we do have guest parking and I fear they will use out guest parking. And are there sidewalks because they are going to be cutting through Lookout Ridge. Dan Burroughs, Town Engineer, that's their property.

Commissioner Nathan Nosari, are you entering into an agreement with the theater to have overflow parking. Tim Crane, not something we had thought of but something we can consider. We met code by providing 2 spaces. It's something we could look at but haven't thought of. Our intention is to meet Town Code.

Scott Gelman, Lookout Ridge Attorney, 73 Lookout Ridge. One of the main concerns of the HOA is that our community is most impacted by this development. Movie theater is probably very happy about it. Having not been contacted or consulted by the developer we have a lot of issues we'd like to address. First, what I understood developer is that he has experience with landscape buffering but a lot of trees get cut down because they get too large. We have a lot of area with a lot of views, there's no way for the HOA to understand where view sites will be. We have no information regarding the effect of lighting on the units. We have no information on what possible landscape buffer could be built. We're not suggesting anything because we don't know what the side lines are. It's hard for us to see what the impact of this development will be. The whole concept of the landscaping above the fence has not been addressed. We'd like a better understanding of what this could be. We also have a concern about overflow parking. Historically if there's a great movie there is overflow parking going all the way up our road. We are very concerned about the amount of traffic for people looking for parking and their being no guest parking. Our community is significantly impacted. We just think if something's going to be built it should be considerate of our property. We would like an ability to understand how this whole project will impact Lookout Ridge. We don't have any depictions of what it will look like from the top of the ridge looking down, and everything else that's part of the parcel and being their neighbor. We'd like a chance to work with the developer and have our concerns addressed and have something that works for both sides.

Alex Strickland, 71 lookout Ridge. I have a number of concerns. I was looking at the elevations. My wish would be that 9039 be the height of all the buildings to minimize our impact and our views. The elevations

are very nice, but I haven't seen what any elevations will be from the back of this. What is the back of this going to look like? The back is what I'm going to look at. Our property used to have No Parking on the street, that was all for fire access. None of us in the development has been able to park on the street but the theater overflows. The reason they want to go to our development is because it's nearly flat. No sidewalks in our development. If these are workforce people, how are they going to get to the Town of Dillon? My concern is they're going to cut through our property. My concern is if you put big Ponderosa Pines in landscaping those are going to grow and impact our views. The South landscaping element I'd wish for it to be something lower. On the east side, shrubbery or something in there 5-10 feet high that could be managed. Are we doing anything to increase the width of Lookout Ridge Drive, to me it seems that could become a real bottleneck. I don't know if underground parking is a possibility. Commissioner Amy Gaddis asked how many units are in Lookout Ridge? Alex Strickland replied, 90. Commissioner Amy Gaddis asked, and how many parking spaces? Alex Strickland replied, Garages plus parking. Reality is I think there are going to be a lot more people than the 144 they're allocating. 72 bedrooms with 2 in each is how I got to 144, and they're going to have friends that come visit. They're going to overflow to Theater or our development. How are we going to address this? It's going to force us all to have parking tags.

Gail Shears, 75 Lookout Ridge Dr, Are pets allowed in rental situations. Do we have dogs barking with owners away all day? Another comment, with 90 units in Lookout Ridge we have 3 dumpsters. After one week these dumpsters are full beyond capacity, and a lot of our owners are 2nd home owners. If we have a development with workforce housing, that's a lot of full time units. One dumpster is not going to be enough.

Jim Whiteley, 30 Skyline. I looked at the drawing, I have a concern with snow removal. What I saw I.D.'d as potential snow storage is also landscaping. Snow and landscaping do not mix, it will eventually kill your landscaping. There need to be at least 3 dumpsters. They will get rid of large items and it will be sitting on the side. Parking, there is no guest parking and you need to identify handicapped parking and who that's accessible for. Teresa, it's a private property, so the accessible act only applies to public. Tim Crane, they have provided 3 ADA parking spots, there are 12 ADA units.

Priscilla Ledbury, 39 Skyline Dr. Safety questions. Concerned that building #3, talking about it being only 12 feet from the road. That nice looking design of the building has a lot more than 12 feet from the curb. Any of the people who are there are going to be coming out of their houses, and they're only 12 feet away from the road. If Dillon has a zoning law that requires 25 feet I don't see why that building can't be moved and you can have zoning the way it should be. Children, a dog running out, while people are going by. Also concerned there will be 2 exits, one going into Theater, and one going into Lookout Ridge. I see a lot more people going into Lookout Ridge than the other way. From a safety perspective you could block off that drive like Lookout Ridge has done between the Church. As far as workforce housing, you're talking about a 2 bedroom apartment with 3 people who are working in the County. Or is that 1 adult out of 3 adults who could live there that actually have to be working in the County. Does one person get the permit, and then how many children? There are a lot of things that haven't been considered.

Bob Kinder, unit 64, also face the Gore Mountain Range. It seems to me low income housing is needed everywhere but it seems this site is overdeveloped for its size. You're being asked so many variables to the code I don't know how you keep this all straight. There is no answer to your snow removal. Are you going to push it in the street or take up parking spaces? Why 3 units not 2 so you can lower walls and increase parking. You're trying to improve a development that's already overdeveloped. What about kids going around fences and jumping off retaining walls? I have same concern as others, overcrowding. People are going to stuff as many people in there as possible. I just think it's overdeveloped for what you're trying to do.

Chairman Nathan Nosari, what's the size of the lot? Dan Burroughs, Town Engineer, 1.8 acres. Chairman Nathan Nosari, What does our zoning allow for, if it was in the Core area, how many condos? Dan Burroughs, Town Engineer replied, Town Center is a completely different animal.

Janet Kinder 64 Lookout Ridge. The 20 to 24 difference in parking aisles, we're talking SUV's. I can't imagine having just 20 foot for SUV's and trucks. I see it as a major problem and a concern. I was also wondering what AMI refers to. Dan Burroughs, Town Engineer explained, Area Media Income. Janet Kinder asked, are you aware of any other units. I read it was each city's charge to provide percentage of housing based on population. Dan Burroughs, Town Engineer answered, we are building for all of Summit County not necessarily our percentage. Janet asked, how is this impacting that vs what Keystone and Breckenridge are doing. Chairman Nathan Nosari said, I work in Breckenridge and they are very proud of their efforts. From perception Breckenridge is outperforming. Commissioner Teresa England added, the County can't impose restrictions. Janet continued, will the storage accommodate bikes and larger items? Things will go out on the deck if not. Also, the height of the fence on the retaining walls, what are the materials. Dan Burroughs, Town Engineer explained, Buck & Rail. Janet, is there any enforcement code like we have in our HOA rules? Dan Burroughs, Town Engineer said, there are municipal codes in place, if you're asking for a specific covenant, state it. They can come up with their own covenants but the Town laws would work. Make a list of good neighbor things you'd like. Janet expressed, unless very strictly maintained it's going to be very negative.

Commissioner Amy Gaddis asked Tim Crane and his team, in terms of storage and skis and all of that, are their storage units, size, or how are you handling that? Tim Crane said, in your plans there is an entry storage closet right inside the door. The entry closet is 4x4. There's a separate linen closet and there are individual closets 5x3 in each room. We will restrict no storage on decks. Chairman Nathan Nosari asked, where are bikes, this is a biking community. Tim Crane's Team responded: Community storage area.

Commissioner Amy Gaddis asked, in regards to side setback, is it just the end of the building that's impeding? Tim Crane explained, it's the deck and back portion that's impeding. That's why we're asking for a modification on this PUD. Commissioner Amy Gaddis clarified, so really the last unit is the only unit we're talking about. Dan Burroughs, Town Engineer replied, yes. Tim Crane said, one of the things I've always been proud of, it's uncanny how the finished project turns out according to the design. It is an accurate representation of what we're doing. Chairman Nathan Nosari requested, Could we get a 360° view? Tim Crane answered, that is something we could provide.

Commissioner Teresa England, what's the traffic study? Dan Burroughs, Town Engineer, there wasn't one. Lookout Ridge Road exceeds the Town standard and there's no real traffic on it now. There are 90 units in Lookout Ridge and there's not a traffic problem other than when a really big movie gets out. Typically we don't allow parking on the streets overnight. The existing road between Block 6 and the movie theater is 30 feet wide. Town code allows for 24. I believe Dillon Ridge is extra large too. The sidewalk goes right up to the property line.

Commissioner Teresa England asked, are you opposed to putting landscape along the side. Tim Crane answered, no. Commissioner Amy Gaddis asked, are you opposed to adding more parking. Tim Crane's Team replied, no, that's part of snow storage. Commissioner Teresa England continued, could it be guest parking then snow storage as needed, marked as such? You're a developer, do you have a management company that will actively manage this. Tim Crane said, yes, we're better setup than most management companies to maintain. Chairman Nathan Nosari inquired, do you currently have any apartment complexes that you manage? Tim Crane said, we have 6 units in Dillon Valley and 4 units in Frisco. On the dumpster we'll have multiple pickups, Wednesday and Friday. This is something we do regularly in other neighborhoods we've built.

Chairman Nathan Nosari read an email received 06/24/2017 from Cora & Donald Hankins, owners of 45 Lookout Ridge Dr expressing concern that the proposed apartment complex will affect their view and have a negative impact on their property value. Perhaps the height of the buildings needs reduced to two stories instead of three on the two buildings that are closest to Dillon Ridge Road.

Chairman Nathan Nosari read an email received 06/26/2017 from Jim Whitely, full time resident Lookout Ridge questioning 1) size of the units – it appears there is insufficient parking, 2) is there designated snow storage or are they hauling away, 3) the designated trash doesn't appear to have room for 2 dumpsters – they will fill one in less than a week, 4) will the height block the current view, 5) what will be done to control noise and traffic, 6) what is the overall building schedule for the complex?

Chairman Nathan Nosari closed the public hearing at 7:47 p.m.

Commissioner Teresa England asked, was public notice met and was the HOA itself notified? Corrie Woloshan, Recording Secretary confirmed, yes it was sent to the HOA and individual owners. Dan Burroughs, Town Engineer replied, yes, it was mailed, posted, published according to 7-14 day criteria. We sent notice to everyone within 300 feet. Chairman Nathan Nosari asked, are there any other properties that are impacted? Dan Burroughs, Town Engineer said, yes, some on the North side of the property and we sent notice out to everyone.

Commissioner Amy Gaddis, the zoning of this area, has it changed recently? Dan Burroughs, Town Engineer explained, no this is mixed use. Commissioner Amy Gaddis clarified, so when everyone bought they were aware.

Commissioner Teresa England, I'm ok with the resolution other than the colors and materials. There's a clarification on the metal. Chairman Nathan Nosari asked, do you want to add view sites? Commissioner Teresa England, If a level 4 development application doesn't require that I don't think we can request that. Commissioner Amy Gaddis said, I don't see a need, that it was an obstruction. Commissioner Teresa England expressed: thought, should we suggest that the developer should listen to the good neighbor comments. Commissioner Amy Gaddis asked, could we recommend that they look at a parking option? The setback in that area is not as significant as I'd thought. Chairman Nathan Nosari asked Tim Crane what kind of community outreach did they have? Tim Crane, We reached out to the Lookout Ridge Community and the Board. I feel remiss not trying harder. I presented my information and they declined. I'd be willing to meet with the HOA board.

Commissioner Amy Gaddis mentioned, looking at topography plan and elevation of the roof, is it not clear that there's not an issue? Is it a fair request that we put elevation tags along that fence, and then a couple of elevation tags along the roofs to present to Council? Dan Burroughs, Town Engineer said, yes, that's a fair condition.

Commissioner Teresa England moved to approve Resolution NO. PZ 07-17 Series of 2017 with the following conditions.

- 1) That the developer use best efforts to meet with Lookout Ridge HOA to discuss mitigation for good neighbor purposes.
- 2) That C be modified to have a re-submittal of the materials and colors to correctly identify the location of the metal elements on the buildings.

- 3) That the site plan be modified before it goes to Town Council to identify the elevation from sea level for the top of the property line and the top of each building along five (5), 100 foot increments of the property line adjacent to the town homes and roofs.

Commissioner Jerry Peterson seconded the motion, which passed unanimously upon roll call vote.

ELECTION OF CHAIRMAN OF THE PLANNING AND ZONING COMMISSION

Commissioner Teresa England nominated Commissioner Amy Gaddis as Chairman of the Planning and Zoning Commission. Commissioner Nathan Nosari seconded the nomination, which passed unanimously upon roll call vote.

Commissioner Teresa England volunteered as Vice Chairman of the Planning and Zoning Commission which passed unanimously upon roll call vote.

DISCUSSION ITEM

Dan Burroughs, Town Engineer asked: Do you have any more comments or feels, do you believe in an absolute height? Commissioner Jerry Peterson commented, it's a matter of occupancy. Commissioner Amy Gaddis expressed, I worry if we set a number everyone's going to refer to it, that's what they're going to build their case on. Dan Burroughs, Town Engineer, That's what we have right now. What we're trying to do is have more communication with a developer. If someone wants to build something that's 4x the height I'm going to say it's not compatible with our Comprehensive Plan. As a staff we're struggling with this because Council doesn't want us to turn away applications, but at the same time they don't want us to make decisions for them. After the last issue with the hotel they don't want to see something like that again. We're looking for a framework. Would you support the previous proposal that we would cap it at 40% if they met all the criteria? Commissioner Teresa England stated, absolutes bother me. I'm ok with the 40%, it's based on the underlying zoning restrictions.

OTHER BUSINESS

Chairman Nathan Nosari introduced Kevin Stout, the new Planning and Zoning Commissioner.

Commissioners thanked Nathan Nosari for all his hard work. We have a formal proclamation from the Mayor on July 18th.

Corrie Woloshan, Secretary to the Commission to contact Tom Breslin, Town Manager regarding how best to handle Commissioner Charlotte Jacobsen's lack of presence and participation in Planning and Zoning, does she want to continue?

ADJOURNMENT

There being no further business, the meeting adjourned at 8:38 p.m.

Respectfully submitted,

Corrie Woloshan

Corrie Woloshan
Secretary to the Commission

RESOLUTION NO. PZ 08-17
Series of 2017

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING A LEVEL III DEVELOPMENT APPLICATION FOR THE DILLON FLATS CONDOMINIUMS, A 24 UNIT CONDOMINIUM BUILDING LOCATED AT 175 AND 205 E. LABONTE STREET, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.

WHEREAS, the Planning and Zoning Commission of the Town of Dillon (“Planning Commission”) has received a Level III Development Application from Dillon Ridge Investments, LLC (the “Developer”) for the Dillon Flats Condominiums (“Application”), consisting of a 24 unit condominium building and its associated parking located on 175 and 205 E. LaBonte Street, Dillon, Colorado; and

WHEREAS, the Planning Commission has determined that the Application is complete; and

WHEREAS, following the required notice, a public hearing on the Application was held on August 2nd, 2017, before the Planning Commission; and

WHEREAS, following the public hearing the Planning Commission has made certain findings of fact regarding the Application and has determined that certain conditions which are reasonable and necessary to and relate to impacts created by the development should attach to the approval of the Application for the Dillon Flats Condominiums.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF DILLON, COLORADO, AS FOLLOWS:

Section 1. That the Planning Commission, following the required notice, held a public hearing on August 2nd, 2017 on the Application for the Dillon Flats Condominiums, and following said public hearing makes the following findings of fact:

- A. That the Application is complete.
- B. That the Application meets the applicable Town of Dillon Municipal Code (“Code”) requirements.
- C. That the Application is compatible with the Core Area Zoning District and is compatible with surrounding uses.
- D. That the Application is in general compliance with the Town of Dillon Comprehensive Plan.

E. That the Application provides a significant workforce housing component.

Section 2. That the Planning Commission hereby approves the Application and the Level III Development Permit for the Dillon Flats Condominiums located at 175 and 205 E. LaBonte Street, Dillon, Colorado with the following conditions:

- A. The Developer shall enter into a Development Agreement (“Agreement”) with the Town of Dillon for the proposed public improvements adjacent to 175 and 205 E. LaBonte Street and shall meet all the obligations and requirements contained therein prior to issuance of a certificate of occupancy for the building.
- B. The Developer shall enter into a Restrictive Covenant and Agreement for the provision of workforce housing (“Restrictive Covenant”) with the Town of Dillon for the Dillon Flats Condominiums, containing the provisions as follows:
 - 1. Developer shall dedicate in perpetuity six (6) deed restricted units, equaling twenty five percent (25%) of the total units in the development to serve as local workforce housing. Local workforce housing is defined as persons living in Summit County full time and working in Summit County a minimum of thirty (30) hours per week.
 - 2. Two (2) of the units will not be subject to any maximum purchase price restrictions.
 - 3. The maximum purchase price for four (4) of the units will be set at the Area Median Income (“AMI”) levels set forth in the approved agreement for Disposition and Development of Lots 16R, 17A and 17B as approved and executed by the Dillon Urban Renewal Authority at a later date.
- C. All storm sewer inlets, manholes and pipes located on Lots 17A and 17B shall be considered private and maintained by the developer in perpetuity.
- D. The Developer shall submit final construction plans for the street improvements on E. LaBonte Street for review and approval based on the requirements for the development agreement for this project.
- E. The Developer shall grant additional sidewalk and access easements for the public sidewalks being constructed on Lots 17A and 17B. The Developer shall grant a 4’ wide snow storage easement along E. LaBonte Street adjacent to the back of the public sidewalk.

**APPROVED AND ADOPTED THIS 2ND DAY OF AUGUST, 2017 BY
THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON,
COLORADO.**

**PLANNING AND ZONING COMMISSION,
TOWN OF DILLON**

By: _____
Amy Gaddis, Chairperson

ATTEST:

By: _____
Corrie Woloshan, Secretary to the Commission

**TOWN COUNCIL ACTION ITEM
STAFF SUMMARY
AUGUST 2, 2017 PLANNING AND ZONING COMMISSION MEETING**

DATE: July 27, 2017

AGENDA ITEM NUMBER: 3

ACTION TO BE CONSIDERED:

Consideration of Resolution No. PZ 08-17, Series of 2017;

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING A LEVEL III DEVELOPMENT APPLICATION FOR THE DILLON FLATS CONDOMINIUMS, A 24 UNIT CONDOMINIUM BUILDING LOCATED AT 175 AND 205 E. LABONTE STREET, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.

DILLON FLATS CONDOMINIUMS SUMMARY:

The Town of Dillon has received a Level III Development Application from Dillon Ridge Investments, LLC (the “Developer”) for the Dillon Flats Condominiums (“Application”), consisting of a 24 unit condominium building and its associated parking located on 175 and 205 E. LaBonte Street, Dillon, Colorado. More specifically, the project will be constructed on Lots 17A and 17B, Block A of the New Town of Dillon subdivision.

The Dillon Flats Condominium proposal includes a single condominium building on Lot 17A with the required parking being provided on Lots 17A and 17B. A new park amenity will be constructed at the South end of Lot 17B at the Northeast corner of Fiedler Avenue and E. LaBonte Street. The project will also continue the Marina Place walking path through the property to Colorado Mountain College.

The unit mix for the building includes three (3) One Bedroom & One Bath Units, seventeen (17) Two Bedroom & Two Bath Units, and four (4) Three Bedroom & Two Bath Units.

DILLON URBAN RENEWAL AUTHORITY (DURA) BACKGROUND:

Lots 17A and 17B were created by the Town of Dillon in 2015 out of underutilized Town Owned land in the Dillon Town Center. These two parcels are the vacant land between Colorado Mountain College and East LaBonte Street. In the fall of 2015, the Town of Dillon requested proposals from the development community for these two lots and also Lot 16R on the north side of Main Street. The Town received two (2) proposals and ultimately decided to move ahead with a proposal for condominiums on Lots 17A and 17B because the proposal has a workforce housing component. The Town of Dillon Town Council passed a resolution earlier this year that allows the property to be transferred from the Town of Dillon to the Dillon Urban Renewal Authority on a date to be determined in September of 2017.

The proposed real estate transfer agreement between the Developer and the Dillon Urban

Renewal Authority is planned to be signed on August 15th, 2017 at a special meeting of the Dillon Urban Renewal Authority to be held at Dillon Town Hall. This agreement sets up the terms of the purchase and sale of the two (2) lots in conjunction with Lot 16R to the Developer and will require that an additional workforce housing covenant and an additional development agreement be executed between the Town of Dillon and the Developer.

PUBLIC NOTICE:

The Town posted a sign of the public hearing on the site on Thursday, July 20, 2017. A newspaper ad was ran in the Summit Daily (Journal) on Friday July 21, 2017, and a mailing noticing the public hearing time and date was sent out on July 19, 2017 to property owners within 300' of the proposed development. These dates are all within the required 7-14 day notice period before the Public hearing on August 2, 2017.

ZONING:

The proposed project is located within the Core Area (CA) Zone District. A multi-family residential project is allowed without a conditional use permit as long as none of the residences are located on the ground floor. In this case, the ground floor of the building is mostly parking and also includes stairwells and an elevator. Therefore the project complies with the use requirements of the CA zone district.

WORKFORCE HOUSING:

The Developer is proposing that 25% of the twenty-four (24) units, a total of 6 units will be reserved for workforce housing and will be sold to people who can demonstrate that they work within Summit County a Minimum of 30 hours per week. Additionally, four (4) of these units will also have a maximum purchase price set by the Summit County Combined Housing Authority based on incomes within the 90% to 130% AMI (Area Median Income) range.

The final unit numbers to be dedicated with the AMI restriction will be finalized in a separate Workforce Housing Restrictive Covenant (“Restrictive Covenant”) that the Developer will enter into with the Town of Dillon. This agreement will be reviewed and approved by the Town Council at a future date and is a condition of the purchase and sale agreement between the DURA and the Developer.

COMPLIANCE WITH DILLON COMPREHENSIVE PLAN:

The Developer believes that their proposal for a 100% residential project above the first floor within the Core Area Zone meets the Towns objectives for development by providing 24 condominium units in the Dillon Town Center to add more residents to the Town Center to support core area business growth. The Comprehensive plan also encourages developments in the Town Center that can add workforce housing opportunities within the Town of Dillon and Summit County.

OFF-STREET PARKING LOT CONSIDERATIONS:

The proposed development requires five (5) Parking spaces for the one bedroom units at a rate of 1.5 parking space per unit; and an additional forty-two (42) parking spaces for the twenty-one (21) two bedroom and three bedroom units based on two units per unit. A total of forty-seven parking spaces are required. The developer is providing 53 parking spaces, 27 on the first level of the building and 26 outside the building.

Unit Type	Quantity	Parking Rate	Parking Required	Parking Provided
One Bedroom	3	1.5 space/unit	5	
Two Bedroom	21	2 space/unit	42	
TOTAL			47	53

Per Town and Federal Code, the Developer is providing three (3) Accessible parking spaces; one is inside the parking structure and the other two (2) are located outside the south side of the building.

The proposed parking lot conforms to the Town Code parking lot design standards and includes 18' x 9' spaces outside the building with a 24' driveway between them.

SIDE YARDS (SETBACKS):

The Town Code does not require any setbacks in the Core Area Zone, so the building complies with Town Code.

LOT COVERAGE:

The Town Code allows a building within the Core Area Zone to occupy the entire lot. The proposed development will provide 0.22 acres of open space, or 29% of the total 0.77 acres of lot area. The project complies with Town Code.

BUILDING HEIGHT:

The Core area zone allows buildings to be 50' high plus an additional 8' for unoccupied vaulted ceilings areas and elevator shafts.

The actual proposed height of the building from the finished floor of the garage to the top of the ridge line is 58'. As measured by the Town of Dillon zoning code the building height for the building is as shown in the table below:

Building Identification	1
High Existing Ground Elevation @ Building	9100.2'

Low Existing Ground Elevation @ Building	9093.8'
Base Elevation	9097'
Allowable Building Height per Code (at 50'+8')	9155'
USGS Finished Floor Elevation	9094.5'
USGS Top of Building Elevation (37' 9.75")	9152.5'
	Complies

The table above demonstrates that the building is actually below the maximum building height allowed as measured by Town Code.

UTILITIES:

The proposed project is located within the Dillon Town Center and water and sewer mains exist on the adjacent streets. The proposed water service to the building will be fed off the 8" water main in E. LaBonte Street. The proposed sewer service to the building will connect to the existing sewer main in Main Street.

DRAINAGE:

The proposed property drains to Dillon Reservoir. A storm sewer system exists in the Town Center and outfalls in Lake Dillon Drive below the Dillon Amphitheater. The proposed development will install a new private storm sewer system between the building and Fiedler Avenue. All onsite storm sewer pipes and manholes are private improvements and will be maintained by the Developer in perpetuity.

SNOW STORAGE:

The proposed development provides the required 25% snow storage for the parking lot onsite. The parking paved surface is 10,240 square feet. The Snow storage required is 2,605 sf and the Developer is providing 2,636 square feet.

ARCHITECTURAL GUIDELINES:

The architect has worked with the Town of Dillon Architectural Guidelines and the Town's architectural consultant and believe that their development is in conformance with the intent of the guidelines. See the attached checklists for additional information.

PEDESTRIAN CONNECTIVITY:

The proposed project provides a new sidewalk along the east side of the property along E. LaBonte Street and the project creates a direct public sidewalk connection between the Marina Place path and Colorado Mountain College.

PRIVATE RESIDENTIAL UNIT OPEN SPACE:

The developer is providing a 6'x20' Deck for most of the units which provides 120 square feet of outdoor open space per unit. The exception to this rule are Units 4, 12 and 20 which have Two(2) 6'x10' decks, which still provides a combined total of 120 square of outdoor open space for each of these units. There is not a specific private open space requirement in the Core Area zone, but the mixed use zone requires a minimum of 100 square feet per two-bedroom for comparison purposes.

ACTION REQUESTED: Motion, Second, Roll Call Vote.
Resolutions require the affirmative vote of a majority of the members present.

STAFF MEMBER RESPONSIBLE: Dan Burroughs, Town of Dillon





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1 SOUTH EAST PERSPECTIVE
A-0 NOT TO SCALE



2 SOUTH WEST PERSPECTIVE
A-0 NOT TO SCALE

LOT 17A & 17B/LA BONTE STREET
DILLON, COLORADO

PERSPECTIVES

JOB	1713
DWN BY	LP
ISSUE	
05/02/17	DURA WORK SESSION
07/27/17	SITE PLAN SUBMITTAL

SHEET

A-0



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LOT 17A & 17B/LA BONTE STREET

DILLON, COLORADO

BUILDING
ELEVATIONS

JOB 1713
DWN BY LP
ISSUE
05/02/17 DURA WORK SESSION
07/27/17 SITE PLAN SUBMITAL

SHEET

A-8



1 SOUTH ELEVATION
A-8 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A-8 SCALE: 1/8" = 1'-0"

ITEM	MATERIAL	COLOR
ROOF:	30 YR. COMP. SHINGLES	SEE COLOR BOARD
EAVE/RAKE:	2X6 & 2X10, MTL/DRIP EDGE	
PRIMARY SIDING:	1X10 HORIZ. WOOD	
1ST ACCENT SIDING:	BOARD AND BATTEN	
2ND ACCENT SIDING:	1X10 WEATHERED WOOD	
3RD ACCENT SIDING:	CORR. MTL.	
DOORS/WINDOWS:	ALUM. CLAD WOOD	
DOOR/WINDOW TRIM:	2x	
OUTSIDE CORNER TRIM:	2x8	
INSIDE CORNER TRIM:	2x8	
DECKS/RAILS:	METAL RAILS AND WOOD NEWELS, CONCRETE DECK	
EXPOSED BEAMS/COL:	GLU-LAM & TIMBER	
1ST BASE:	NATURAL ROCK	
2ND BASE:	VERT. CORRUGATED METAL	

CV:AA Arch\Project 2017\2018\1713 - Lot 17 A & B Drawings\Arch Drawings
FILE: 1713 - Lot 17 A & B Comp Building Eam
PLOT DATE: 7/27/2017



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LOT 17A & 17B/LA BONTE STREET

DILLON, COLORADO

BUILDING
ELEVATIONS

JOB 1713
DWN BY LP
ISSUE
05/02/17 DURA WORK SESSION
07/27/17 SITE PLAN SUBMITTAL

SHEET

A-9



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



July 25, 2017
AAPC # 1713

**Dillon Flats
Lot 17 A & B
La Bonte Street**

**NARRATIVE
Town of Dillon Design Guidelines**

We are proposing a 24-unit residential building on Lot A & B, Dillon Flats, at the corner of La Bonte Street and Main Street. 27 parking spaces with storage spaces are provided under the residences, and 26 surface spaces are also provided. Above the partially buried garage level are 3 stories of residential with 8 units per floor. Each unit is provided with a private deck.

Since our site is between the mountain and lake areas of town, we have incorporated both "Lake" and "Mountain" characteristics into the design. The Town of Dillon Design Standards checklist is attached. Many of the checklist sections are oriented towards a mixed-use project with a commercial/retail ground floor. These items are not applicable to an all residential project as we propose. These are indicated on the checklist with an N/A.

The building elevations are organized in a three part scheme, base, middle, and top. The first story is articulated with a combination of rock and metal siding. The second, third, and fourth stories, or middle, are primarily horizontal siding with some vertical accent siding. The roof creates a dominant top layer, or cap with both gable and shed roofs. The building form is thus expressed; minor base, major middle, and minor top. The ratio is 1:3:1.

The building weight and structure is expressed as a solid connection to the ground, due to the all residential program. The stairs are clearly expressed as projections with a shed roof. Timber structure and metal accents are expressed thru out.



2 CHARACTER & ENVIRONMENT

DESIGN STANDARDS CHECKLIST

LOT 17 A & B DILLON FLATS

SECTION	APPLICANT Y/N	P&Z Y/N	P&Z COMMENTS
DRAW AUTHENTICITY FROM HISTORIC ARCHITECTURE			
Symbolic connection to historic architecture	Y		
DEFINE THE PUBLIC DOMAIN			
2-story datum at buildings taller than 2 stories	N/A		Not common
Building base use(s) meets intent of acceptable uses	N/A		All residential
Base height relates to 2-story datum, where possible	N/A		Not commercial
15' floor-to-floor height at grade level	N/A		Not commercial
Window sills no higher than 36"	Y		
Storefront mullion colors to be dark (other finishes approved on a case-by-case basis)	N/A		Not commercial
Glazing meets or exceeds 60% transparent/40% solid ratio at <u>primary façade</u> base	N/A		Not commercial
Simply detailed storefront design	N/A		Not commercial
Roofs/awnings designed for snowmelt mitigation	Y		
Fabric awning slope 1:3	N/A		None
Permanent awning slope 3:12	N/A		None
Primary façade to have main building entrance	Y		
(2) primary façades for buildings with (3) façades visible from public right-of-way	Y		
Façade materials should wrap corners a min. of 24"	Y		
Blank walls visible to the public are not acceptable	Y		
CREATE COMPLEMENTARY DEVELOPMENTS			
National brands adoption of these Guidelines for exterior architectural design	N/A		Not commercial
TAKE ADVANTAGE OF THE CLIMATE			
Conceal rooftop utilities from sight	N/A		None



3 BUILDING FORM & ARTICULATION

DESIGN STANDARDS CHECKLIST

Lot 17 A & B Dillon Flats

SECTION	APPLICANT Y/N	P&Z Y/N	P&Z COMMENTS
EXPRESS THE BASE, MIDDLE, & TOP			
Articulate building façades into Base, Middle, & Top	Y		
Description of Base, Middle, & Top in Design Narrative	Y		
No overly complex roofs or incompatible roof styles	Y		
Use of proportional rules for Base, Middle, & Top	Y		
EXPRESS THE BUILDING WEIGHT & STRUCTURE			
Description of contextual influence emphasis relative to apparent weight: Mountain or Lake	Y		
BUILDING HEIGHTS & VIEW CORRIDORS			
Modulate façades above 2-story datum to differentiate from building base	Y		
EXPRESS THE ROOF FORM			
Emphasize Top layer that caps building volumes below	Y		
5:12 minimum, and 12:12 maximum roof slope (steeper is acceptable if <u>Jewel building</u>)	NO		4:12 & 10:12 roof slopes
3:12 min. roof slope for projections/permanent awnings	N/A		
No mansard-style roof forms	Y		
Simple, powerful, character-defining roof(s)	Y		
Dormers set in a consistent rhythm, set 3' back from eave edge or projecting past eave edge	Y		
Shed and gable roofs: 24" min. roof overhang at primary façades, 18" min. roof overhang at secondary façades	Y		
Use of structural beams, outriggers, and/or brackets at 18"+ roof overhangs. 2"x2" minimum dimension for exposed support ends	Y		
Roof runoff mitigation plan	Y		
CREATE RECESSES & PROJECTIONS			
Use of projections to protect building entrances	Y		
Concealed drainage at projections	NO		



4 CRAFT, MATERIALS, & COLORS

DESIGN STANDARDS CHECKLIST

Lot 17 A & B Dillon Flats

SECTION	APPLICANT Y/N	P&Z Y/N	P&Z COMMENTS
HIGHLIGHT THE CRAFT			
Utilize or mimic authentic fastening and joinery methods	N		
Pragmatic and highly crafted architectural features	N		
USE LOCAL MATERIALS & TEXTURES			
Minimum of (2) primary façade materials	Y		
Stone heights min. 4"H, with preference for 8-12"H	Y		
Materials wrap building corners min. of 24"	Y		
Ashlar pattern at stone cladding	Y		
Rough-sawn or hand-hewn finish at timbers	Y		
Use of acceptable wood cladding patterns	Y		
Use of metal cladding for roof and/or wall accent only	Y		
Use of acceptable metal wall and/or roof patterns	Y		
Clear glazing ratio of 60% min. glazing to 40% solid	N/A		Not commercial
Clear glazing with no more than 10% light reduction. No opaque films or glass at <u>public domain</u> .	Y		
Stucco at building Middle layer, not Base layer	N/A		No stucco
COLOR PALETTES & ACCENTS			
Darker tone storefront mullion color	N/A		Not commercial
Natural color palette with combination of marine accents (if Lake style influences)	Y		
Façade colors of medium to dark natural tones. Bright colors only used for interventions or minor focal elements.	Y		
Roof colors of dark natural tones (unless galvanized), muted, low reflectivity, natural tones. Bright colors only used for interventions or minor focal elements.	Y		
10% maximum area usable for accent colors on façades	Y		



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LOT 17A & 17B/LA BONTE STREET

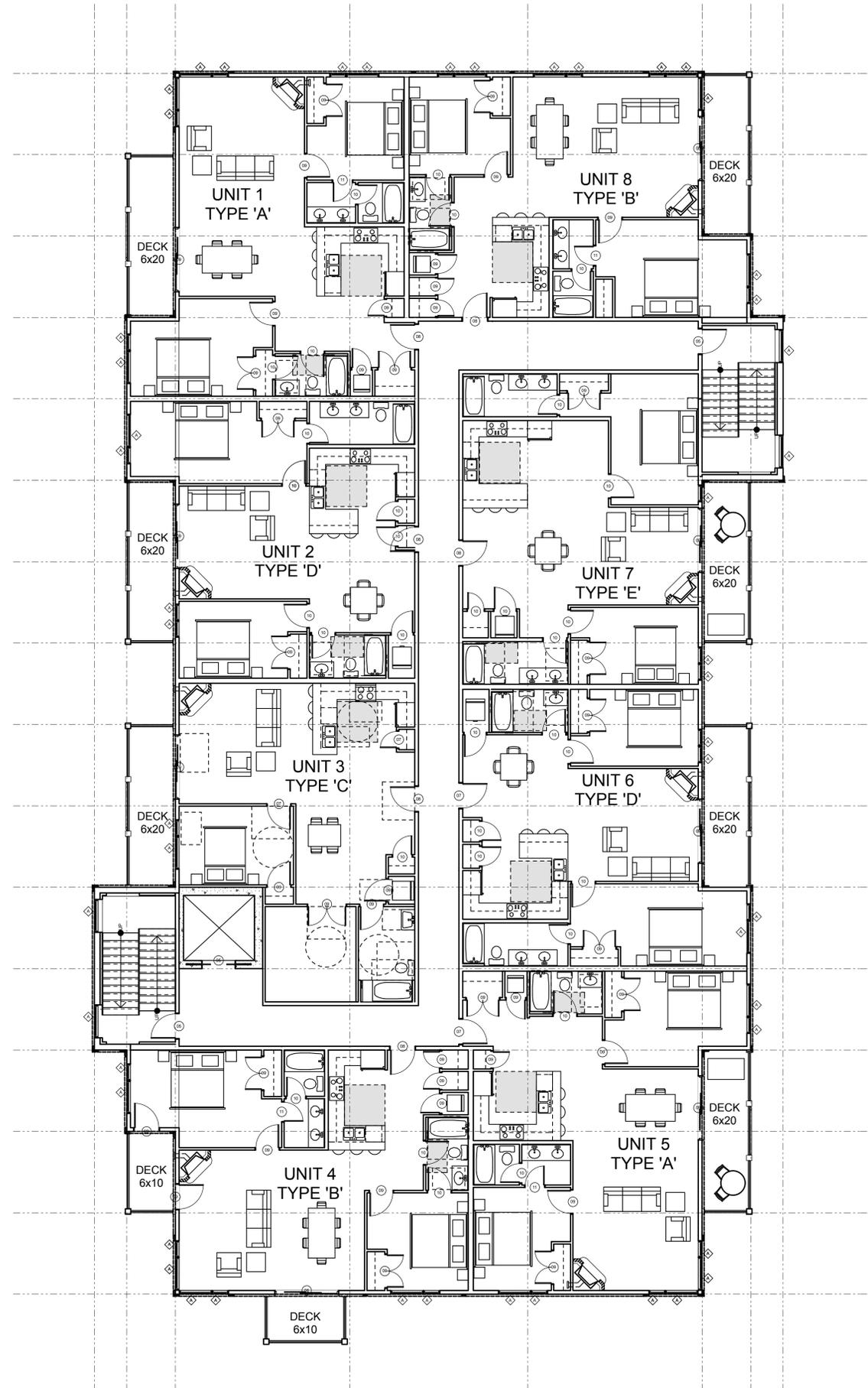
DILLON, COLORADO

1ST FLOOR PLAN

JOB 1713
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ISSUE
05/02/17 DURA WORK SESSION
07/27/17 SITE PLAN SUBMITTAL

SHEET

A-3



UNIT	TYPE	BEDS	BATHS	S.F.	NOTES
1	A	2	2	1,216	
2	D	2	2	1,099	DEED RESTRICTED
3	C	1	1	1,040	DEED RESTRICTED, "TYPE A" ACCESSIBLE UNIT
4	B	2	2	1,173	
5	A	2	2	1,216	
6	D	2	2	1,099	
7	E	2	2	1,168	
8	B	2	2	1,173	
9	A	2	2	1,216	
10	D	2	2	1,099	
11	C	1	1	1,040	DEED RESTRICTED, "TYPE A" ACCESSIBLE UNIT
12	B	2	2	1,173	
13	A	2	2	1,216	
14	D	2	2	1,099	
15	E	2	2	1,168	
16	B	2	2	1,173	
17	F	3	2	1,734	
18	D	2	2	1,099	
19	C	1	1	1,040	DEED RESTRICTED, "TYPE A" ACCESSIBLE UNIT
20	G	3	2	1,646	
21	F	3	2	1,734	
22	D	2	2	1,099	
23	E	2	2	1,168	
24	G	3	2	1,646	
TOTAL		46	2	29,534	
(3)	1-BED, 1-BATH				
(17)	2-BED, 2-BATH				
(4)	3-BED, 2-BATH				

1 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"



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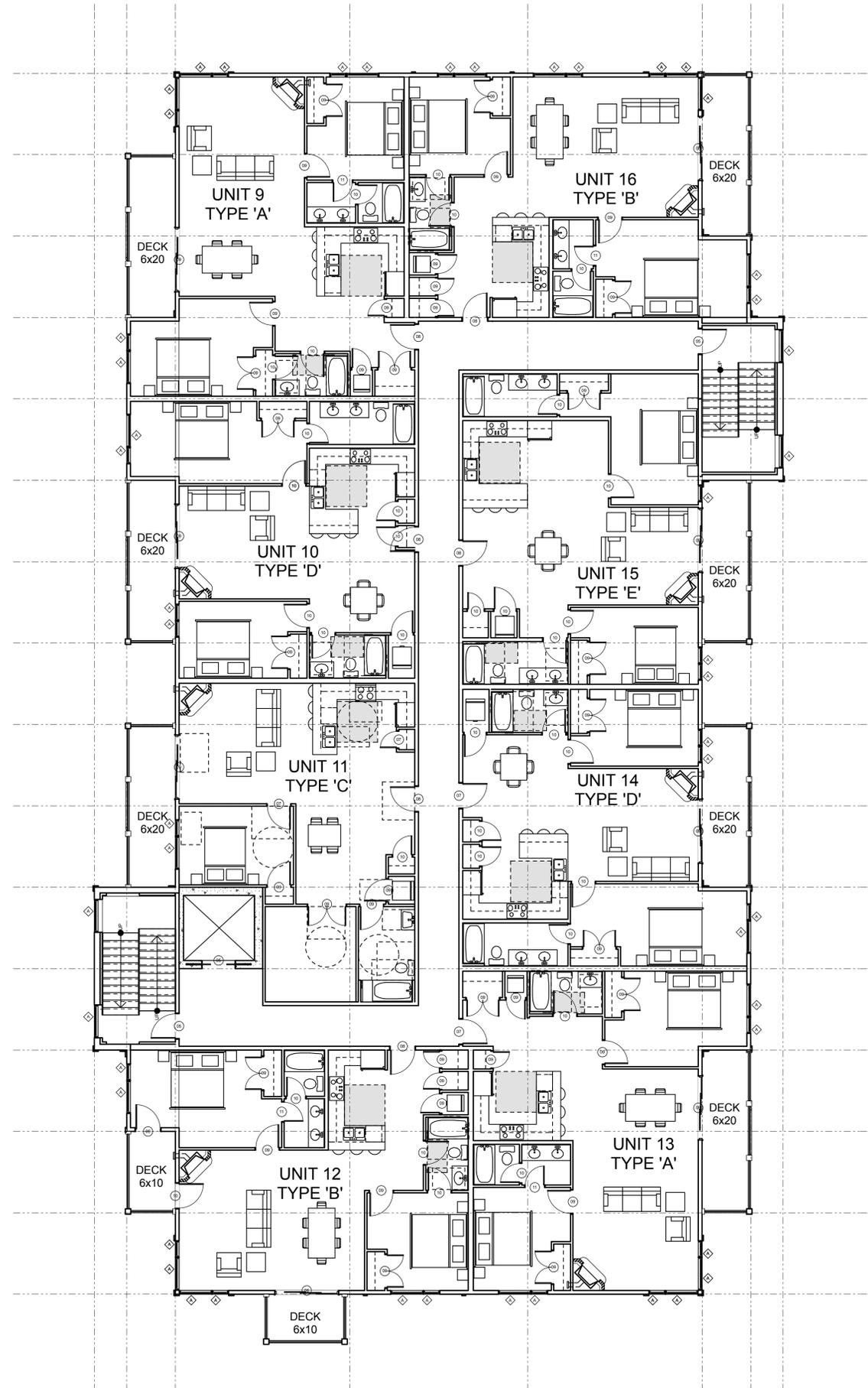
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2ND FLOOR
PLAN

JOB 1713
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05/02/17 DURA WORK SESSION
07/27/17 SITE PLAN SUBMITAL

SHEET

A-4



1
A-4 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



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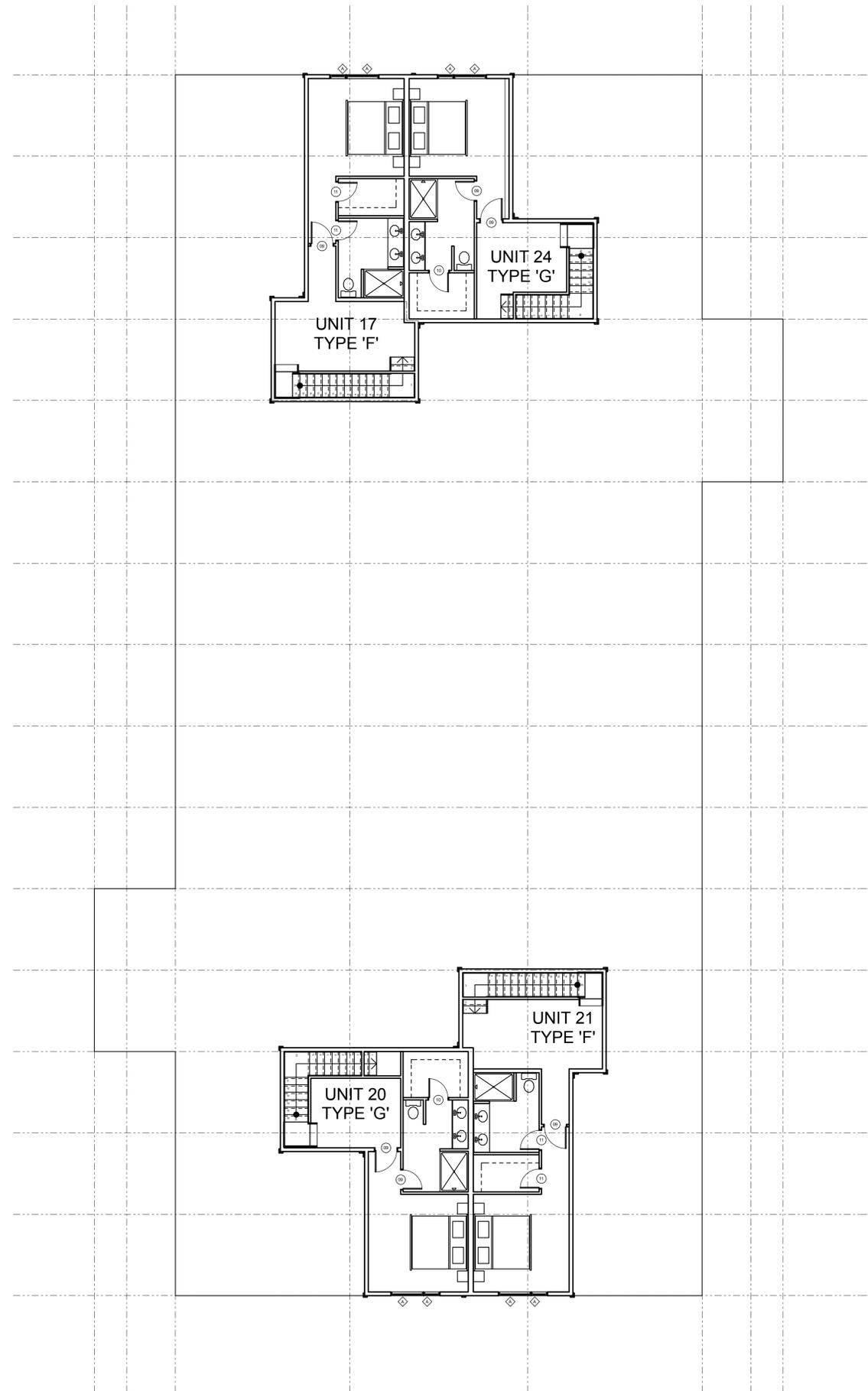
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4TH FLOOR PLAN

JOB	1713
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ISSUE	
05/02/17	DURA WORK SESSION
07/27/17	SITE PLAN SUBMITTAL

SHEET

A-6



1
A-6 4TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

GYM Arch\Project 2017\2018\1713 - Lot 17A & B Drawings\Arch Drawings
FILE: 1713 - Lot 17A&B Comp Building.rvt PLOT DATE: 7/27/2017

LA BONTE STREET/ LOT 17 | OPEN SPACE AND SNOW STORAGE

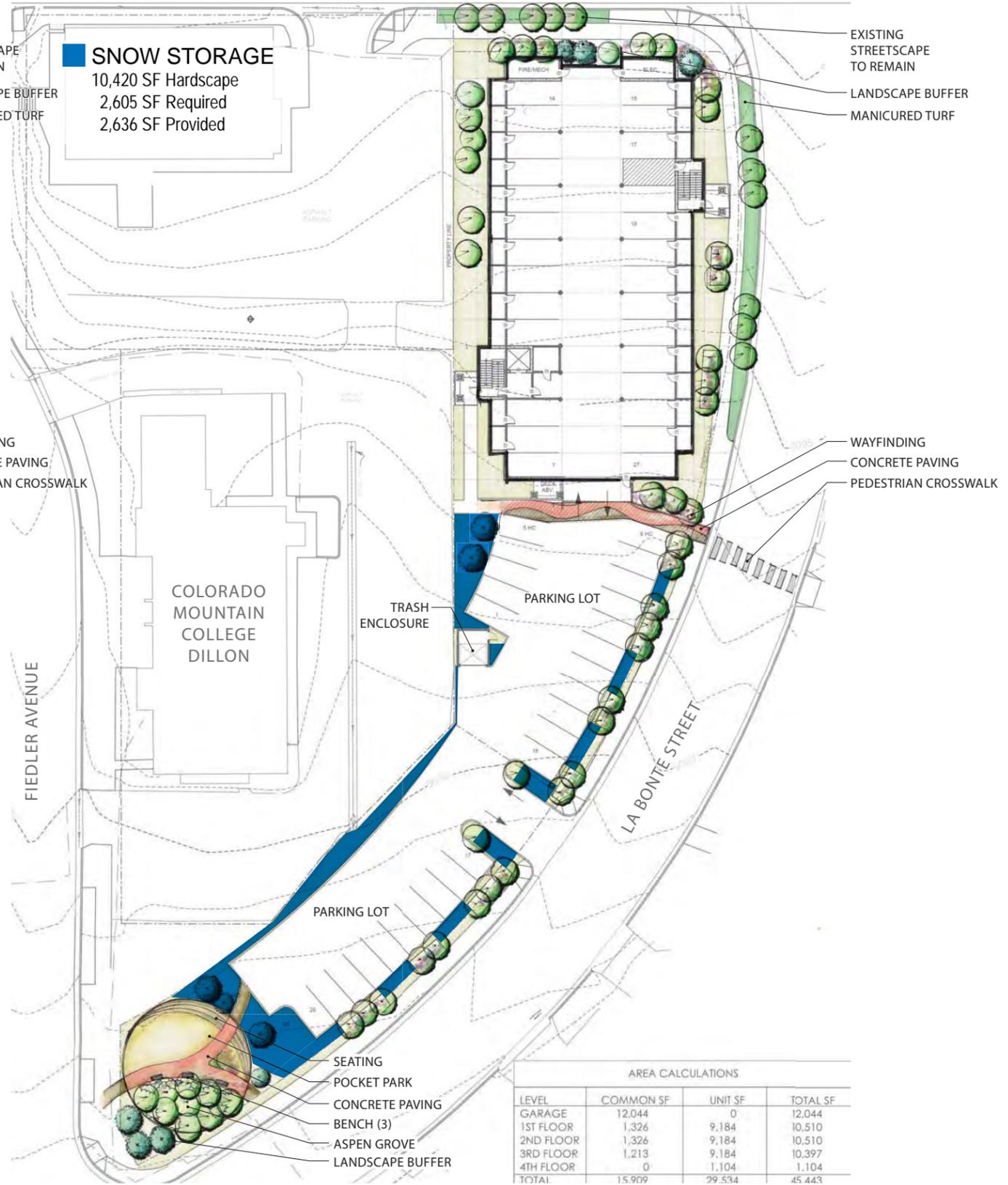
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NORRIS DESIGN
 Planning | Landscape Architecture | Branding
 409 Main St, Suite 207
 PO BOX 2320
 Frisco, CO 80443
 P 970.368.7068

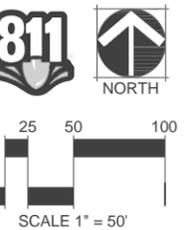
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OPEN & GATHERING SPACE
 EXHIBIT A 07.14.17



SNOW STORAGE
 EXHIBIT B 07.14.17



PLANT SCHEDULE

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
DECIDUOUS TREES				
30	ANG	ASPEN, QUAKING (SINGLE STEM)	POPULOUS TREMULOIDES	1.5" CAL., B&B
7	CAN	SHUBERT CHOKECHERRY	PRUNUS VIRGINIANA 'SHUBERT'	1.5" CAL., B&B
EVERGREEN TREES				
7	BCP	BRISTLEcone PINE	PINUS ARISTATA	6' HT. MIN., B&B
6	CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS	8' HT. MIN., B&B
SHRUBS				
2	MSN	MOUNTAIN SNOWBERRY	SYMPHORICARPOS OREOPHILUS	#5 CONT.
9	NMO	MOUNTAIN NINEBARK	PHYSOCARPUS MONOGYNUS	#5 CONT.
2	RSP	ROCK SPIREA	HOLIDISCUS DUMOSUS	#5 CONT.
15	WOO	WOODS ROSE	ROSA WOODSII	#5 CONT.
ORNAMENTAL GRASSES				
6	BFE	ELIJAH BLUE FESCUE	FESTUCA GLAUCA 'ELIJAH BLUE'	# 1 CONTAINER
17	DEC	TUFTED HAIR GRASS	DESCHAMPSIA CESPITOSA	# 1 CONTAINER

SHORT DRY GRASS SEED MIXTURE

COMMON NAME	% OF TOTAL	LBS. PER 1000 S.F.
HARD FESCUE, VNS	30%	0.6 LBS.
CREeping RED FESCUE, VNS	30%	0.6 LBS.
SHEEP FESCUE, MEKLENBERGER	25%	0.5 LBS.
CANADA BLUEGRASS, RUBENS	10%	0.2 LBS.
CANBY BLUGRASS, CANBAR	5%	0.1 LBS.
TOTAL	100%	2.0 LBS.

- SLOPES OVER 3:1 SHALL BE HAYED AND TACKIFIED OR NETTED
 - SPREAD SEED AT A RATE OF 3-4 LBS PER 1000 SF

LANDSCAPE REQUIREMENTS

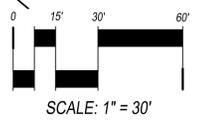
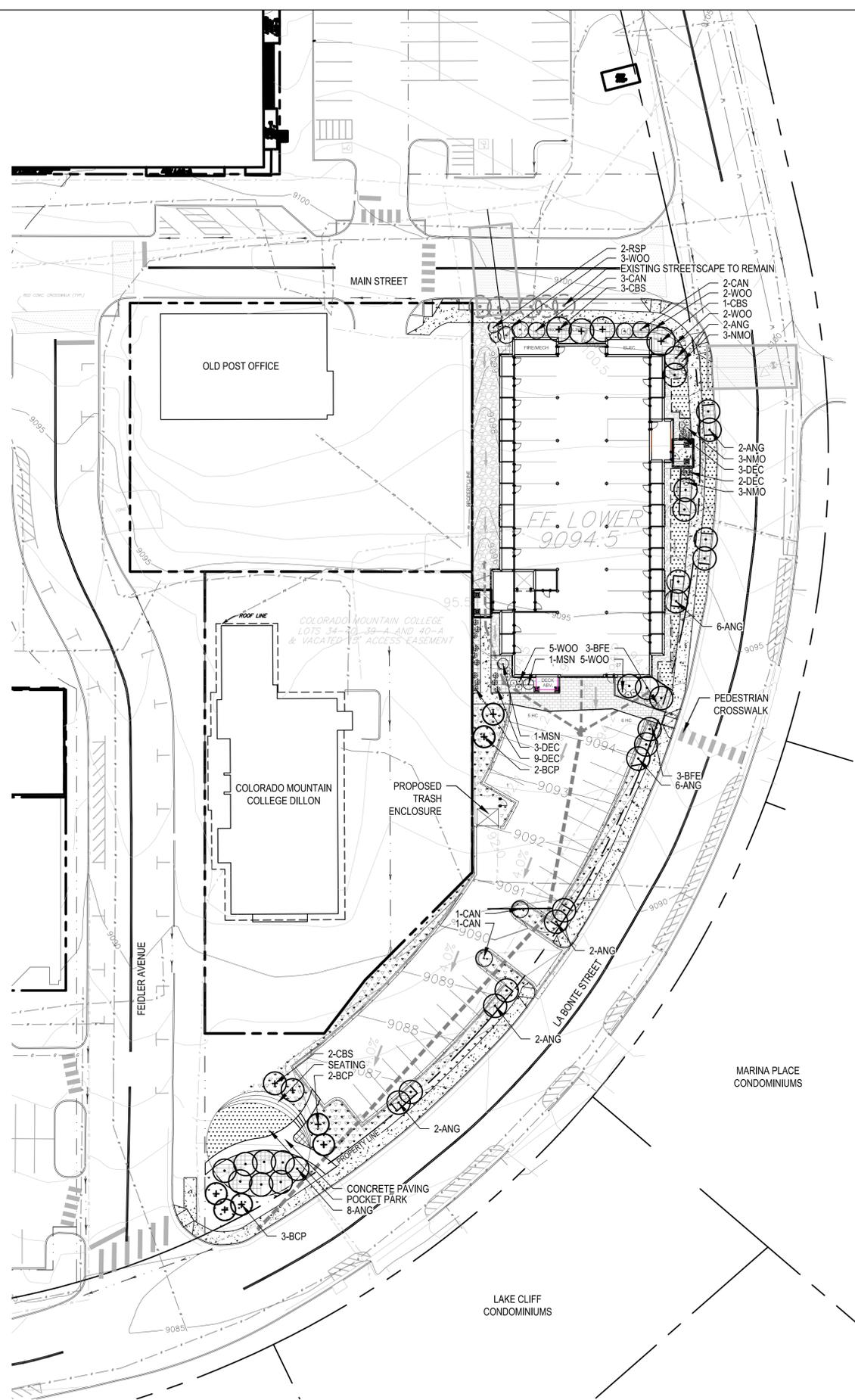
LANDSCAPE AREA	REQUIRED TREES	PROVIDED TREES	REQUIRED SHRUBS	PROVIDED SHRUBS
STREET TREES	39	39	N/A	28
PARKING BUFFER	11	11	N/A	N/A
TOTAL	50	50	N/A	N/A

LEGEND

- EVERGREEN TREES
- DECIDUOUS TREES
- NATIVE GRASS SEED
- LANDSCAPE BED, SHREDDED BARK MULCH
- PROPOSED SNOW STORAGE AREA
- RIVER ROCK COBBLE MULCH
- BENDA BOARD EDGER
- SPADE CUT EDGER
- EXISTING TREE

SNOW STORAGE CALCULATIONS

PAVED AREA:	10,420 SF
25% REQ'D STORAGE:	2,605 SF
STORAGE PROVIDED:	2,617 SF



CHECKED BY:
DRAWN BY:
LN, LM

NOT FOR CONSTRUCTION

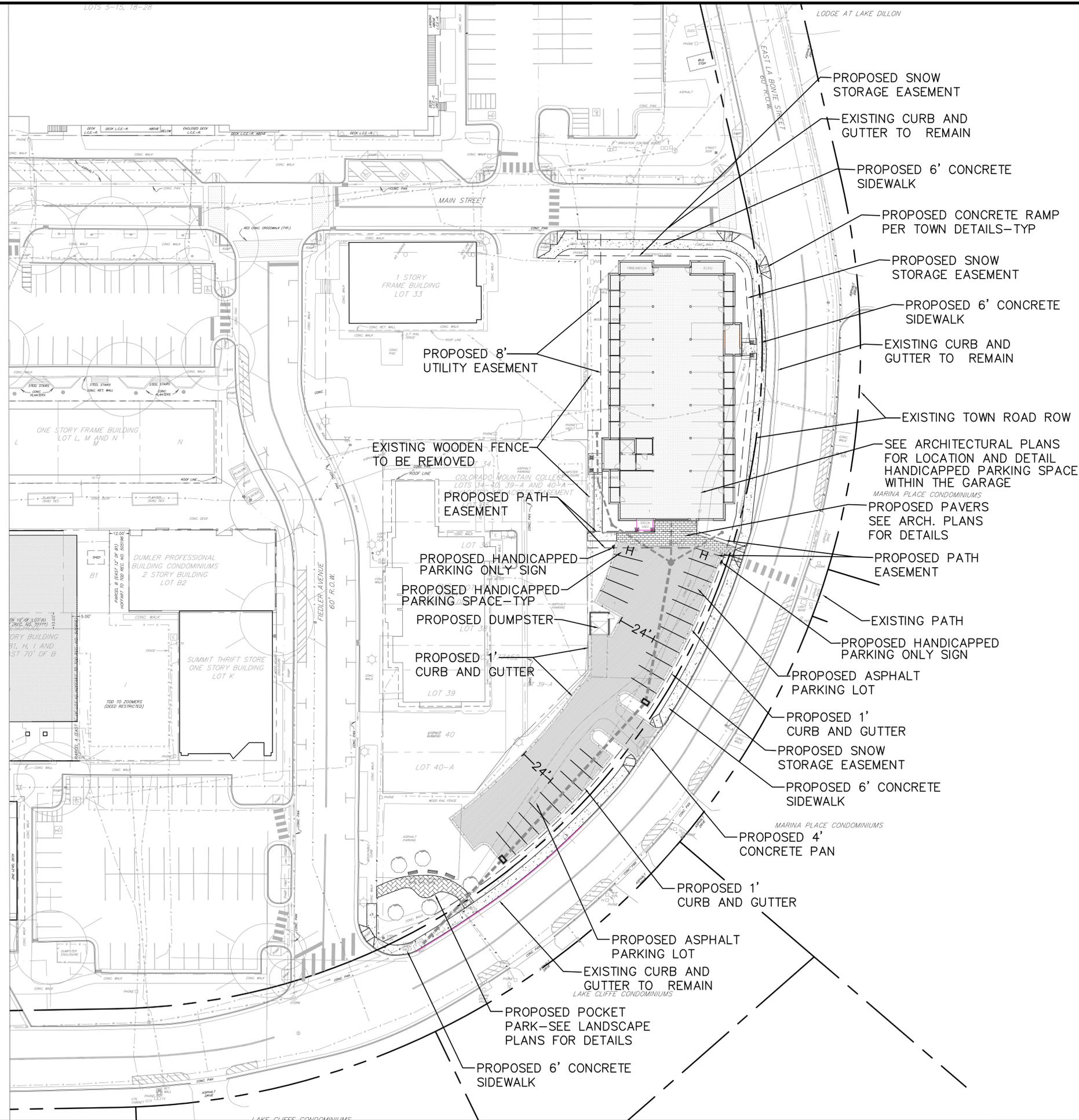


CALL UTILITY NOTIFICATION
CENTER OF COLORADO
811
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BEFORE YOU DIG, GRADE OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

0 15 30 60
SCALE: 1" = 30'
ORIGINAL GRAPHIC SCALE

LEGEND

- SANITARY MANHOLE
- RIPRAP
- STORM INLET
- STORM FES
- STORM MANHOLE
- WATER FIRE HYDRANT
- WATER MANHOLE
- WATER VALVE
- WATER STOPBOX
- ELECTRIC BREAKER BOX
- ELECTRIC METER
- ELECTRIC MKR
- ELECTRIC PEDESTAL
- LIGHT POLE
- ELECTRIC VAULT
- TELEPHONE PEDESTAL
- FIBER OPTIC MKR
- FIBER OPTICS PEDESTAL
- GAS MKR POST
- IRRIGATION CONTROL BOX
- IRRIGATION VALVE
- VENT PIPE
- BUSH EVERGREEN
- BUSH DECIDUOUS
- TREE CONIFER
- TREE DECIDUOUS
- HANDICAP RAMP
- TRAFFIC CONTROL CABINET
- TRAFFIC CONTROL VAULT
- TRAFFIC SIGNAL
- DELINEATOR
- SIGN
- UE — ELECTRIC UNDERGROUND
- UT — TELEPHONE LINE UNDERGROUND
- FO — FIBER OPTIC UNDERGROUND
- TV — CABLE TV UNDERGROUND
- G — GAS LINE UNDERGROUND
- B — STORM REINFORCED CONCRETE PIPE
- W — WATER LINE UNDERGROUND
- SS — SANITARY UNDERGROUND
- F — FENCE
- LE — LANDSCAPE EDGE
- TL — TREELINE
- CR — CROWN ROAD
- EA — EDGE ASPHALT
- EC — EDGE CONCRETE
- TR — TRAIL
- CH — CHASE
- PF — PAN FLOWLINE
- WS — LINEMARKING WHITE STRIPE SOLID
- YS — LINEMARKING YELLOW STRIPE SOLID
- GR — GUARD RAIL
- SB — SPEED BUMP
- ST — STEPS
- STR — STRUCTURE
- HR — HANDRAIL
- W — WALL
- CONCRETE
- ASPHALT PAVEMENT

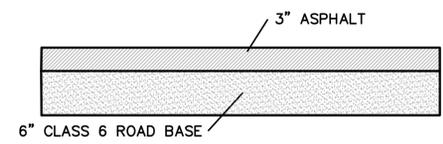


No.	Revision/Issue	Date	Description
2	REV. PER TOD	7/25/17	REVISED PER TOD COMMENTS
1	FINAL SITE PLAN/PLAT	7/7/17	TOD FINAL SITE PLAN & PLAT SUBMITTAL

TEN MILE ENGINEERING, INC.
Professional Civil Engineers
Po Box 1785
Frisco, CO 80443
970.485.5773
tenmileengineer@aol.com

DILLON FLATS
LOTS 17A & 17B
TOWN OF DILLON, COLORADO
SITE AND EASEMENT PLAN

Project DILLON FLATS	
Date 7/7/17	Sheet 3
Scale 1"=30'	



PAVEMENT SECTION SHALL BE
 3" ASPHALT ON 6" OF ROAD BASE
 SEE GEOTECHNICAL RECOMMENDATIONS
 FOR COMPACTION REQUIREMENTS
 SECTION TO BE FIELD VERIFIED BY
 GEOTECHNICAL ENGINEER

TYPICAL PAVEMENT SECTION
 NO SCALE

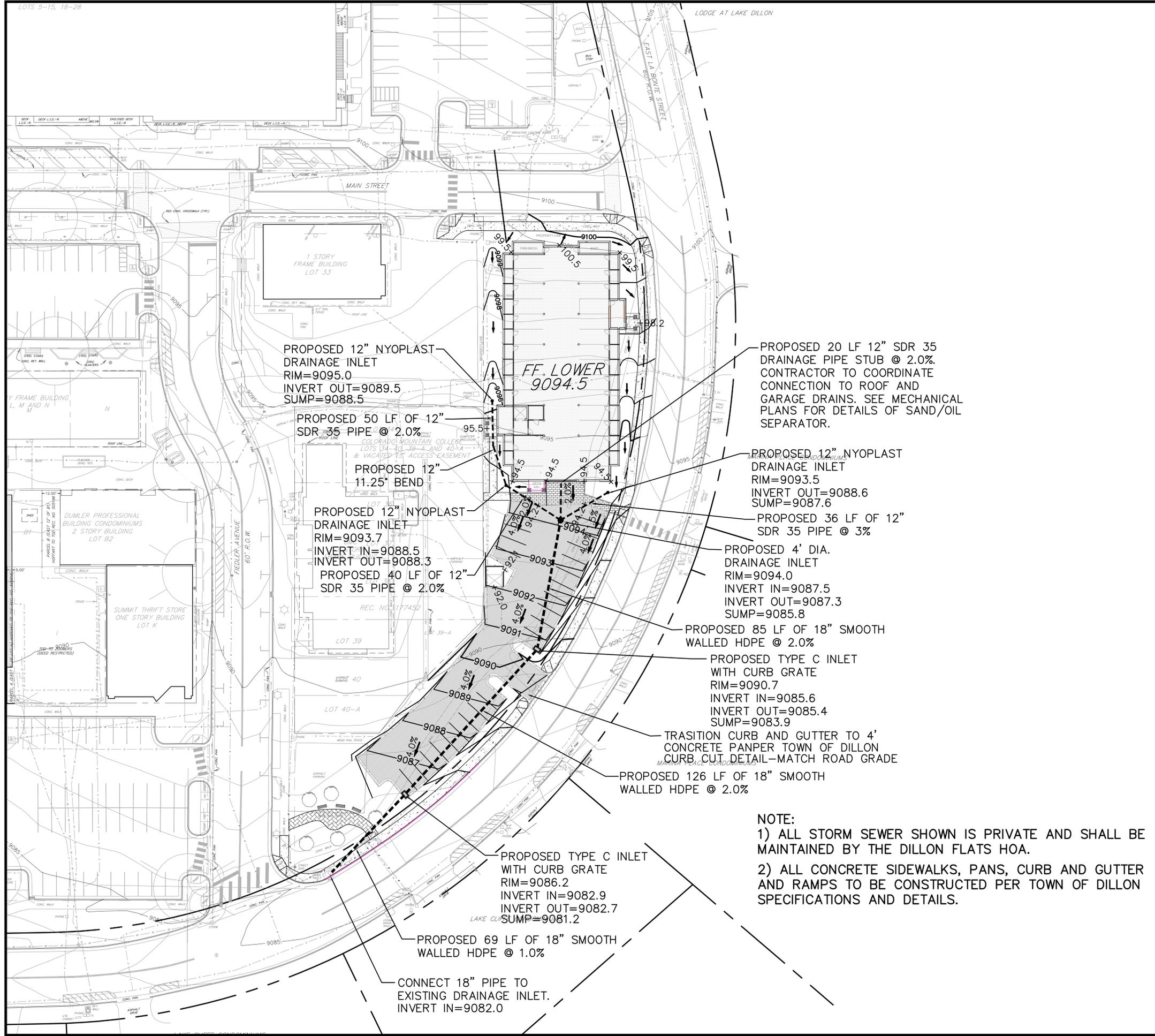
LEGEND

- SANITARY MANHOLE
- RIPRAP
- ⊕ STORM INLET
- ⊕ STORM FES
- ⊕ STORM MANHOLE
- ⊕ WATER FIRE HYDRANT
- ⊕ WATER MANHOLE
- ⊕ WATER VALVE
- ⊕ WATER STOPBOX
- ⊕ ELECTRIC BREAKER BOX
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC MKR
- ⊕ ELECTRIC PEDESTAL
- ⊕ LIGHT POLE
- ⊕ ELECTRIC VAULT
- ⊕ TELEPHONE PEDESTAL
- ⊕ FIBER OPTIC MKR
- ⊕ FIBER OPTICS PEDESTAL
- ⊕ GAS MKR POST
- ⊕ IRRIGATION CONTROL BOX
- ⊕ IRRIGATION VALVE
- ⊕ VENT PIPE
- ⊕ BUSH EVERGREEN
- ⊕ BUSH DECIDUOUS
- ⊕ TREE CONIFER
- ⊕ TREE DECIDUOUS
- ⊕ HANDICAP RAMP
- ⊕ TRAFFIC CONTROL CABINET
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- ⊕ TELEPHONE LINE UNDERGROUND
- ⊕ FIBER OPTIC UNDERGROUND
- ⊕ CABLE TV UNDERGROUND
- ⊕ GAS LINE UNDERGROUND
- ⊕ STORM REINFORCED CONCRETE PIPE
- ⊕ WATER LINE UNDERGROUND
- ⊕ SANITARY UNDERGROUND
- ⊕ FENCE
- ⊕ LANDSCAPE EDGE
- ⊕ TRELISE
- ⊕ CROWN ROAD
- ⊕ EDGE ASPHALT
- ⊕ EDGE CONCRETE
- ⊕ TRAIL
- ⊕ CHASE
- ⊕ PAN FLOWLINE
- ⊕ LINEMARKING WHITE STRIPE SOLID
- ⊕ LINEMARKING YELLOW STRIPE SOLID
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- ⊕ STRUCTURE
- ⊕ HANDRAIL
- ⊕ WALL
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SCALE: 1" = 30'
 ORIGINAL GRAPHIC SCALE



PROPOSED 12" NYOPLAST
 DRAINAGE INLET
 RIM=9095.0
 INVERT OUT=9089.5
 SUMP=9088.5

PROPOSED 50 LF OF 12"
 SDR 35 PIPE @ 2.0%

PROPOSED 12"
 11.25' BEND

PROPOSED 12" NYOPLAST
 DRAINAGE INLET
 RIM=9093.7
 INVERT IN=9088.5
 INVERT OUT=9088.3

PROPOSED 40 LF OF 12"
 SDR 35 PIPE @ 2.0%

FF. LOWER
 9094.5

PROPOSED 20 LF 12" SDR 35
 DRAINAGE PIPE STUB @ 2.0%.
 CONTRACTOR TO COORDINATE
 CONNECTION TO ROOF AND
 GARAGE DRAINS. SEE MECHANICAL
 PLANS FOR DETAILS OF SAND/OIL
 SEPARATOR.

PROPOSED 12" NYOPLAST
 DRAINAGE INLET
 RIM=9093.5
 INVERT OUT=9088.6
 SUMP=9087.6

PROPOSED 36 LF OF 12"
 SDR 35 PIPE @ 3%

PROPOSED 4' DIA.
 DRAINAGE INLET
 RIM=9094.0
 INVERT IN=9087.5
 INVERT OUT=9087.3
 SUMP=9085.8

PROPOSED 85 LF OF 18" SMOOTH
 WALLED HDPE @ 2.0%

PROPOSED TYPE C INLET
 WITH CURB GRATE
 RIM=9090.7
 INVERT IN=9085.6
 INVERT OUT=9085.4
 SUMP=9083.9

TRANSITION CURB AND GUTTER TO 4'
 CONCRETE PANPER TOWN OF DILLON
 CURB CUT DETAIL-MATCH ROAD GRADE

PROPOSED 126 LF OF 18" SMOOTH
 WALLED HDPE @ 2.0%

NOTE:
 1) ALL STORM SEWER SHOWN IS PRIVATE AND SHALL BE
 MAINTAINED BY THE DILLON FLATS HOA.
 2) ALL CONCRETE SIDEWALKS, PANS, CURB AND GUTTER
 AND RAMPS TO BE CONSTRUCTED PER TOWN OF DILLON
 SPECIFICATIONS AND DETAILS.

PROPOSED TYPE C INLET
 WITH CURB GRATE
 RIM=9086.2
 INVERT IN=9082.9
 INVERT OUT=9082.7
 SUMP=9081.2

PROPOSED 69 LF OF 18" SMOOTH
 WALLED HDPE @ 1.0%

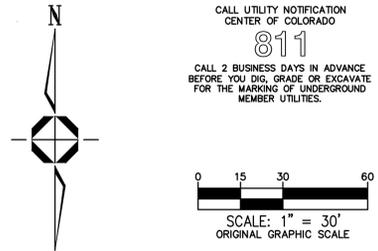
CONNECT 18" PIPE TO
 EXISTING DRAINAGE INLET.
 INVERT IN=9082.0

Revision/Issue	Date	Description
2	7/25/17	REVISED PER TOD COMMENTS
1	7/7/17	TOD FINAL SITE PLAN & PLAT SUBMITTAL

TEN MILE ENGINEERING, INC.
 Professional Civil Engineers
 Po Box 1785
 Frisco, CO 80443
 970.485.5773
 tenmileengineer@aol.com

DILLON FLATS
LOTS 17A & 17B
 TOWN OF DILLON, COLORADO
OVERALL GRADING PLAN

Project DILLON FLATS	
Date 7/7/17	Sheet 8
Scale 1"=30'	

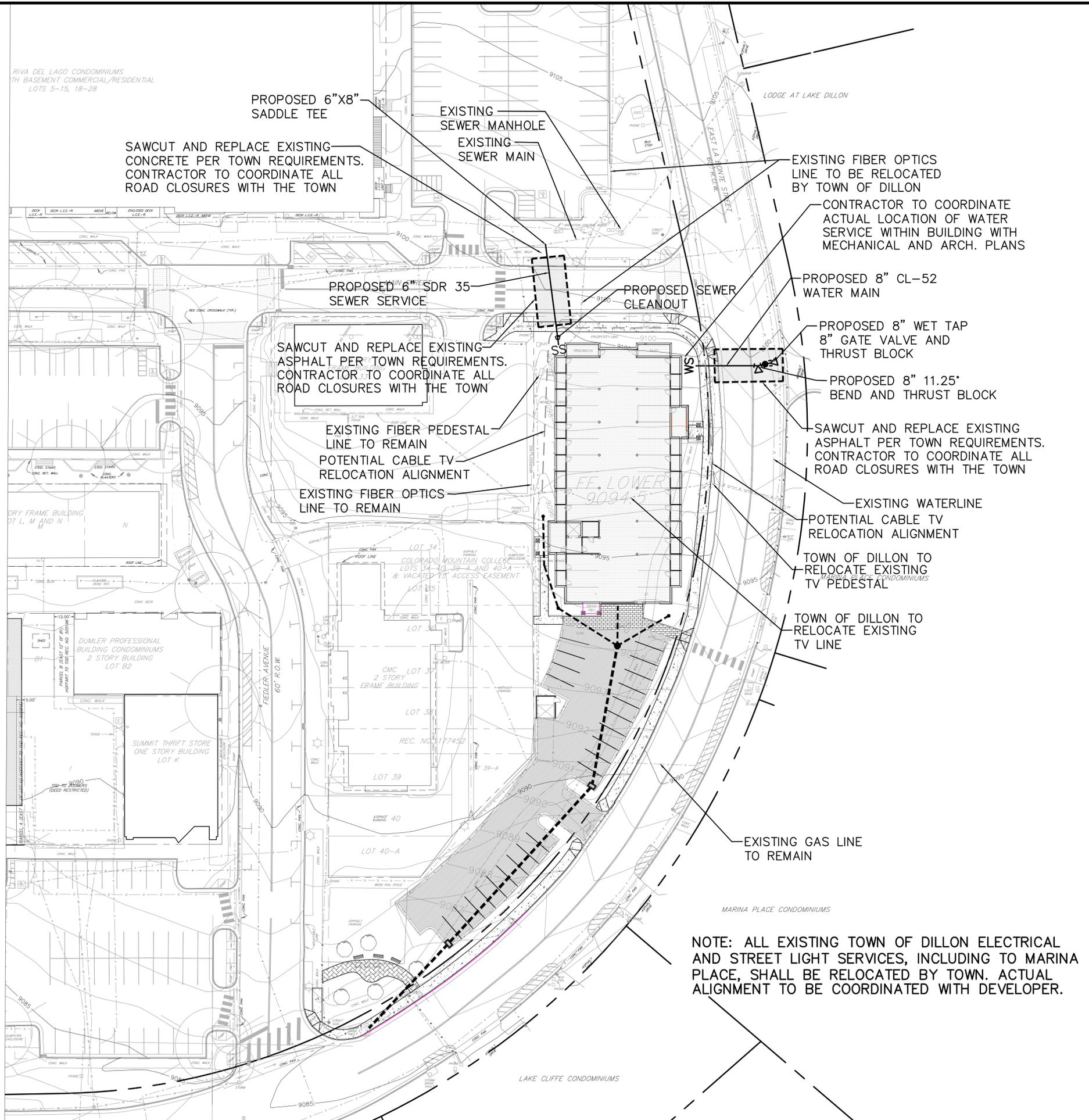


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NOTE: ALL WATER, SANITARY SEWER AND STORM SEWER
SHOWN ON THE PLANS ARE PRIVATE AND TO BE MAINTAINED
BY THE PROPERTY HOA.

LEGEND

- SANITARY MANHOLE
- RIPRAP
- STORM INLET
- STORM FES
- STORM MANHOLE
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- TREELINE
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- EDGE ASPHALT
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- LINEMARKING YELLOW STRIPE SOLID
- GUARD RAIL
- SPEED BUMP
- STEPS
- STRUCTURE
- HANDRAIL
- WALL
- CONCRETE
- ASPHALT PAVEMENT



NOTE: ALL EXISTING TOWN OF DILLON ELECTRICAL
AND STREET LIGHT SERVICES, INCLUDING TO MARINA
PLACE, SHALL BE RELOCATED BY TOWN. ACTUAL
ALIGNMENT TO BE COORDINATED WITH DEVELOPER.



Revision/Issue	Date	Description
1	7/25/17	REVISED PER TOD COMMENTS
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DILLON FLATS
LOTS 17A & 17B
TOWN OF DILLON, COLORADO
OVERALL UTILITY PLAN

Project DILLON FLATS	
Date 7/7/17	Sheet 9
Scale 1"=30'	



Lake Dillon Fire-Rescue

(970) 262-5100

PO Box 4428

Dillon, CO 80435

www.ldfr.org

Fire Prevention Division

Frisko Station #2

301 South 8th Avenue
Phone: 970-262-5201
Fax: 970-262-5250

Inspection Request Line:
970-262-5215

Administration Office Station #10

401 Blue River Parkway
Phone: 970-262-5100
Fax: (970) 262-5150

Dillon Station #8

225 Lake Dillon Drive
Fax: 970- 262-5350

Keystone Station #11

22393 U.S. Hwy. 6
Fax: 970- 262-5450

Mr. Dan Burroughs
Town of Dillon,
Community Development Department
P.O. Box 8
Dillon, CO. 80435

July 25, 2017

Re: Dillon Flats Condominiums Site Plan Review, 175-205 East LaBonte, Dillon, CO.

Dear Sir,

Thank you for the opportunity to review and comment on the above project. The fire department has the following comments and concerns at this time:

1. A construction permit through the fire department is required for this building.
2. Based on the square footage, occupancy type and building height, the building will require the following fire protection systems: fire sprinkler system, fire alarm system and a standpipe system. Please have the developer/contractor contact the fire department for details on permits required.
3. I would be happy to meet with the developer to discuss fire code issues.

If you have any question please give me a call at my office, 262-5202. My work week is Tuesday through Friday. Thank you for your cooperation.

Sincerely,

Steven Skulski
Assistant Chief/Fire Marshal
Lake Dillon Fire District

Unwavering
Dedication to
Serving Our
Community With
Integrity,
Compassion And
Professionalism

Town of Dillon
Town Clerk
P O Box 8
Dillon Colorado
80435

July 28, 2017

re: OBJECTION to Application of Dillon Flats Condo proposal

Dear Planning and Zoning Commission:

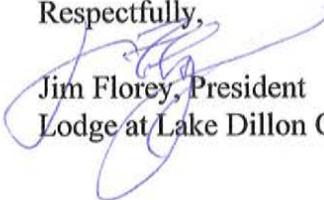
I am the President of the Board of Managers of the Lodge at Lake Dillon Condominium Association. I speak on behalf of the Board.

The Board is opposed to the proposal submitted by the developers of the Dillon Flats Condos for the following reasons:

1. Height of five story structure is excessive. Parking could be below grade and luxu unit on top floor could be eliminated. A three story structure would be more in conformance with Town of Dillon height requirements.
2. Parking and Landscape are inadequate. The image of the Town of Dillon are not enhanced by more parking lots and less green belts and open space.
3. The five story structure obstructs mountain views. Who wants to look at a five story condo building when they had a view of the Mountains.
4. When the Lodge at Lake Dillon was first developed the subject property was represented as "greenbelt" to be maintained by the Town of Dillon. Structural density does not improve the quality of life anywhere.

Obviously the developers are reaching for the sky. Use your authority to reign in their reach to a more reasonable proposal which does not negatively impact their neighbors.

Respectfully,


Jim Florey, President
Lodge at Lake Dillon Condo Association

JoAnne Tyson

From: Dan Burroughs
Sent: Wednesday, July 26, 2017 7:40 AM
To: JoAnne Tyson
Subject: FW: Dillon Flats Condos Input

Please keep with other emails you receive for this public hearing

From: Ron Kutsch [mailto:kutschr1@gmail.com]
Sent: Tuesday, July 25, 2017 11:22 AM
To: Dan Burroughs <dburroughs@townofdillon.com>
Subject: Dillon Flats Condos Input

Dear Mr. Burroughs,

I recently received a notice of public hearing about the Dillon Flats Condo proposal. Unfortunately I will be out of state on the date of the public meeting and will not be able to provide my input on the project in person. As a resident of the Chateau Claire condos, I am against the development of this property (or at least the height of this property). The main reason is that I believe this property will obstruct the views of the 10 mile range that we currently enjoy. I frequently wake early, and sit at our kitchen table enjoying the view of the mountains (one of the reason we purchased the property). If this project goes forward, my mornings will be spent looking at the back side (typically the ugly side) of a 5 story building. I say 5 story because although it is being proposed as 4 stories, the parking garage is an additional above grade floor that should be taken into account when determining the height. I am all for advancing the Dillon city core, but I would rather see this property developed into a low profile commercial (restaurants and shopping) building than a 5 story condo. Please add my comments to the "Against this Project" file.

Respectfully yours
Ron Kutsch

JoAnne Tyson

From: Dan Burroughs
Sent: Tuesday, August 01, 2017 1:59 PM
To: JoAnne Tyson
Subject: FW: Dillon Flats Condos

Public comment

From: Dillon Info
Sent: Tuesday, August 01, 2017 12:17 PM
To: Dan Burroughs <dburroughs@townofdillon.com>
Subject: FW: Dillon Flats Condos

From: Rabbi Joel Schwartzman [<mailto:rabbi@holyman1.com>]
Sent: Tuesday, August 01, 2017 7:20 AM
To: Dillon Info <info@townofdillon.com>
Cc: Rabbi Joel Schwartzman <rabbi@holyman1.com>
Subject: Dillon Flats Condos

I am unable to make the Wednesday evening meeting; however, I have questions (as I live in the Lodge at Lake Dillon and am concerned as to how this project will impact me and the other residents of our building):

- 1) Will this project include any "Affordable Housing units and how will they be regulated and/or managed?)
- 2) What is the projected price range of these condos which will not be in the range of "Affordable Housing?"?

I am concerned about the height of this building as well as the length of time and the projected start time/season of the construction itself. As with any construction of this nature, there will be noise, increased particulates in the air and potential traffic problems. I would hope that, should this project be approved, there will be no blockage with the entrances to the Lodge at Lake Dillon.

I wish I could attend this meeting to raise these issues and questions in person. I am not hostile to this plan, but would like some assurances about my concerns.

Thank you for making this venue possible and for opening this discussion to us, the public,

Rabbi Joel Schwartzman
720-212-3147
220 E LaBonte Str
Dillon, CO 80435

Comments to Town of Dillon Planning and Zoning Commission, August 2, 2017, relative to Level III Development Application for the southwest corner of Main St. and E. LaBonte St.

My name is Robert Winstead. I've owned a condo in Marina Place for 12 years.

I intended to address these issues with the Town Council in last night's meeting, but it was canceled. Some of the issues that I am addressing may be beyond the scope of this Commission. Nevertheless, I think these are important and relevant considerations, so I ask for your patience and attention.

The Town of Dillon is blessed with the best, most unique townsite in Colorado. I've not visited every mountain town in Colorado, but I've been to many of them. They are all built, for logical, historical and economic reasons, in valleys. They look up at the mountains.

Dillon's townsite is not in a valley. It is on top of a hill. We don't look up at the mountains, we look out at the mountains, with a level eye, to panoramic views of the Ten Mile Range, Buffalo and Red, the magnificent Gore Range, and of course Lake Dillon.

The town recognizes this unique advantage on page one of the Comprehensive Plan, in its Brand Platform: "The Town of Dillon's 'Mountain Lakestyle' embodies 360-degree awe-inspiring mountain and lake views enriching a truly unique and special way of life pursued with passion and desire for simple, joyful, and authentic experiences through every countless opportunity."

I spent over thirty years working for, and consulting with, some of the largest foodservice brands in America. I like Dillon's brand statement, because it recognizes the first, most obvious, important element of the Dillon brand. Something that any visitor will recognize when they drive or walk around the town. The views are awesome.

But there is a risk, when your town is looking *out*, not *up* at the mountains. The view, your brand, is extremely sensitive to what you build in the town.

Very few buildings were moved from old Dillon to this hilltop site. We had a clean slate to build this town, and we had a unique townsite. A rational approach to the town's design would be to place the most dense, commercial activity at the top of the hill, beside Route 6. Multi-story buildings would be permitted on the hilltop, and adjacent to Lake Dillon Drive on the steep gradient that ends at Buffalo Street. Those locations block little of the most important 180 degree southern and western mountain range views.

As the town fans out from this center, and as the gradient flattens south of Buffalo Street, building heights decrease, set-backs and open space requirements increase. Lake front properties would be low height at street-side, with heights increasing as the properties slope downward. Buildings would be aligned perpendicular, not parallel, to the lake and mountain views.

As we can all see, this approach was not followed. We have one-story buildings on the top of the hill, a hodgepodge of buildings in the lower, flatter section of town, with random three and four-story structures carving out sections of our western mountain views, and a virtual wall of buildings, including my home, obliterating the lake and mountain views to the south. Our "awe-inspiring views", our Dillon brand, has been damaged.

We cannot change the mistakes of the past, but we can avoid repeating them. I applaud the Gateway initiative that the town is taking at the top of the hill, and I appreciate the caution exercised in its implementation. However, I deplore the belief that the same zoning and building policy can be applied to the flat section of the town core south of Buffalo Street. It defies line of sight geometry and does not account for the dense, street-block layout of the core.

As a comparison, these are the land use guidelines for Section 19, the town core of Breckenridge: “The determination of acceptable building heights will be made during the development review process, but generally, buildings in excess of two stories are strongly discouraged.”

In Frisco’s town core, building heights are restricted to 24 feet at street-side, ascending to a maximum height of 40 feet, at an angle no greater than 45 degrees.

Breckenridge and Frisco have established these policies to preserve the historic character of the town, ensure a human scale to development, and protect their mountain views.

Dillon Town Policies also take views into account: Section 4 of the Comprehensive plan states that the town will “encourage new projects to be designed so they do not block views to prominent features.”

Our own town Design Guidelines recommend a “two-story datum”. The architects know that a two-story building is scaled to be pleasing, and welcoming to humans. If you build something taller than two stories, you must still create a street-level impression of a two-story building. I suggest, that if the third and fourth stories obscure what residents really want to see in their mountain town, the *impression* of a two-story building is not adequate.

I understand that the proposed building has a relatively small footprint. It will block only a portion of the sky and mountains, as seen from only a portion of the town. But when that section of sky and mountains is gone, it is gone for generations.

From a business standpoint, I have seen this trap before. This building is a Tactic: to increase resident density; in support of an Objective: greater traffic count, in support of a Strategy: to encourage retail business and revitalize the town core. And, there is financial gain for the Town. It all seems to make sense.

But the Tactic violates one of the town policies. The Tactic is not competitive with the tactics of your rivals. Most seriously, the Tactic harms your brand. In short, this building, and current zoning policy for this section of town, present some serious conflicts. I suggest you hit the pause button.

So that’s my argument as a former business man and strategic planner. Here’s my personal argument:

If Town Planners had followed my prescription for appropriate lakeside buildings, my home, on the fourth floor of Marina Place, near the street, would not exist. If I stay in my condo, my views are “awe-inspiring”. I will have no line of sight to the proposed building. But, I chose to buy property in Dillon, and now live in Dillon, because I don’t stay in my condo.

Every morning, in all seasons, I walk out of my building, cross the street to the sidewalk on the property we are discussing tonight, and walk to get the Summit Daily News. That view never fails to lift me up, and remind me why I am here in Dillon. I am not alone, there are other paper gatherers, dog walkers and bus catchers. We walk the sidewalk, between the wildflowers in summer and the snow banks in winter.

I cannot imagine that space filled with a four-story building. I cannot understand how this building improves the quality of the life for our residents, and the experience of visiting Dillon for our guests. I know that the lower town core is zoned for these buildings, and I cannot imagine the town filled with such things. Regardless of your care in architectural design, a mountain town filled with modern, four-story buildings is not an attractive proposition. Your competitors in Breckenridge and Frisco have recognized that, and put appropriate restrictions in place.

For the past week, I have been walking the streets of Dillon. In the blocks below Buffalo Street, I have drawn a line through every building over two stories, and imagined what I could see, if the upper stories were not there. I am angry at what has been lost, but my vision of what the town could be is pleasing, and I am grateful for what has not yet been spoiled.

I understand that, unless zoning is changed, the current property owners in the town core have the right to maximize the use, and value, of their property. That is a topic for another day, and I believe we must revisit this issue. For now, the property in question is ours, and we can choose to use this property to protect the brand and character of Dillon.

Because of Dillon's unique and special townsite, this town has the chance to be something different than all the other mountain towns in Colorado. We have already destroyed part of that difference. Please stop, before we destroy the remainder.

My contact information is below, I would be delighted to have a more in depth, mutual discussion with any member of the Town Staff, the Planning and Zoning Commission or the Town Council.

Robert Winstead
rwins123@aol.com
305-905-0945

RESOLUTION NO. PZ 09-17
Series of 2017

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING A LEVEL III DEVELOPMENT APPLICATION FOR A CONDITIONAL USE PERMIT FOR AN ACCESSORY APARTMENT AT 313 TENDERFOOT STREET, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.

WHEREAS, the Planning and Zoning Commission of the Town of Dillon has received a Class III development Application for a Conditional Use Permit for an Accessory Apartment at 313 Tenderfoot Street, Lot 13, Block K, New Town of Dillon, Dillon, Colorado; and

WHEREAS, following the required notice, a public hearing was held on August 2nd, 2017, before the Planning and Zoning Commission of the Town of Dillon on a Conditional Use Permit for an Accessory Apartment at 313 Tenderfoot Street, Lot 13, Block K, New Town of Dillon, Dillon, Colorado; and

WHEREAS, following the public hearing the Planning and Zoning Commission of the Town of Dillon has made certain findings of fact regarding a Conditional Use Permit for an Accessory Apartment at 313 Tenderfoot Street, Lot 13, Block K, New Town of Dillon, Dillon, Colorado; and

WHEREAS, the Planning and Zoning Commission of the Town of Dillon has determined that certain conditions which are reasonable and necessary to and relate to impacts created by the proposed development should attach to the approval of the Application for the Class III Conditional Use permit.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, AS FOLLOWS:

Section 1. That the Planning and Zoning Commission of the Town of Dillon, following the required notice, held a public hearing on August 2nd, 2017, on the Application for a Conditional Use permit for an Accessory Apartment at 313 Tenderfoot Street, Dillon, Colorado, and following said public hearing makes the following findings of fact:

A. That the Application for the Conditional Use permit for an Accessory Apartment is complete.

B. That the proposed Class III Application for a Conditional Use Permit for an Accessory Apartment complies with the specific requirements of Section 16-5-220 “Conditional Use criteria” of the Town of Dillon Municipal Code, as detailed as follows:

1. The use is listed as an allowed Conditional Use within the zone, or is otherwise identified as a Conditional Use and is consistent with the intent and purpose of the Comprehensive Plan and applicable zoning district.

The site is zoned Residential Low (RL), an Accessory Apartment is allowed in the Residential Low (RL) zoning district so long as certain provisions of the Dillon Municipal Code are met. The Accessory Apartment is consistent with the existing residential uses in this developed neighborhood, and Accessory Apartments exist in nearby properties.

2. The parcel is suitable for the proposed Conditional Use, considering such factors as size, shape, location, topography, soils, slope stability, drainage and natural features.

The proposed Accessory Apartment is an existing condition in the residence, and the space has been used as an Accessory Apartment since the home was built in 1977. The Application for the Conditional Use Permit for the Accessory Apartment is for the purposes of bringing the residence into compliance with the Dillon Municipal Code. The size, shape, location, topography, soils, slope stability, drainage, and natural features are not anticipated to be affected by the proposed garage and Accessory Apartment project. Adequate space exists within the current hardscapes on the property for the additional two parking spaces required as part of an accessory Apartment. The required snow storage area is also provided, as indicated on the site plan.

3. The proposed Conditional Use will not have significant adverse impacts on the air or water quality of the community.

The existing site is developed with appropriate drainage and vegetation. Town staff cannot identify any potential air quality concerns with the proposed continued use of the Accessory Apartment on this property.

4. The proposed Conditional Use will not substantially limit, impair or preclude the use of surrounding properties for the uses permitted in the applicable zoning district.

The existing developed site is adjacent to existing residences, several of which have Accessory Apartments. The proposed continued use of the existing Accessory Apartment will not substantially limit or impair the existing uses on the surrounding properties.

5. Adequate public utilities and services are available or will be made available to the site prior to the establishment of the Conditional Use.

The existing site is already served by gas, electric, water, and sanitary sewer facilities. The project requires the assessment of additional water and sewer tap fees, which the Applicant has agreed to pay. Such

payment shall be made prior to issuance the Conditional Use Permit for the Accessory Apartment.

Section 2. That the proposed Class III Application for a Conditional Use permit for an Accessory Apartment complies with the specific requirements of Section 16-4-40 “Accessory Apartments and secondary units” of the Town of Dillon Municipal Code, as detailed as follows:

A secondary residential unit or Accessory Apartment may be permitted in the RE, RL, RM and RH zones in a single-family residence, subject to the following provisions:

1. The Planning and Zoning Commission shall review and approve, under the Level III process, a site plan showing the location of the unit.

The Applicant has applied for a Level III Development Permit for the continued use of an Accessory Apartment that was part of the home when it was constructed in 1977. The Application includes a site plan indicating the required two (2) parking spaces for vehicles associated with the Accessory Apartment. The Accessory Apartment is located on the lower level of the residence as shown on the lower level floor plan provided with the Application. The Applicant previously applied for a Development Permit to remodel the residence, at which time it was determined that the existing Accessory Apartment was a non-conforming use. This Level III Application is intended to bring the Accessory Apartment into conformance with the requirements of the Dillon Municipal Code.

2. The property owner shall pay all required water and sewer tap fees.

The property owner shall pay an additional 0.55 EQR water and sewer tap fee associated with the Accessory Apartment (Accessory Apartments are typically assessed 0.65 EQR's, but 1.1 EQR's are currently applied for a 4-bedroom, 3-bathroom home including the existing apartment). The fee shall be paid in full prior to issuance of the Conditional Use Permit.

3. The Accessory Apartment shall meet all building code requirements.

The Accessory Apartment shall conform to all Summit County Building Inspection Department requirements. The Accessory Apartment shall be inspected by the Summit County Building Inspection Department and approved for such use prior to issuance of the Certificate of Occupancy.

4. Two (2) parking spaces shall be provided per unit, and such parking area shall be landscaped to buffer parking from neighboring properties.

Two parking spaces for the Accessory Apartment are provided as part of the Application as indicated on the site plan.

5. The habitable portion of the Accessory Apartment is not greater than nine hundred (900) square feet in size, nor is it more than one-third ($\frac{1}{3}$) the size of the heated living area of the primary residential unit.

The habitable portion of the Accessory Apartment is approximately 720 square feet of the overall heated portion of the residence which is approximately 3310 square feet. This sub-section is satisfied with the Application.

6. A restrictive covenant is filed stating the unit will not be subdivided into a separate ownership unit from the primary unit.

The property owner shall execute the restrictive covenant to not subdivide into separate ownership, and must file said restrictive covenant as a condition of approval of this Resolution.

7. The unit is deed restricted against utilization as a short-term rental, which means it may not be rented for periods of time of less than six (6) months.

The property owner shall execute the deed restriction preventing the short term rental of the property and must file said deed restriction as a condition of approval of this Resolution.

8. The unit design is compatible with the neighborhood and the principal structure.

No addition is planned with this Development Permit Application; however, the entire residence is being remodeled, including exterior siding, roof, and deck remodeling under a separate Development Permit. The improvements appear to be compatible with the neighborhood.

9. The unit may be a separate building from the primary structure, when placed above a freestanding garage, or on lots greater than one (1) acre.

This sub-section does not apply.

Section 3. That the Planning and Zoning Commission of the Town of Dillon does hereby approve a Conditional Use permit for an Accessory Apartment at 313 Tenderfoot Street, Dillon, Colorado with the following conditions:

1. The Applicant shall pay the required water and sewer tap fees: 0.55 EQR's balance due. Said fees shall be paid prior to issuance of the Conditional Use Permit.

2. The Applicant shall file with the Town the required restrictive covenant preventing subdividing into separate ownership.

3. The Applicant shall file with the Town a deed restriction that prevents short term rentals of the Accessory Apartment.

4. The Applicant shall verify the functionality of the water service curbstop valve. The curbstop water service valve shall be observed and documented as functional by the Dillon Water Department. It is the owner's responsibility to maintain the curbstop valve in an operational condition in accordance with the Dillon Municipal Code.

5. The Applicant shall submit Summit County Building Inspection documentation approving the Accessory Apartment space to be utilized as such. Such documentation shall be submitted to the Town prior to issuance of the Certificate of Occupancy.

APPROVED AND ADOPTED THIS 2nd DAY OF AUGUST, 2017 BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO.

**PLANNING AND ZONING COMMISSION,
TOWN OF DILLON**

By: _____
Amy Gaddis, Chairperson

ATTEST:

By: _____
Corrie Woloshan, Secretary to the Commission

**PLANNING AND ZONING COMMISSION ACTION ITEM
STAFF SUMMARY
AUGUST 2, 2017 PLANNING AND ZONING COMMISSION MEETING**

DATE: July 26, 2017

AGENDA ITEM NUMBER: 4

ACTION TO BE CONSIDERED:

Consideration of a Resolution No. PZ 09-17, Series of 2017:

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING A LEVEL III DEVELOPMENT APPLICATION FOR A CONDITIONAL USE PERMIT FOR AN ACCESSORY APARTMENT AT 313 TENDERFOOT STREET, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.

PUBLIC HEARING

SUMMARY:

The Town received an application for a Conditional Use Permit for an Accessory Apartment at 313 Tenderfoot Street, Lot 13, Block K, New Town of Dillon Subdivision, Dillon, Colorado.

The proposed project involves converting a portion of the ground floor into an accessory apartment with a kitchen. The application demonstrates conformance to the Code Sections pertaining to Conditional Use Permits and Accessory Dwelling Units, Section 16-5-220 and Section 16-4-40, respectively.

Project: Dietl Accessory Apartment

Location: Lot 13, Block K, New Town of Dillon Subdivision

Address: 313 Tenderfoot Street

Owners: Gregory S. Dietl

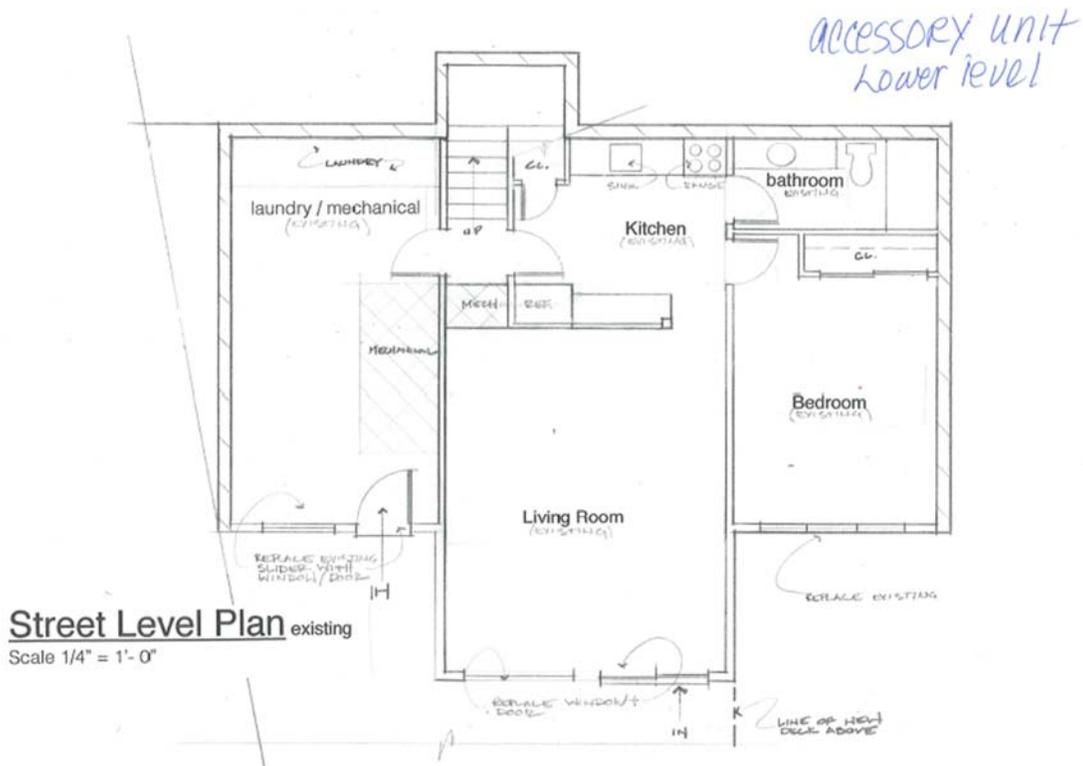
Architect: NA

Development Application: Level III Conditional Use Permit for an Accessory Apartment;
Residential Remodel Development Permit issued previously.

Application Date: July 17, 2017



Existing Residence at 313 Tenderfoot Street.



313 Tenderfoot street, Dillon, Colorado (existing lower level apartment)

Ground Level Accessory Apartment Floor Plan.

Code Analysis:

Zoning: Residential Low (RL). Accessory Apartments are permitted through a Level III Conditional Use Development Permit process. Two (2) parking spaces shall be provided for the accessory apartment, the apartment shall not exceed 900 SF nor be greater than 1/3 of the primary residence, the apartment shall be deed restricted to minimal six (6) month rental terms and the apartment may not be sold as a separate property. Additional water / sewer tap fees shall be paid.

An Accessory Dwelling Unit may be permitted in the RE, RL, RM, and RH zones in a single family residence (Sec. 16-4-40). The subject property is zoned Residential Low (RL). The provisions required in this Code section to satisfy this allowance are provided in detail, by subsection, in Resolution PZ 09-17, Series of 2017. This application does meet those provisions

Yards (Setbacks): The setbacks for the RL zone are 8' for the side yards, and 15' for the rear yard and 20' for the front yard (Sec. 16-3-130). No additions are proposed with the project, so the Application does not impact the setbacks.

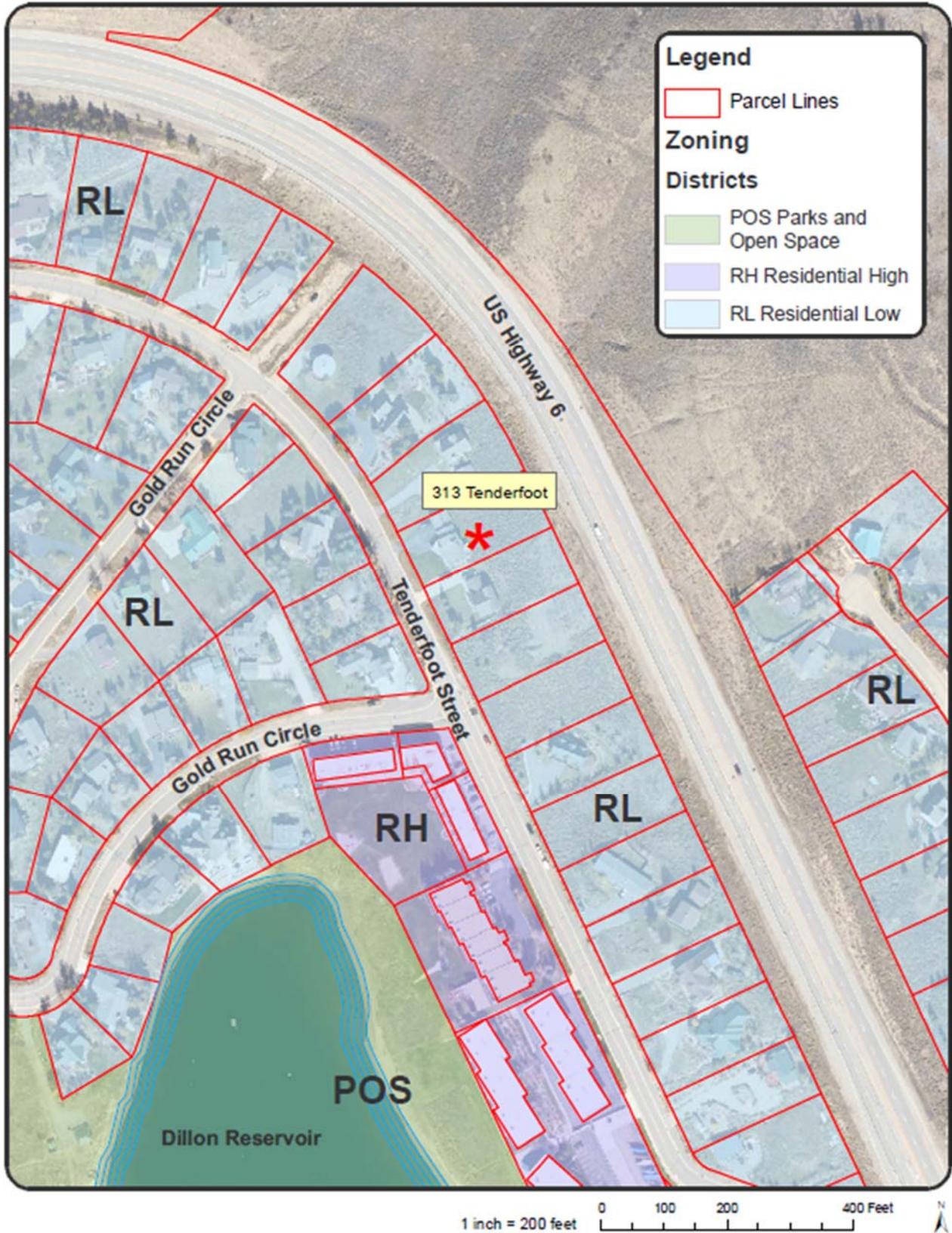
Easements: No additions are proposed with the project, so the Application does not impact any easements. (Sec. 16-9-10)

Parking: Two (2) dedicated parking spaces are required for the proposed continued use of the Accessory Apartment, and two (2) are indicated on the site plan submitted with the Application.

Comprehensive Plan Reference:

- Section 6, Part II “Land Use Guidelines” refers to the desire to create diversity in residential land uses in an effort to increase year-round residents in the community.
- Section 6, Part III “Residential / Mixed Use Zoning Classification” provides for up to six (6) units per acre in the Residential Low zoning district and states that accessory units are permitted in the zone.

Site Vicinity & Zoning of 313 Tenderfoot Street



Square Footage Analysis:

Existing:

Main: 1398 SF

Upper: 820 SF

Lower: 1092

Total: 3310 SF

Accessory Apartment, Lower Level: 1-Bed – 1-Bath / Kitchen with Oven: 720 SF

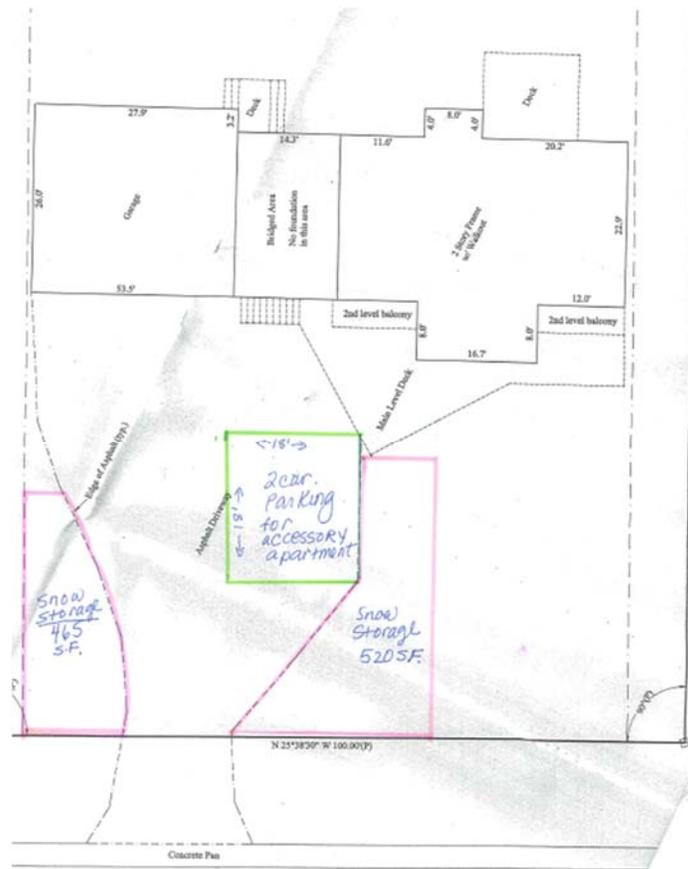
Percentage of Total SF: 720 SF / 3310 SF = 21.8% (33.3% Permitted by Code)

Snow Storage:

Area to be cleared of snow: 2088 SF

Snow Storage Requirement: 2088 SF x 0.25 = 522 SF

Snow Storage Provided: 522 SF Dedicated, with an additional 465 SF emergency snow storage area indicated on the site plan.



313 Tenderfoot Street Site Plan Showing Snow Storage Areas and Dedicated Parking

Parking:

Parking spaces are provide in the garage for two (2) vehicles for the primary residence, along with exterior parking stacked in front of the garage. On one side of the driveway, two (2) exterior parking spaces are provided for the Accessory Apartment.

Water / Sewer Tap Fees (EQR's):

- Existing 4-Bed (includes Apartment) / 3-Bath home: 1.1 EQR assessed balance
- 0.55 EQR's additional assessed for 1-Bed / 1- Bath / Full Kitchen Apartment
 - 0.1 EQR credit for the Apartment bedroom already assessed = $0.65 - 0.1 = 0.55$
 - = $0.55 \text{ EQR} \times \$14,966.00 = \mathbf{\$9,727.90 \text{ due}}$

CONDITIONS OF APPROVAL:

1. The Applicant shall pay the required water and sewer tap fees: 0.55 EQR's balance due. Said fees shall be paid prior to issuance of the Conditional Use Permit.
2. The Applicant shall file with the Town the required restrictive covenant preventing subdividing into separate ownership.
3. The Applicant shall file with the Town a deed restriction that prevents short term rentals of the Accessory Apartment.
4. The Applicant shall verify the functionality of the water service curbstop valve. The curbstop water service valve shall be observed and documented as functional by the Dillon Water Department. It is the owner's responsibility to maintain the curbstop valve in an operational condition in accordance with the Dillon Municipal Code.
5. The Applicant shall submit Summit County Building Inspection documentation approving the Accessory Apartment space to be utilized as such. Such documentation shall be submitted to the Town prior to issuance of the Certificate of Occupancy.

STAFF RECOMMENDATION:

Staff recommends approval of Resolution PZ 09-17, Series of 2017.

ACTION REQUESTED:

Public Hearing.

Motion, Second, Roll Call Vote.

Resolutions require the affirmative vote of a majority of the members present.

Unless called up by / a decision petitioned to Town Council, the ruling of the Planning and Zoning Commission on this matter shall stand.

STAFF MEMBER RESPONSIBLE: Ned West, Town Planner

July 26, 2017

Town of Dillon
P O Box 8
Dillon, CO 80435

Attention: Dillon Planning and Zoning Commission

Re: Application for Conditional Use Permit
313 Tenderfoot St Dillon

Ladies & Gentlemen

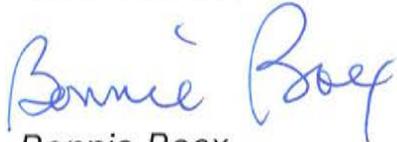
I am against granting the property owner a Conditional Use Permit for an Accessory Apartment at 313 Tenderfoot Street.

As a property owner at 312 Tenderfoot Street I do not look forward to the day when our neighborhood turns into a rental haven.

Further I am against allowing a homeowner to rent-out an entire household without residing at the home as the property owner, and I would suggest that Planning and Zoning change the rules to reflect same.

Greg is responsible for his renters and should be on-site,

Very truly yours,



Bonnie Boex
312 Tenderfoot St
Dillon, CO 80435

JoAnne Tyson

From: Dan Burroughs
Sent: Wednesday, July 26, 2017 3:45 PM
To: JoAnne Tyson
Subject: FW: 313 tenderfoot

Comment 313 tenderfoot

From: Karin Hoffmann [mailto:pml319@gmail.com]
Sent: Wednesday, July 26, 2017 12:59 PM
To: Dan Burroughs <dburroughs@townofdillon.com>
Subject: 313 tenderfoot

Hi Dan-

We just wanted you to know we are fine with the proposed changes to 313 Tenderfoot that Greg is asking for.

Karin and Paul Hoagland



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